



CITY OF CORNELIUS  
COMMUNITY DEVELOPMENT DEPARTMENT

STAFF REPORT

**Kem Hoops**

**Type III Site Design Review (DR-129-22), Type III Conditional Use Permit (CUP-04-22) and Preliminary Land Partition (LP-03-22)**

**Planning Commission Hearing Date: September 27, 2022  
Continued to - October 11, 2022**

**Staff Report Date: October 03, 2022**

**Request:** A Type III Site Design Review (DR-129-22) for a new indoor recreational facility that will consist of six full sized tournament courts; a Type II ‘One-Lot’ Preliminary Land Partition (LP-03-22) to legally combine two tax lots into one new lot and a Type III Conditional Use Permit (CUP-04-22) to exceed the maximum 35-foot height of the zone by 3 feet 2 inches. The site is within the Highway Commercial (C-2) Zoning District. The project includes roadway improvements for Baseline Street, interior spaces for two mobile food vendors, on-site parking and landscaping.

**Applicant:** Samedy Kem  
**Property Owner:** Russell Resources, LLC  
**Location:** 271 Baseline Street, Cornelius OR 97113  
**Map:** Map 1S304BB, Tax Lots #100 & #200  
**Zone:** Highway Commercial (C-2)

**Applicable Criteria:** CMC Title 17: Subdivisions: Chapter 17.05 Land Divisions, CMC Title 18 Zoning: Chapter 18.45 Highway Commercial (C-2), Chapter 18.100 Site Design Review, Chapter 18.105 Conditional Use Permit, Chapter 18.145 Off-Street Parking and Loading, Chapter 18.143 Transportation Facilities, and Chapter 18.155 Solar Access for New Development.

**Process:** Approval of a Type III Site Design Review, Type III Conditional Use Review and Type II Land Partition with public hearing shall be processed consistent with Section 18.15.010(C), a

Type III Planning Commission Review. The application shall be processed with notice and a public hearing before the Planning Commission pursuant to Chapter 18.15.040. The notice of the Planning Commission's decision shall be provided to Applicant and interested parties.

### **APPEAL RIGHTS**

An affected party may appeal a decision of the Planning Commission to the City Council by filing an appeal within ten (10) working days of notice of the decision pursuant to the CMC. The notice of appeal shall indicate the decision that is being appealed and include all required contents pursuant to Chapter 18.15.090.

### **APPLICABLE CRITERIA**

- Chapter 17.05 (Land Divisions)
- Chapters 18.10 & 18.15 (Application & Review Procedures)
- Chapter 18.45 (Highway Commercial, C-2)
- Chapter 18.100 (Site Design Review)
- Chapter 18.105 (Conditional Use Permit)
- Chapter 18.145 (Off Street Parking and Loading)
- Chapter 18.155 (Solar Access for New Development)

### **GENERAL FACTS**

- The subject Site consist of two tax lots, Tax Lot #100 & #200. Tax Lot#100 is approximately 1.32 acres in size and Tax Lot #200 is approximately .78 acres in size. In total the Site is approximately 2.10 acres in size.
- The subject Site is currently developed with one dwelling. The is non-conforming in the Highway Commercial (C-2) zoning district.
- The subject Site abuts Baseline Street and S 4<sup>th</sup> Avenue.
- The Site has direct access onto Baseline Street, an Oregon State Department of Transportation (ODOT) facility, commonly known as State Highway 8 or Tualatin Valley Highway. As this transportation corridor is a State facility, ODOT has control over improvements and access.
- The applicant is proposing a new 39,376 sf sports court facility (six courts, an outdoor eating area with up to two food carts, and parking), as described within Exhibit "A".
- The applicant is proposing a preliminary 'one-lot' land partition, to legally re-described the two parcels into one through the land partition process (LP 03-22).

- The applicant is proposing to exceed the allowable 35-foot height limitation of the zone by 3 feet 2 inches through the Conditional Use Permit Process (CUP 04-22).
- The application was submitted on July 15, 2022 and was deemed complete on August 11, 2022.
- The City Engineer and Fire Marshal submitted comments, which are attached as Exhibit “B”.
- Notice of the proposal was mailed to property owners within 250 feet of the subject property and affected agencies, and was published in the local newspaper on September 1, 2022 which is shown within Exhibit “C”.
- As of the date of this staff report, two comments have been received, as shown within Exhibit “D”. Comment were received from ODOT Rail and the Oregon Department of State Lands (DSL).
- On September 6, 2022 the applicant submitted a signed 120-day waiver. The waiver is in response to a need to modification the building layout, so a 20-foot easement can be provided along a storm water line that is along a portion of the southern property line (Exhibit “E”).

## **FINDINGS**

### **TITLE 17 LAND DIVISIONS**

Per CMC Section 17.05.030(C), a request to partition land must meet all of the following approval criteria:

#### ***1. The proposal conforms with the City's Comprehensive Plan.***

**Findings:** Chapter One of the Comprehensive Plan requires citizen and agency involvement. Property owners within 250’ of the site were sent notice of this land use action, providing them the opportunity to comment. As of the date of this staff report, no public comments have been received. There have been two outside agencies comments received regarding this preliminary land partition application.

The proposal is a Preliminary ‘One-Lot’ Land Partition (LP-03-22), re-describing two existing parcels (tax lots) legally into one new parcel.

Comprehensive Plan Chapters Two & Three - Urbanization and Land Use, encourage the efficient use of urban land. The property is Comprehensively Planned for commercial uses and development. The new parcel will be approximately 2.10 acres in size. The proposed new parcel

is similar in size and shape to other nearby C-2 zoned properties. Staff finds that the new parcel will be large enough to accommodate the proposed commercial development.

Comprehensive Plan Chapter Five, Economic Development, specifies the following goal:

***“To develop a diversified economic base that is supportive of existing commercial and industrial development and attractive to selected commercial and industrial development.”***

The applicant proposes to consolidate two lots to provide one lot large enough to accommodate their commercial development. The commercial development will help diversify the City’s economic base in compliance with this goal.

The Development & Zoning Code (i.e. Title 17 and 18 of the CMC) implements the Comprehensive Plan, and as such, all applicable criteria of the Development & Zoning Code shall apply to this proposal. The request has been filed in accordance with the procedures and requirements of the Development & Zoning Code. As described further within this report, the proposed development is addressing the development standards of the CMC.

As noted above within the findings, no written public comments were received for the record. The conditions of approval for this proposal are intended to ensure compliance with the CMC and the Comprehensive Plan. As such, the proposal conforms to the City’s Comprehensive Plan.

**Conclusions:** Based upon the findings above, staff concludes this criterion is met.

***2. The proposal complies with all applicable statutory and ordinance requirements and regulations.***

**Findings:** There is an existing non-conforming residence on one parcel (tax lot #200), which is proposed to be removed and the other parcel (tax lot #100) is undeveloped. The applicant is preparing for a commercial development, which necessitates the consolidation of the two tax lots into one. To develop the site, a Type III Site Design Review is necessary, which is part of this staff report for the City of Cornelius Planning Commission to review and consider.

Prior to recordation with Washington County, a Final Plat application with the City of Cornelius shall be required. The purpose of the Final Plat application is to review the proposed plat for conformance to this land use application (LP-03-22) and associated conditions of approval.

Staff notes that ODOT encourages shared access along Baseline Street. The goal is to provide internal circulation between properties, where possible. On the Final Plat there shall be cross-over vehicle access easements provided between the western tax lot and the subject Site parking lot. When the western tax lot develops, the City will work with the developer to insure similar vehicle access and reciprocating cross-over easement are provided. This shall be a condition of approval.

The parcels are within the Clean Water Services (CWS) District. The City of Cornelius and CWS have an intergovernmental agreement for the provision of sanitary sewer, storm water management, and natural resource protection. At the time of development, the applicant shall

comply with all applicable CWS requirements. This shall be a condition of approval. The applicant has obtained a Sign Service Provide Letter from CWS.

Staff notes comments received from the Division of State Lands (DSL). Within the comments received from DSL, they indicated that the site is identified within the Cornelius Wetland Inventory, as Site TD-3 (Exhibit “F”). Staff finds that within the Cornelius Wetland Inventory, the findings for the Site (TD-3) encompasses three parcels. The two parcels under review and the parcel directly to the west. Within the notes and findings of Site TD-3, the area of concern appears to be mainly within the Railway ROW. As noted later in this report, there is a significant City storm line which drains into a ditch within the Railway ROW in addition to a wetland area within the City of Forest Grove that drains into the same area. Staff finds that ditch and mapped areas within TD-3, are not within the development area of this proposed project. Staff will coordinate resolution with DSL and finds the proposed comments do not warrant holding up the submitted land use review and application.

**Conclusions:** Based upon the findings above, and through application of appropriate conditions of approval, staff concludes this criterion is met.

### ***3. Adequate public facilities are available to serve the proposal.***

**Findings:** There are public facilities located within the ROW of Baseline Street and S 4<sup>th</sup> Avenue and they are available to serve the site. These service include public water, sanitary sewer, and stormwater. When the site is developed the applicant/property owner shall comply with all applicable Clean Water Services and Cornelius Public Works Standards.

The ROW along the frontage of the Site of Baseline Street is 60 feet in width and S 4<sup>th</sup> Avenue is 50 feet; therefore, no right-of-way dedication is required. When the final plat is submitted for recordation, the final plat shall also include any notes, legal descriptions and easements that are required by the City Engineer and Washington County Surveyor. This shall be a condition of approval.

**Conclusions:** Based upon the findings above, and through application of appropriate conditions of approval, staff concludes this criterion is met.

### ***4. All proposed lots conform to the size and dimensional requirements of this ordinance.***

**Findings:** As noted above, the applicant is proposing to consolidate 2 tax lots into one new legally described parcel. Within the C-2 zone there is no minimum lot size requirement, other than the lot must be large enough to accommodate the proposed use. Staff finds the applicant is preparing the site for a future commercial development.

Per the Washington County Tax Assessors map;

- Tax lot# 1S304BB00100 is approximately 1.32 acres in size.
- Tax lot# 1S304BB00200 is approximately .78 acres in size.

Totaling 2.10 acres in size. The registered professional land surveyor indicates, within the consolidation description (Exhibit A), the new parcel will contain 92,405 sf or 2.12 acres, more or less.

Staff finds the proposed parcel size will be large enough to accommodate a future commercial use.

**Conclusions:** Based upon the findings above, staff concludes that this criterion is met.

**5. All proposed improvements meet City standards.**

**Findings:** The applicant is proposing development at this time via City Land Use File # DR-129-22 and CUP-04-22. Within this staff report, the applicant proposes a development can comply with all applicable City standards and zoning requirements, with conditions of approval.

**Conclusions:** Based upon the findings above, and through application of appropriate conditions of approval, staff concludes this criterion is met.

**TITLE 18 ZONING**

*Chapter 18.45. Highway Commercial (C-2) zone*

*18.45.020 Uses permitted outright.*

*In a C-2 zone the following uses shall be permitted outright: provided, that all operations are conducted within an enclosed structure:*

...

*(E) Indoor amusement or entertainment and restaurants, including fast food with drive-up window.*

...

*18.45.030 Conditional uses permitted.*

*In a C-2 zone the following uses and their accessory uses may be permitted when in accordance with Chapter 18.105 CMC:*

...

*(G) Request to exceed the permitted building height.*

...

**Findings:** The property is within the Highway Commercial (C-2) zoning district of Cornelius. Within the C-2 zone, per CMC 18.45.020(E), Indoor amusement or entertainment...uses are permitted outright. The Site currently has a legal non-conforming residence on tax lot #200 that is proposed for removal with redevelopment of the Site. A Type III Site Design Review per CMC 18.100 is necessary.

Per CMC 18.45.030(G), a request to exceed the permitted building height requires a Conditional Use Permit, per CMC 18.105.

The applicant proposes to remove the existing non-conforming residence from the Site and redevelop the Site with a new 39,376 sf sports court facility (six courts with associated seating and parking) as described and shown within Exhibit “A”. The sports court facility includes 6 indoor courts within buildings approximately 38 feet 2 inches in height. Maximum height in the C-2 zoning district is 35 feet. The applicant is requesting, through CUP-04-22, to exceed the height requirement by 3 feet 2 inches.

***18.45.040 Development requirements.***

***(A) Lot Size. In a C-2 zone there is no minimum lot size, save and except that the lot must be large enough to accommodate the proposed use, including all design standards and functional requirements related to the use.***

**Findings:** The total Site is approximately 2.01 acres in size, according to the Washington County Tax Assessors Maps. The Site is located along Baseline Street, which is an Oregon Department of Transportation (ODOT) facility. Baseline Street is also known as SW Tualatin Valley Highway or Highway 8, (State Highway 8).

The applicant has submitted a Type III Site Design Review application, which includes a detailed site plan and narrative. The submitted plans to redevelop the Site demonstrate that the site is large enough for it to be functional for the proposed use.

***(B) Setback Requirements. In a C-2 zone the following setbacks shall meet the base standard; however, the review body may require a greater or lesser setback based on the design review criteria set forth in this chapter:***

***(1) The front yard shall be 20 feet, except that:***

***(a) Parking shall be allowed within five feet of the front property line.***

***(b) For all properties abutting the south side of Baseline Road, there shall be a front yard setback equal to five percent of the average lot depth, but not less than four feet.***

***(2) No side yard shall be required, except five feet when abutting a residential use or zone, and when a side yard abuts a public street the setback shall be the same as the front yard.***

***(3) No rear yard is required, except five feet when abutting a residential use or zone, and when a side yard abuts a public street the setback shall be the same as the front yard.***

***(C) Height of Building. No building shall exceed a height of 35 feet, unless approved by the planning commission. [Ord. 810, 2000; Code 2000 § 11.20.54.]***

**Findings:** The submitted site plan shows that no parking will be near the front property line. A majority of the new building will be located along the southern property line and near S 4<sup>th</sup> Avenue with parking along the front of the building and west of the building, as shown on the submitted site plan within Exhibit, “A”. The Site is located on the south side of Baseline Street and it is somewhat constrained in size, near S 4<sup>th</sup> Avenue. The Site does not directly abut residential uses, as they are to the south on the opposite side of the abutting Southern Pacific Railroad, which is 60-foot in width. As depicted on the site plan, the minimum setbacks for the new development will be met. Staff notes along a portion of the southern property line, there is a storm water line. The City Engineer is requiring a 20-foot-wide easement along this southern property line for access and maintenance. The proposed buildings do not encroach into this easement area.

The proposed height of the building, as shown within Exhibit “A”, is approximately 38.2 feet in height. The applicant is requesting Conditional Use Permit (CUP) approval to exceed the 35-foot height limitation of the zoning district, as described within the application packet and within the CUP section of this report. Staff notes the applicant has described that future solar panels are proposed to be located on the roof of the building. The future solar panels would not extend past the peak of the roof. This shall be a condition of approval.

***18.45.050 Performance standards.***

***In a C-2 zone no land or structure shall be used or occupied unless there is continuing compliance with the following standards:***

***(A) Design Review Approval. All design review requirements and conditions of approval, including all prior attached conditions shall be satisfied.***

**Findings:** On July 25, 2022 the applicant submitted their land use applications and they were deemed complete on August 11, 2022. There are no previous land use approvals or reviews for the site. The applicant has submitted the necessary application materials for the Planning Commission to review and consider. As noted earlier, modifications to the plans were necessary to account for a required 20-foot easement along the southern property line. The applicant signed a 120-waiver, as shown within Exhibit, “E”.

***(B) Environmental Standards. All uses shall comply with required air, land, and water quality standards set forth by all state, federal and local jurisdictions (i.e., Department of Environmental Quality, Clean Water Services, and Metro).***



**Findings:** The Site will have sewer, water and storm water connections. Storm water is managed and regulated by Clean Water Services (CWS). The City Engineer has submitted comments regarding the storm water system as described within Exhibit “B”. A condition of approval shall require that all CWS and City standards for the storm water system be met prior to issuance of a final occupancy permit.

As noted earlier, the City received comments from the Oregon Department of State Lands regarding Site TD-3 within the Cornelius Wetland Inventory. The City finds that within the known documents, the Site is not a significant wetland area. CWS signed a Service Provider Letter (Exhibit, “A”) regarding the proposed site plan, which does not address the wetland in question. The City is required to address DSL concerns and noticing requirements. Notice was given to the DSL with regard to the non-locally significant wetland on September 9, 2022. The City will work with the applicant to address and satisfy DSL comments and concerns. Prior to the issuance of development permits, DSL concerns and any requirements must be satisfied, this shall be a condition of approval.

***(C) Heat and Glare.***

***(1) Except for exterior lighting, operations producing heat or glare shall be conducted entirely within an enclosed structure, such that glare is not visible from a public street or adjacent property.***

***(2) Exterior lighting shall be designed such that glare is directed away from public streets or adjacent properties.***

**Findings:** The applicant submitted a lighting plan with fixture details. The on-site lighting shall not glare into the abutting ROWs or adjacent properties. A condition of approval shall require on-site lighting installation meeting the glare requirements prior to issuance of a final occupancy permit.

***(D) Insects and Rodents. Materials including wastes shall be managed and stored, and grounds shall be maintained in a manner that will not attract or aid the propagation of insects or rodents or create a health hazard.***

**Findings:** The applicant indicates that the property owner will routinely address pests. A condition of approval shall require that the Site be kept clean of wastes so it does not attract or aid in the propagation of insects or rodents, or create a health hazard.

***(E) Outside Storage. Outside storage shall be appropriately screened consistent with CMC 18.55.070(F)(1).***

**Findings:** The applicant is not proposing the outside storage and merchandise sales; as outdoor storage requires CUP approval. It is important to note, that on the submitted site plan, the applicant is proposing an outdoor courtyard where two mobile food vendors may be placed. Staff finds that mobile food vendors are subject to CMC 5.35. No CUP is necessary for the placement of the proposed mobile food vendors; however, they are required to comply with all the applicable sections of CMC 5.35.

The applicant shows the location of the proposed trash collection area on the submitted site plan. The plan shows that the trash collection area will be screened with a covered roof.

***18.45.060 Development standards.***

***In a C-2 zone no new use or occupation of land or a structure or a new structure and no change of use of land or a structure shall be permitted unless there is continuing compliance with the following standards:***

***(A) Landscape Plan.***

***(1) For all uses in a C-2 zone, the first five feet of lineal street frontage on the subject site shall be landscaped (exclusive of frontage trees) prior to occupancy, in accordance with the approved site plan and the standards set forth herein.***

***(2) When at maturity, at least 80 percent of the proposed landscape area shall be covered by plant material, lawn, and trees. The remaining area may be covered in nonvegetative ground cover.***

***(3) Frontage Trees. Frontage trees shall be required and shall be selected from the approved public works street tree list. The total number of trees shall be determined by dividing the total linear footage of the site, which abuts a public street, by 30 feet. The location of the trees shall be determined through design review, and the following standards shall apply:***

***(a) Trees shall be located at least five feet from a utility pole, fire hydrant, driveway, crosswalk, or utility easement, except as may be approved by the public works director, and at least 20 feet from an overhead street light.***

***(b) There shall be no impervious material within a one-and-one-half-foot radius around the tree trunk.***

***(c) Trees at the time of planting shall have a minimum height of six feet from ground level, and shall be at least two inches in caliper (d.b.h.).***

***(d) Trees shall not cause any vision impairment to vehicular traffic.***

*(e) Installation of required landscaping may be deferred for up to six months; provided, that the owner posts with the city a cash deposit or irrevocable letter of credit assigned to the city for an amount equal to 150 percent of the estimated cost of the landscaping materials and installation by a qualified contractor.*

**Findings:** The applicant has provided a landscaping plan as shown within Exhibit “A”. The plan shows general compliance with the minimum landscaping and street tree requirements. Staff notes that the proposed lawn areas will be artificial turf. The use of artificial turf has not been used within the City for Commercial projects. Staff finds that if installed and maintained, it can be low maintenance and visually appealing. Prior to issuance of the approved engineering plans, the applicant shall post with the City a performance security assigned to the City for an amount equal to 150 percent of the estimated cost of the landscaping materials and installation by a qualified contractor. The planting and installation of the landscaping shall be to the approved plans and the CMC. These shall be conditions of approval.

***(B) Vehicular Access, Internal Circulation and Clear Vision Areas.***

*(1) Where possible, vehicular access to commercial developments shall be from abutting arterial or collector streets, and shall be shared with adjacent properties to minimize multiple curb cuts. Access to individual lots from T.V. Highway shall be approved by ODOT with secondary access from adjacent collectors or minor local streets where possible. Except in the case of a multi-building complex, direct lot access to an arterial shall not be permitted, unless there is no viable alternative, and direct access to collector and local streets shall only be allowed as permitted by the review body.*

**Findings:** The site has access on Baseline Street, an Oregon Department of Transportation (ODOT) facility. As required by the CMC, the City held a pre-application conference with the applicant. At the meeting, staff indicated that they would need to contact ODOT and obtain an access permit. Within the application packet of Exhibit “A”, the applicant has provided a letter dated on May 13, 2022 from ODOT. The proposed access has been reviewed by ODOT and the letter outlines the necessary ODOT permits that must be obtained. The letter outlines ODOT’s recommended conditions of approval. Therefore, a condition of approval shall require that the applicant comply with ODOT’s recommended conditions of approval for design and access permits onto Baseline Street, as described within the May 13, 2022 letter, provided within Exhibit “A”.

*(2) The minimum public street width for commercial development shall comply with the standards and design identified in CMC 18.143.040, Street design cross-sections per transportation system plan.*

**Findings:** The City Engineer has provided detailed comments regarding the proposed project. City records indicate that no additional ROW dedications are necessary. The frontage improvements along Baseline Street shall be constructed to City and ODOT Standards, as required by the City Engineer and ODOT.

***(3) Internal Access. All internal roadways and drives shall be paved and maintained by the owner in accordance with city standards. No entrance or exit shall be located closer than 100 feet to any intersection of a public street, unless there is no reasonable alternative. They shall have the following minimum unobstructed pavement width:***

***(a) Two-way traffic: 24 feet;***

***(b) One-way traffic: 15 feet.***

**Findings:** The applicant shows that the internal drive aisles will be approximately 24' feet in width. The vehicle maneuvering areas will be asphalted. The entrance and exit will be onto Baseline Street, an ODOT facility. The driveway is not within 100 feet of a roadway intersection that is on the same side of the street.

Staff also finds that the location of the development on the Site will not preclude a cross-over easement between abutting properties. Future development of the Site to the west can require additional internal drives connections to the proposed site plan to minimize access points along Baseline Street.

***(4) Internal sidewalks or pathways shall be provided to ensure safe and convenient pedestrian circulation throughout the development.***

**Findings:** The applicant is proposing frontage improvements along Baseline Street, which includes an 8' public sidewalk. From the new public sidewalk, an internal sidewalk is proposed to the front door of the new business, as shown on the submitted site plan of Exhibit "A". Therefore, prior to issuance of final occupancy permits, the pedestrian pathway that connects the front door of the new business to the Baseline Street frontages, shall be installed. This shall be a condition of approval. The pathway will cross an internal drive-isle, as depicted on the submitted site plan. For pedestrian safety, a striped crosswalk shall be installed.

***(5) Clear vision areas shall be provided at all roadway and driveway intersections in accordance with the vision clearance standards set forth in CMC 18.150.070.***

***(C) Access Streets – Sidewalks – Drainage.***

***(1) All streets shall be designed in accordance with standards set forth in Chapter 18.143 CMC, Transportation Facilities, the subdivision code and public works standards.***

*(2) All driveways for new construction shall have minimum pavement width of 12 feet and shall not be more than 35 feet in width at the curb, unless specifically approved by the review body to meet unusual requirements of a particular use. Each driveway shall have a concrete curb apron designed to comply with public works standards.*

**Findings:** As shown within Exhibit “A”, the applicant proposed to construct a new driveway onto Baseline Street. On the submitted site plan, the clear vision areas are shown and future compliance appears to be met. A condition of approval shall require that the clear vision areas be met, as access will be onto a State Highway where vehicle speeds are at a higher rate, than on a local street.

The applicant has been in contact and has coordinated the proposed placement of the driveway with ODOT. The proposed driveway width will be approximately 30 feet in width, which is within the allowable parameters of the CMC. The driveways and the associated frontage improvements shall be designed to comply with the applicable standards as required by the City Engineer and ODOT. This shall be a condition of approval.

*(3) Cul-de-sacs shall serve no more than four separate uses and shall have a minimum turning radius of 50 feet measured to the front edge of the curb.*

**Findings:** The proposal does not involve a cul-de-sac.

*(4) Sidewalks and Improvements.*

*(a) For all new construction, curbs, gutters, and a minimum six-foot-wide sidewalk, with eight feet at a bus stop, shall be provided along the entire lot frontage, and shall meet ADA accessibility standards.*

*(b) Site design review Type II requests for remodels, alterations and/or additions to an existing building shall require a sidewalk if one does not exist, the driveway apron and paved driveway to be constructed to city standards. Commercial sidewalks shall be curb tight, unless otherwise approved by the review body.*

**Findings:** Sidewalks do not exist on this portion of Baseline Street. The City Engineer has submitted detailed comments regarding frontage improvements that will be required in order to meet applicable standards, as described within Exhibit, “B”. Prior to Building Permit submittal, the City Engineer shall review and approve the public improvement plans. This shall be a condition of approval.

*(5) Storm drainage shall be managed through a system of underground drainage lines and catch basins, which convey storm water off the site to a public storm system, and shall comply with Clean Water Services (CWS) standards for water quality and quantity.*

**Findings:** The applicant shows within their submitted materials the proposed storm drainage plans. The City Engineer reviewed the proposal. To comply with CWS standards, the applicant is required to demonstrate on-site treatment with an additional Low Impact Development Approach (LIDA). Therefore, prior to final occupancy, the storm water system shall be installed and comply with all applicable CWS standards, including LIDA. This shall be a condition of approval.

***(D) Lighting Streets. Streets and walkways shall be lighted during the hours of darkness in accordance with public works standards.***

**Findings:** The applicant has provided a lighting plan for the Site. The lighting plan shows how the interior of the Site will be light during hours of darkness. However, no lighting plan is shown that the street frontage and street sidewalk will be light. Therefore, prior to issuance of building permits, the City Engineer shall review and approve as part of the public infrastructure plan, lighting of the street and sidewalk frontage. The required street lights shall be installed and functional, prior to issuance of a final occupancy permit. The streets and walkways shall be lighted during the hours of darkness in accordance with the public works standards. These shall be conditions of approval.

***(E) Mailboxes. Except for in-fill partitioning, clustered mailboxes shall be provided, consistent with the locational criteria set by the Post Master. They shall be of uniform style.***

**Findings:** The applicant indicates that a mailbox will be provided and it's placement will be in agreement with the Post Master.

***(F) Screening.***

***(1) Sight-obscuring screening shall be provided for all garbage and trash collection areas, and for any approved outdoor storage, or parking lots abutting a residential development. Such screening shall be six feet in height, and shall consist of a wall of brick, stone, or other substantial material, or a densely planted evergreen hedge and a decorative fence, such as wrought-iron. Chain link fencing may not be used in the front yard area.***

**Findings:** The applicant proposes a screened garbage and trash collection area. The applicant provided a detail of this proposed facility and showed its location on the site plan and plan details within Exhibit "A".

***(2) The reviewing body may require non sight-obscuring screening and/or fencing of parking lots abutting property lines, front yards abutting a public street, or other yards abutting a residential development.***

**Findings:** The site does not directly abut a residential development. The back of the building will face a subdivision that is on the opposite side of the Southern Pacific Railroad, which is approximately 60 feet in width. The submitted site plan shows that all of the on-site parking will be within the interior of the Site. There will be a row of parking near the western property line, which is currently undeveloped. The site plan shows that landscaping will be provided between the western property line and abutting parking stalls, which is commercial zoned.

As noted within the Basic Facts section of this report, the Oregon Department of Transportation Rail Division did submit comments, Exhibit “D”.

***(G) Parking and Loading Space.***

***(1) Off-Street Parking. Parking shall be provided as set forth in Chapter 18.145 CMC.***

***(2) Paving and Design. Off-street parking and maneuvering areas shall be paved with asphalt or concrete and designed in accordance with the standards of the off-street parking regulations of this title.***

***(3) Parking Lot Landscaping. There shall be a five-foot landscaped buffer at the perimeter of all parking lot areas. Parking lots shall be designed and landscaped so as to break up large paved areas with landscaped islands, such as every 10 spaces.***

**Findings:** The applicant, within Exhibit “A”, provides a detailed site plan that shows 67 on-site parking spaces. For the proposed use ‘Major Event Entertainment’ within Table 1 of CMC18.145.030, the minimum parking standard is 1 parking space per 6-foot bench. The applicant is proposing 448 lineal feet of bench seating, which results in 75 required on-site parking spaces. CMC 18.143.060(B), when a proposed use is within one-quarter mile of a bus stop with at least 10 off street parking spaces, a 10% reduction may be applied. With a 10% reduction applied, the minimum on-site parking spaces required is 67 on-site parking spaces. Therefore, a condition of approval shall require that 67 on-site parking spaces be provided as shown on the site plan prior to occupancy.

Of the 67 on-site parking spaces the applicant is proposing 9 ADA parking spaces, as well as 17 compact parking spaces. A regular parking space is dimensioned to be 9-feet by 20-feet in size and a compact parking space is dimensioned to be 8-feet by 16-feet in size. The CMC permits up to 25% of the required parking spaces to be designated as compact spaces.

The site plan shows compliance with a five-foot landscaping buffer for every 10 on-site spaces. The landscape buffer will be landscaped as shown within the submitted landscaping plan. A condition of approval shall require that prior to final occupancy the parking lot and landscaping shall be installed to the approved plans.

The CMC requires 1 bicycle parking space per 40-feet of bench. For 448-feet of bench space, 11.2 or 12 ( $448/40=11.2$ ) bicycle parking space are required. The applicant described within the application that 11 bicycle parking spaces will be provided. The detail of the proposed bicycle rack is a ‘hooped’ rack, which accommodates 7 secured bicycles. The placement of 2 of these bicycle racks on-site could secure 14 bicycles. The applicant shows 2 bicycle racks on the site plan. Therefore, the minimum required 12 on-site bicycle parking spaces can be accommodated with the 2 bicycle racks. This shall be a condition of approval.

***18.45.070 Signs.***

***Signs within the C-2 zone may be allowed consistent with Chapter 18.175 CMC.***

**Findings:** The applicant does not address this section, however in accordance with the CMC, wall and freestanding signs shall be reviewed through a sign permit application. Any proposed freestanding signs and signage placed on the building will also require building permits. Therefore, all wall and freestanding signage shall receive sign permit and building permit approval prior to their installation. This shall be a condition of approval.

***Chapter 18.100. Site Design Review***

***18.100.040 Approval criteria.***

***In addition to the other requirements of the zoning code and other city ordinances, a project submitted for design review shall comply with the standards and criteria in subsections (A) and (B) of this section; all applications for a sign permit subject to the provisions of the sign code, Chapter 18.175 CMC, inclusive, shall comply with the rules and regulations of the committee adopted under the provisions of Division III of this title and other applicable provisions of the Cornelius City Code.***

***(A) Technical Standards. Where applicable, required off-site improvements shall be based on proportional analysis.***

***(1) Facilities and Services. The public and private facilities and services provided by the development are adequate as to location, size, design and timing of construction in order to serve the residents or establishments to be accommodated and meet city standards and the policies and requirements of the comprehensive plan. The service provider is presumed correct in the evidence which they submit;***

**Findings:** There is an existing non-conforming single-family dwelling located on the Site, that is proposed to be demolished. The applicant proposes a new 39,376 sf indoor sports court facility, including a new parking lot area, landscaping, outdoor plaza with two mobile food vendors and other supporting amenities, as described within Exhibit “A”.



The site has access on Baseline Street, which are ODOT facilities and are designated as Arterial Streets as defined by the 2020 Cornelius Transportation System Plan. The applicant has provided documentation from ODOT that outlines ODOT's recommended conditions of approval. As identified earlier within this report, the applicant has provided a site plan (Exhibit "A") which will comply with ODOT's request for driveway placement.

The applicant proposes to connect to city utilities. The applicant has submitted a completed Sensitive Area Pre-Screening Site Assessment form (Exhibit "A") showing that there are no sensitive areas within 200 feet of the project. Staff finds that for the development the applicant shall be required to meet all applicable State, County and City Building, Electrical, Plumbing, Mechanical Code requirements. This shall be a condition of approval.

When Building Permits are submitted, a geotechnical report for the foundation and foundation drainage will need to be incorporated in the submittal for Building Permits. This shall be a condition of approval.

***(2) Traffic Generation. Based on anticipated vehicular and pedestrian traffic generation and the standards and policies of the comprehensive plan, adequate right-of-way and improvements to streets, pedestrian ways, bikeways, transit ways and other ways are provided by the development in order to promote safety, reduce congestion, conserve energy and resources, and encourage transit use, bicycling and walking. Consideration shall be given to the need for constructing, widening and/or improving, to the standards of the comprehensive plan and this code, public streets, bicycle, pedestrian, and other ways in the area of the proposed development impacted by the proposed development. This shall include, but not be limited to, improvements to the right-of-way, such as installation of lighting, signalization, turn lanes, median and parking strips, traffic islands, paving, curbs and gutters, sidewalks, bikeways, transit facilities, street drainage facilities, traffic calming devices, and other facilities needed because of anticipated vehicular, transit, bicycle, and pedestrian traffic generation. Access and street design shall comply with the standards identified in Chapter 18.143 CMC, Transportation Facilities, inclusive. Street trees shall be installed to the standards identified in CMC 17.05.040(D)(3)(k). In lieu of actual construction of off-site improvements, the committee may accept written waivers of remonstrance to the formation of local improvement districts for the purpose of providing the needed off-site improvements or cash payment to the city in an amount equal to the estimated cost of said off-site improvements;***

**Findings:** Based on City standards, the City Engineer is not requiring a Traffic Study for the proposed redevelopment, unless required by ODOT. Based upon the ODOT letter to the applicant, a Traffic Study is not required.

The frontage improvements as defined by the City Engineer within his comments (Exhibit "B") are required. This shall be a condition of approval.

Prior to issuance of a building permit, the City shall review the building permit plans and provide the applicant a Notice of Transportation Development Tax (TDT) Decision, per the Washington County TDT procedures. The applicant shall indicate to the City, prior to issuance of the building permit, the preferred method of payment and pay the TDT accordingly. The City of Cornelius shall calculate and collect the TDT. Prior to issuance of Building Permits, the applicable TDT shall be collected. This shall be a condition of approval.

*(3) Dedication. Adequate dedication or reservation of real property for public use, as well as easements and right of entry for construction, maintenance and future expansion of public facilities and services, shall be required to protect the public from any potentially deleterious effects resulting from the proposed use to fulfill the need for additional, improved services, whether on- or off-site, created by the proposed use, and to effect the implementation of the standards and policies of the comprehensive plan;*

**Findings:** No additional public ROW dedication is necessary.

*(4) Internal Circulation. There is a safe and efficient circulation pattern within the boundaries of the site. Consideration shall include the layout of the site with respect to the location, number, design and dimensions of vehicular, transit, and pedestrian access, exits, drives, walkways, bikeways, transit stops and facilities, building location and entrances, emergency equipment ways and other related on-site or off-site facilities so that there are adequate off-street parking and loading/unloading facilities provided in a safe, well designed and efficient manner. Consideration shall include the layout of parking, storage of all types of vehicles and trailers, shared parking lots and common driveways, garbage collection and storage points, as well as the surfacing, lighting, screening, landscaping, concealing and other treatment of the same. Developments shall provide a safe and reasonably direct pedestrian connection from the main entrance to the public right-of-way and/or the pedestrian system or both. The pedestrian connection shall be reasonably free of hazards from automobile traffic, so as to help encourage pedestrian and bicycle travel;*

**Findings:** The applicant has submitted a site plan that shows the location of the building, parking spaces, internal sidewalks, trash enclosure, and a sidewalk connection to Baseline Street, as identified within Exhibit “A”.

The applicant shows the location of the proposed enclosed trash receptacle area. The structure will be located near the southwestern corner of the building, outside within a screened and covered enclosure. The structure will have a double gate at the front of it for removing the trash bins. Staff finds that the gates will not swing into the internal drive-aisles.

The Oregon Department of Transportation Rail Division submitted comments regarding the proposal as described within Exhibit, “D”. Within the comments they express concerns regarding trespassing into and over the railroad right-of-way. Their comments are in regards to unapproved

pedestrian crossing located at 1<sup>st</sup> Avenue. ODOT Rail is requesting trespassing mitigation at 1<sup>st</sup> Avenue or to apply for a pedestrian rail crossing. Staff finds the subject site does not abut this intersection and has no direct connectivity. If the property west of the subject Site does develop in the future, then there would be clear nexus for this request from ODOT Rail.

Staff also finds that no fencing along the southern property line is proposed. The site plan shows that the proposed build will be located along a majority of the southern property line, which will discourage pedestrian trespassing. The Site is also near an approved pedestrian crossing of S 4<sup>th</sup> Avenue. As shown on the site plan, the main entrance is facing Baseline Street, which will have sidewalks. There is no clear pathway or shortcut to the nearby residential area from the subject Site, other than the sidewalk along 4<sup>th</sup> Avenue. The placement of fencing along this section would also be unsightly as the City is in the process of improving this commercial corridor. Therefore, staff recommends no fencing be required along the southern property line.

***(5) Maintenance of Private Facilities. Adequate means are provided to ensure continued maintenance and necessary normal replacement of private common facilities and areas, drainage ditches, streets and other ways, structures, recreation facilities, landscaping, fill and excavation areas, screening and fencing, ground cover, garbage storage areas and other facilities not subject to periodic maintenance by the city or other public agency;***

**Findings:** This proposal does not affect nor prohibit the provision of the maintenance of private or public facilities. The storm water will drain to an approved water quality facility that will be constructed as part of this project. Prior to occupancy, this water quality facility shall be constructed as required by the City Engineer and a private storm water quality facility maintenance agreement shall be signed and recorded by the applicant. This shall be a condition of approval.

***(6) Public Facilities. The structures and public facilities and services serving the site are designed and constructed in accordance with adopted codes and/or city standards at a level which will provide adequate fire protection and protection from crime and accident, as well as protection from hazardous conditions due to inadequate, substandard or ill-designed development;***

**Findings:** The public facilities that will serve the site shall be constructed to City Public Works Standards. A condition of approval shall require that the applicant submit the necessary documentation as required by the City Engineer (Exhibit “B”) for engineering plan review and approval of the public improvements.

The applicant shall also meet all applicable requirements as deemed necessary from the Building Official and Fire Department for fire protection and public safety. This shall be a condition of approval.

***(7) Security. Adequate facilities shall be provided to prevent unauthorized entries to the property, facilitate the response of emergency personnel, and optimize fire protection for the building and its occupants. Adequate facilities may include, but not be limited to, the use of lighted house numbers and a project directory for multi-family projects of three or more units;***

**Findings:** Prior to occupancy, the applicant/property owner shall comply with any fire, life, and safety requirements as deemed necessary by the Cornelius Fire Department, as described within Exhibit “B”. Prior to occupancy, the new building shall be adequately addressed for location by emergency personnel. The current address of the existing non-conforming house on tax lot #200 is 271 Baseline Street. The proposed home will be removed and the access from Baseline Street into the new facility will be in same vicinity. The same address, 271 Baseline Street is still applicable. For commercial buildings, Fire Department will require that a Knox Box be installed, for emergency access. The applicant/owner shall contact the Fire Department and discuss emergency protection measures. The Knox Box shall be installed prior to issuance of a final occupancy permit. These shall be conditions of approval.

***(8) Grading. The grading and contouring of the site takes place and site surface drainage and on-site storage of surface waters facilities are constructed so there is no adverse effect on neighboring properties, public rights-of-way, or the public storm drainage system and that said site development work will take place in accordance with the city site development code;***

**Findings:** The applicant submitted an existing Topo/Site Conditions plan, as shown within Exhibit “A”. The site is relative flat so minimal on-site grading will be necessary. Prior to site development, the applicant shall be required to submit a final grading and storm water design to the City Engineer and Building Official for review and approval. This shall be a condition of approval.

The City Engineer identified that prior to development of the site an Erosion Control Permit is required for the Site. Due to the size, more than 1 acre, a 1200-CN is required. Therefore, this shall be a condition of approval. The applicant will also obtain an approved 1200-CN Erosion Control Permit from CWS, and meet all applicable City and CWS requirements prior to any site work. This shall be a condition of approval.

***(9) Utilities. Prior to the development of a site, utilities shall be extended to serve the site or financially secured for extension to serve the site. Connection to city utilities shall be required prior to final inspection and occupancy. Electric, telephone, and other utility services to new development shall be located underground. New utilities for redeveloped parcels shall be located underground from the right-of-way to the redeveloped parcels;***

**Findings:** The lot is currently developed with a non-conforming single-family dwelling. The proposed development includes the demolition of the house and installation of new utilities. The applicant included a detailed utility plan. It is the developer’s responsibility to connect to the public

utility systems. All utilities that will service the development shall be located underground from the right-of-way prior to occupancy. Prior to building permit submittal, a final design of the utilities must be reviewed and approved by the City Engineer. This shall be a condition of approval.

***(10) Accessibility. Access and facilities for physically handicapped people are incorporated into the site and building design with particular attention to providing continuous, uninterrupted access routes;***

**Findings:** The applicant shall comply with the requirements of the Americans with Disabilities Act (ADA) prior to occupancy of the structures. The ADA parking space(s) and internal sidewalks and their connections to the public sidewalks shall meet all applicable Building Code and ADA requirements. This shall be a condition of approval.

***(11) Bicycle Lanes and Sidewalks. Where street improvements on arterials and collectors are required as a condition of development approval, they shall include bicycle lanes and sidewalks constructed in accordance with city standards.***

**Findings:** There is an existing striped bicycle lane adjacent to the southernmost travel lane of Baseline Street. The City Engineer is requiring frontage improvements, which include an 8' shoulder/bike lane and a new sidewalk that is six feet in width, as described within Exhibit, "B". This shall be a condition of approval.

***(B) Design Standards.***

***(1) Relation of Building to Site. The proposed structures shall be related harmoniously to the terrain and to existing buildings which have a visual relationship to the proposed structure. Building height, bulk, lot area, coverage, setbacks, and scale should be particularly considered with regard to achieving compatible relationships. Screening, except in the industrial zone, exposed storage areas, utility buildings, machinery, service and truck loading areas, solid waste disposal cans, containers and other structures, and other accessory uses and structures, shall be adequately set back and screened. If a building is constructed, enlarged or altered to meet Type II thresholds and is located within 500 feet of a bus/transit stop, a main entrance door shall be placed on the street side of the bus/transit line and located as close as structurally possible to the bus/transit stop in compliance with this title;***

**Findings:** The applicant has submitted a site plan (Exhibit "A") of the proposed development. The new building will be located mainly within the southeastern portion of the Site. The proposed outdoor plaza will be located east of the main entrance into the facility, facing Baseline Street. The primary entrance faces Baseline Street and is located approximately 100 feet from the bus stop at the corner of Baseline Street and 4<sup>th</sup> Avenue. The parking lot will be located roughly on the western and northern area of the site and the screened trash enclosure is on the west near the rear of the building. The applicant is proposing a concrete pathway from a new sidewalk along Baseline

Street to the front door, this will be a pedestrian connection. The applicant provided renderings and architectural plans of the proposed structure to be placed on-site. The setbacks and scale comply with the C-2 zoning district standards. The applicant is requesting with CUP approval a deviation to exceed the maximum building height limitation by 3-feet 2-inches.

***(2) Trees and Vegetation. The development has been designed to, where possible, incorporate and preserve existing trees or vegetation of significant size and species. Consideration shall be given to whether habitat, survival of the tree species, and aesthetics can best be achieved by preserving groves or areas of trees as opposed to only individual trees;***

**Findings:** The site is currently developed with a dwelling and unmaintained landscaping. The unmaintained landscaping consists of grass areas, shrubs and a few trees that have been neglected through time. The applicant has submitted a detailed landscaping plan that shows new landscaped areas. The applicant's proposal does not preserve any of the existing trees or vegetation, as they are not significant in size and species.

***(3) Historic Structures. Consideration is given to the effect of the proposed development on historic buildings or features both on the site and within the immediate area;***

**Findings:** There are no known historic structures on or near the property.

***(4) Grading and contouring of the site shall take place with particular attention to minimizing the possible adverse effect of grading and contouring on the natural vegetation and physical appearance of the site;***

**Findings:** The lot is relatively flat near the proposed building area. There will be some on-site grading necessary for the redeveloping the Site. The applicant submitted an existing conditions/grading plan as shown within Exhibit "A". The grading and contouring plan shall be reviewed by the City Engineer and Building Official prior to issuance of a grading permit.

As indicated earlier within the report, DSL submitted comment regarding a possible wetland. The applicant is also required to meet all applicable City, CWS and DSL requirements prior to any site work. The applicant shall obtain all the necessary grading permits for on-site and any off-site ROW work prior to commencing site work. This shall be a condition of approval.

***(5) Landscaping. The quality, location, size, and structural and aesthetic design of walls, fences, berms, traffic islands, median areas, hedges, screen planting and landscape areas are such that they serve their intended purposes and have no adverse effect on existing or contemplated abutting land uses;***

**Findings:** The landscape planting plan shows trees and ground cover to be placed on-site. The placement of the landscaping on the site is in logical areas around the buildings, walkways and

parking lot. The placement of the landscaping is not anticipated to have an adverse effect on the proposed development or abutting land uses. The applicant is proposing a significant amount of artificial turf, which does not require irrigation and is minimal maintenance. However, trees do trees and other plants and vegetation do require irrigation. To ensure plant health, the living landscape areas shall be maintained and an irrigation system shall be installed, where needed. The installation of the irrigation system shall be to the City and State Plumbing Code. This shall be a condition of approval.

***(6) Lighting. Adequate exterior lighting shall be provided to promote public safety, and shall be designed to avoid unnecessary glare upon other properties;***

**Findings:** The applicant is proposing exterior lights throughout the development. A photometric plan and lighting fixture details have been provided, as shown within Exhibit “A”. To protect the nearby uses on adjacent properties and public ROWs, a condition of approval shall require that no on-site lighting may shine or glare into adjacent properties or public ROW’s.

***(7) Solar Access. In determining the appropriate relation of the building or structure to the site, the committee shall require that the building or structure be located on the site in a location and direction that will maintain, where feasible, solar access for adjacent properties and buildings or structures within the site.***

**Findings:** The applicant has indicated that the project will not impact solar access on adjacent properties. Staff finds that the footprint and orientation of this commercial structure is similar to other buildings and developments along the highway corridor. The relation of the building to nearby properties will not impact solar access.

The applicant has also indicated that future solar will be installed on the roof. The orientation of the roof is ideal for solar application. The solar panels will require their own building permits and no additional land use review is necessary for the installation of solar panels on this project. Any solar addition shall be located below the 35 foot height limit in the zone.

**Conditional Use Permit, Chapter 18.105.030.B., Approval Criteria:**

*1. The proposed development will comply with the Comprehensive Plan.*

**Findings:** The subject parcel is designated on the Comprehensive Plan as Commercial. The City Zoning Map designates the parcel as Highway Commercial (C-2). In Chapter V (Economic Development) of the Comprehensive Plan there are policy statements that support and promote continued commercial activity and diversification.

To highlight the sections of the Comprehensive plan, staff provides the following findings:

- Chapter 1 Citizen Involvement; the applicant has provided adequate public notice and held the required neighborhood meeting prior to this application submittal.

- Chapter 2 Urbanization; the proposal will not impact population growth statistics within the region.
- Chapter 3 Land Use; the proposed use (portion of) is specifically identified within CMC Section 18.45.020(A) as an entertainment use, which is permitted outright. The proposed deviation of height is also identified within CMC Section 18.45.030 (G) that require conditional use permit approval.
- Chapter 4 Housing; the proposal does not impact housing needs within the City.
- Chapter 5 Economic Development; the applicant describes that the proposal will benefit the city with additional jobs, tax revenue, and spending. The applicant describes that there is a lack of gym space in the community and region. The proposal will draw out of City residences into the area for practice and sports tournament. The influx of people in the city will boost nearby restaurants, lodging and other retail services.
- Chapter 6 Natural and Cultural Resources; the applicant has obtained an approved Pre-Screening Site Assessment from, signed by Clean Water Services. As described with this report, DSL identified that the Site (a portion) is identified as Site TD-3 on the Local Wetland Inventory Map. Staff believes there are no known impacts to any natural resources, based upon the notes within the inventory booklet. However, DSL concerns must be addressed and the City is working with the developer and DSL to comply with any DSL requirements.
- Chapter 7 Public Facilities and Services; the proposed redevelopment of the site will include the addition of public infrastructure along the frontage of the site. The development will be required to connect and be served by city services.
- Chapter 8 Transportation System Plan; the City Engineer comments that the proposed project will need to comply with the adopted City Transportation System Plan. Frontage improvements to current City Standards are proposed.

This proposed use represents a highly diversified activity for youth and other individuals. The operation will also support local employment and other area commercial businesses. The applicant is not proposing a change in zoning or an amendment to the Comprehensive Plan to accommodate the proposed use.

**Conclusion:** Based upon the findings above, staff concludes this criterion is met.

*2. The applicable requirements of the zoning district are satisfied; and*

**Findings:** The subject property is zoned Highway Commercial (C-2). As noted earlier, the applicant has addressed the applicable sections the C-2 zoning district and the applicable development standards. The CMC permits with CUP approval from the Planning Commission, requests to exceed the height limitation of the zone. The applicant is requesting to exceed the height limitation of the zone by 3-feet, 2- inches so the height will be 38.2-feet. All other



development standards of the zone are proposed to be met or can be met with conditions of approval.

**Conclusions:** Based on the findings above, staff concludes this criterion can be met.

3. *That the location, size, design, and functional characteristics of the proposed use are such that it can be made reasonably compatible with and have a minimum impact on the livability and appropriate development of other properties in the surrounding neighborhood.*

**Findings:** The applicant submitted a narrative statement and site plan, as shown in Exhibits “A”. The site has its primary access from Baseline Street, which is an Oregon Department of Transportation (ODOT) facility. As noted by the City Engineer, street frontage improvements are required, such as curb, gutters, sidewalks, street trees, street lights and a landscape strip. The City of Cornelius Public Works Standards and may require a permit from the Oregon Department of Transportation due to their potential location within the ODOT right-of-way. In addition, the trees shall be irrigated and shall be maintained for two years, as required by the City.

There is a non-conforming residence on the Site, which is scheduled to be removed for the proposed development.

Staff finds the proposed deviation is in-line with other height deviation requests within the commercial corridor. Two examples to the east were facilities where a greater height deviation was requested and granted, for the Wilco Farm Store and Cornelius Place. Staff finds that as proposed, height deviation will little to no impact to the abutting commercially zoned properties, which many in the future will be redeveloped.

As described within this report, the applicant is proposing solar panels on the roof in the future. Solar installations are required to obtain building permits and electrical permits. The installation of solar panels throughout the City are encouraged and are being installed on a regular basis. The increased height, with solar panels will have little to no impact on nearby properties.

**Conclusions:** Based on the findings above, staff concludes this criterion can be met.

4. *The granting of the proposal will provide for a facility that is consistent with the overall needs of the city.*

**Findings:** The applicant is requesting conditional use approval for a height deviation. The applicant has provided renderings and elevations of the proposed new building. Staff finds that the proposed deviation will enhance building appearance and it is functional as the facility will be used as sports courts. The new facility will enhance a growing western commercial corridor. The proposal is consistent with Goal 5 (Economic Development) of the Comprehensive Plan, by diversifying the City’s breadth of uses within the C-2 zoning corridor. The business will also add employment and revenue to the City’s economic base.

In addition, the proposed redevelopment of the site will add critical frontage improvements to a busy State Highway corridor. This section lacks safe pedestrian sidewalks and lighting. The proposed frontage road improvement will improve safety on this section of roadway.

**Conclusions:** Based on the findings above, Staff concludes this criterion can be met.

## **CONCLUSION**

Based upon the findings above, staff concludes that development of the site, as proposed in Exhibits “A”, can conform to the applicable chapters of the CMC with conditions of approval.

## **RECOMMENDATION**

Based upon the facts, findings, and conclusions presented in this Staff Report, the Community Development Director recommends that the Planning Commission approve DR-129-22, CUP-04-22 and LP-01-22, subject to the following conditions of approval:

1. The proposal includes a Type III Site Design Review and Conditional Use Permit for a new 39,376 sf sports court facility development and a Type II One Lot Land Partition within the Highway Commercial, C-2 Zoning District.
2. A Final Plat application is required after Preliminary Plat approval. Prior to submittal of the Final Plat application a resolution of the wetland identified by DSL shall be provided to the City. Approval for a Final Plat application, including a survey shall be done within twelve (12) months after the Preliminary Plat approval. A 12-month time extension is possible pursuant to CMC Section 17.05.30 (M). The Final Plat shall conform to the approved Preliminary Plat as submitted and in accordance with the conditions of approval described herein.
3. A Final Plat shall not result in any non-conformity with the standards of the CMC.
4. The Final Plat shall show all areas of easements (private and public) with notes describing the purpose of the easements. Easement shall include the 8-foot wide Public Utility Easements along Baseline Street and S 4<sup>th</sup> Avenue, a 20-foot wide storm water easement along southern property line for the storm water line and cross over easements at the Baseline Street driveway to the interior drive-aisles which serve future vehicle connectivity to the parcel to the west.
5. The Final Plat shall have approximately the same dimensions as represented in this preliminary partition application.
6. The Final Plat shall meet the requirements found in ORS Chapter 92, Subdivisions and Partitions.

7. Prior to recording the Final Partition plat, the Applicant shall pay all City liens, taxes, and assessments, or apportion them to individual lots. Any liens, taxes and assessments levied by Washington County shall be paid to them according to their procedures.
8. A Final Plat application shall be submitted 12 months per CMC 17.05.030(M).

#### **Prior to Building Permit Submittal**

9. The Preliminary Land Partition Plat, as approved via LP-04-22, with Final Plat approval by the Community Development Director, shall be recorded with Washington County.
10. The applicant shall submit a final design of the utilities to the City Engineer for review and approval.
11. The applicant shall submit their public improvement plans to be reviewed and approved by the City Engineer.
12. When Building Permits are submitted, a geotechnical report for the foundation and foundation drainage shall be incorporated in the submittal.
13. The concerns identified by DSL shall be satisfied. The City agrees to coordinate and assist the Developer with resolution.

#### **Prior to Site Development**

14. The applicant shall obtain all the necessary grading and erosion control permits (1200-CN) for on-site and off-site work.
15. The applicant shall submit the necessary documentation for engineering plan review and approval of the proposed public improvements as required by the City Engineer in Exhibit "B".
16. The applicant shall obtain the necessary access, miscellaneous, and construction permits from ODOT. The applicant shall comply with ODOT's recommended conditions of approval for design and access permits onto Baseline Street.

#### **Prior to Building Permit Issuance**

17. The City shall review the building permit plans and provide the applicant a Notice of TDT Decision, per the Washington County TDT procedures. The applicant shall indicate to the City their preferred method of payment and pay the TDT accordingly, if necessary.

18. The applicant shall obtain all the appropriate Building, Plumbing, Electrical, and Mechanical Permits and shall meet all applicable Building Code requirements for the proposed development.
19. The applicant shall provide plans that demonstrate the storm water system complies with all applicable CWS standards, including LIDA, to be reviewed and approved by the City Engineer.
20. Prior to issuance of the approved engineering plans, the applicant shall post with the City a performance security assigned to the City for an amount equal to 150 percent of the estimated cost of the landscaping materials and installation by a qualified contractor.

### **Prior to Occupancy**

21. Prior to issuance of a Final Occupancy Permit, all required conditions of approval from this report shall be satisfied.
22. All landscaping, including street trees and irrigation, shall be installed per the approved landscaping plans. The installation of the irrigation system shall be to the City and State Plumbing Code.
23. The applicant shall coordinate with the City Engineer and install all frontage improvements that abut the property to the public works standards or ODOT standards, as applicable. The applicant shall construct an on-site storm drainage system in conformance with CWS standards. All public improvements shall be in accordance with the City Engineer's comments, attached herein as Exhibit "B".
24. A private storm water quality facility maintenance agreement shall be signed and recorded by the applicant.
25. A total of 67 on-site parking spaces shall be provided, as shown on the submitted site plan.
26. The applicant shall comply with all requirements as deemed necessary by the Cornelius Fire Department and the Building Official, as provided in Exhibit "B".
27. The building shall be adequately addressed for location by emergency personnel.
28. A Knox Box, if required, shall be installed near the front entrance, as required by the Fire Department.
29. All new utilities serving the site shall be located underground.

30. Bicycle parking for 12 bicycles shall be required. Prior to issuance a final occupancy certificate, bicycle parking as approved by the Planning Commission and Community Development Director shall be installed, capable of securing a total of 12 bicycles.
31. The applicant shall obtain any required maintenance bonds for street trees and the water quality facility.
32. The applicant shall coordinate the installation of a mail box with the City and the Post Master, if proposed.
33. All on-site lighting be installed and functional. Lighting shall not glare or shine into abutting properties or into the abutting public rights-of way as required by CMC 18.45.050(C)(2).
34. The parking lot shall be constructed and all improvements such as striping, ADA parking, landscaping and wheel stops shall be installed in accordance with the CMC and approved site plan. The ADA parking space(s) and internal sidewalks and their connections to the public sidewalks shall meet all applicable Building Code and ADA requirements.
35. The screened trash enclosure shall be installed.
36. Pedestrian pathways shall meet all applicable ADA requirements. In addition, the pathways shall be lit to provide visibility during nighttime hours.
37. A pedestrian pathway that connects the front door of the new business to the Baseline Street frontages, shall be installed. Where the pathway crosses the private internal drive-isle, for pedestrian safety, a striped crosswalk shall be installed.

### **Other**

38. The applicant shall meet all applicable State, County and City Building, Electrical, Plumbing, and Mechanical Code requirements.
39. Signage that is placed on the property must receive Sign Permit approval through a Sign Permit application review process.
40. The building height shall not exceed 38 feet 2 inches.
41. Future solar panels upon the roof are approved and shall not protrude past the peak of the roof.

42. The streets and walkways shall be lighted during the hours of darkness in accordance with the public works standards.
43. All materials and wastes shall be managed/stored and the grounds shall be maintained in a manner that will not attract or aid the propagation of insects or rodents, or create a health hazard.
44. Any damage to any public improvements or the public right-of-way as a result of construction shall be repaired and/or replaced to City standards by the applicant/owner.
45. The Community Development Director is authorized to suspend or revoke any permit if there is probable cause to believe that the conditions of the permit or any provisions of this ordinance have been violated or that the use is causing a nuisance to the public or surrounding properties. In any case, where the Community Development Director finds a serious danger to the public health or safety, the Community Development Director may suspend the permit without a hearing. In all other cases, the applicant may appeal the Community Development Director's decision of revocation per the applicable Sections of the City Code.

Date of recommendation: **October 3, 2022**



---

Barbara Fryer, AICP, Community Development Director

Exhibits:      “A” Applicant’s submittal  
                  “B” City Engineer and Fire Department comments  
                  “C” Public Notice  
                  “D” Public and Agencies Comments  
                  “E” Signed 120-waiver  
                  “F” Site TD-3 LWI information

\*\*\*\*

# Exhibit “A”



# Land Use Application

City of Cornelius Community Development  
Located at 1300 S. Kodiak Circle, Cornelius, Oregon  
www.ci.cornelius.or.us

### OFFICIAL USE ONLY

Date Received: \_\_\_\_\_ Date Complete: \_\_\_\_\_ ↓ File Number ↓  
Application Fee: \_\_\_\_\_ Receipt Number: \_\_\_\_\_

### APPLICATION TYPE

#### Type I – administrative review without public notice

- Design Review I
- Land Partition—Final Plat
- Other → please describe: \_\_\_\_\_
- Lot Line Adjustment
- Subdivision—Final Plat
- Administrative Relief


#### Type II – administrative review with public notice

- Design Review II
- Other → please describe: \_\_\_\_\_
- Land Partition—Preliminary Plat
- Subdivision—Preliminary Plat


#### Type III – public hearing(s) required with public notice

- Design Review III
- Comprehensive Plan Amendment
- Annexation
- Other → please describe: \_\_\_\_\_
- Conditional Use Permit
- Zone Map Amendment
- Vacation
- Planned Unit Development
- Zone Text Amendment
- Subdivision—Preliminary Plat

### APPLICANT INFORMATION

Name: Samedy Kem Signature:   
 Mail Address: 17891 SW Pheasant Lane Aloha, Oregon 97003  
 Phone: 971.563.0552 Fax: 888.311.5610 E-mail: samedy@kem-developments.com

### PROPERTY OWNER INFORMATION

Name: Russell Resources LLC Signature:   
 Mail Address: P.O Box 367 Cornelius, OR 97113-0367  
 Phone: 503.820.1110 Fax: \_\_\_\_\_ E-mail: rresourcesllc@gmail.com

### SUBJECT SITE INFORMATION

Property Address: 271 Baseline Street Cornelius, Oregon 97113  
 Map & Tax Lot Number(s): 1S304BB00100 and 00200  
 Current Zoning: C-2 Total Size of Site: 2.1 ACRES  
 Existing Use: Residential  
 Proposes Use: Sport Complex

Revised April 2016

Phone 503.357.3011

COMMUNITY DEVELOPMENT  
Mail: 1355 North Barlow Street  
Cornelius, OR 97113

Fax 503.357.3424



**LAND PARTITION (Preliminary Plat)  
Written Narrative Requirements**

- X   A. **Checklist:** Please provide one completed and signed copy of this four page checklist.
- X   B. **Description of proposal:** Please describe what the existing conditions are on-site and the changes proposed to the site, structure, landscaping, parking, and land use, including the number of parcels created. Provide findings verifying that the intended use is allowed by the City's *Development Code*.
- X   C. **Approval criteria findings:** Please provide a narrative that evaluates and verifies the proposal meets the approval criteria identified below:

*Section 17.05.030(C) of the Development Code*

1. *The proposal conforms with the City's Comprehensive Plan.*

Please note when making findings, the applicant shall address all applicable Comprehensive Plan policies.

2. *The proposal complies with all applicable statutory and ordinance requirements.*

Please note when making findings, the applicant shall address all applicable Development Code requirements. Specify conformance or proposed variance request from the requirements of the Development.

3. *Adequate public facilities are available to serve the proposal; and*

4. *All proposed lots conform to the size and dimensional requirements of this ordinance; and*

5. *All proposed improvements meet City standards.*

*Section 18.155 of the Development Code*

1. If the subject parcel is located in the R-10 or R-7 the proposal shall meet the Solar Access Protection design standards identified in *Section 18.155* The applicant will state which option, exemption or both is chosen and describe how it complies.

- N/A   D. **Additional Requirements:** Please be advised that special studies, investigations and reports may be required to ensure that the proposal does not adversely affect the surrounding community, does not create hazardous conditions for persons or improvements on the site. These studies may include investigations and reports on noise attenuation, air quality, traffic control, soil conditions, flooding of waters and storm water run-off, natural resources, tree preservation, and other concerns.

X

- E. **Fee Ownership:** If applying for a Fee Ownership Land Division please Provide findings specifically addressing each of the approval criteria found in *Section 17.05.050*, of the City's *Development Code*. The criteria below are required in addition to the evaluation of the Land Partition criteria.
1. *As a whole, the development of which the unit is a part meets ordinance criteria for lot area, lot dimensions, setbacks, parking, lot coverage, landscaping, public facilities and street frontage.*
  2. *The development as a whole, the unit for which fee ownership is desired and any unit affected by the division shall meet all building, plumbing and fire code standards.*
  3. *Ingress and egress is provided to all lots.*
  4. *Parking is provided in accordance with ordinance standard for the individual unit either on the new lot or through easements as described in subsection 6, below. If assigned parking is provided, it shall meet ordinance standards.*
  5. *Adequate public facilities are provided to the new lot.*
  6. *The applicant provides deed covenants required that address: parking, maintenance of buildings and utilities, landscaping and common areas, ingress and egress. The deed covenants must be approved by the City Attorney and Planning Director.*

X

- F. **Sensitive Area Pre-Screening Site Assessment Letter:** Please provide a copy a completed and signed Sensitive Area Pre-Screening Site Assessment Letter from the City of Cornelius City Engineer.

## Plan Requirements

All plans shall be presented at a minimum scale of 1" = 20', and on a maximum sheet size of 24" x 36". Please include all of the following information on the plan.

A. **Existing Conditions Plan** includes the following:

- \_\_\_\_\_ 1. North arrow, scale and date of plan.
- \_\_\_\_\_ 2. Vicinity map.
- \_\_\_\_\_ 3. All existing and proposed lot sizes, lot lines and dimensions.
- \_\_\_\_\_ 4. Points of existing access, interior streets, driveways, and parking areas.
- \_\_\_\_\_ 5. Location of all existing buildings and structures, including refuse storage locations and pedestrian/bike paths.
- \_\_\_\_\_ 6. Existing right-of-way and improvements, including sidewalk dimensions.
- \_\_\_\_\_ 7. Dimension from right-of-way centerline to edge of existing property line and to required right-of-way dedication.
- \_\_\_\_\_ 8. Dimensions of all improvements, including setbacks.
- \_\_\_\_\_ 9. Location of existing public and private utilities, and 100-year floodplain.
- \_\_\_\_\_ 10. Topographical information, (2 ft. contour lines) of existing grades.

B. **Proposed Preliminary Plat** includes the following:

- \_\_\_\_\_ 1. Location, widths and names of all existing, proposed streets and public ways within or adjacent to the plat. Illustrate easements for utilities, other encumbrances and railroad right-of-ways. New streets shall be designated with proposed street names.
- \_\_\_\_\_ 2. Dimension from right-of-way centerline to edge of existing property line and to required right-of-way dedication.
- \_\_\_\_\_ 3. Location of existing and proposed easements.
- \_\_\_\_\_ 4. Location of at least one temporary bench mark within the plat boundaries.
- \_\_\_\_\_ 5. Square footage of all proposed lots.
- \_\_\_\_\_ 6. The total gross acreage of the partition plat.
- \_\_\_\_\_ 7. Identify and label on the plat conformance with the Solar Ordinance requirements.

N/A

C. **Preliminary Plat Reduction** includes the following:

- \_\_\_\_\_ 1. Provide one proposed preliminary plat reduced to 8.5" x 11".

D. **Proposed Improvement Plan** includes the following:

- \_\_\_\_\_ 1. North arrow, scale and date of plan.
- \_\_\_\_\_ 2. All proposed lot sizes, lot lines and dimensions.
- \_\_\_\_\_ 3. Dimension from right-of-way centerline to edge of existing and proposed property line and to required right-of-way dedication.
- \_\_\_\_\_ 4. Existing and proposed right-of-way and improvements, including sidewalk dimensions.
- \_\_\_\_\_ 5. Topographical information, (2 ft. contour lines) of existing and proposed grades.
- \_\_\_\_\_ 6. Location of proposed public and private utilities, proposed easements, and 100-year floodplain.

7. Plans and profiles of proposed sanitary and storm sewers, showing that gravity service is feasible for all lots.
8. Cross-section of all street and bike path improvements.

**N/A**

E. **Landscape Plan:**

1. Submit proposed landscaping of water quality, water quantity, wetland mitigation, common space and other non-buildable tracts. Plantings of water quality or quantity facilities shall be designed in accord with Clean Water Services (CWS) standard plant list.

I have provided the items required in this four page submittal checklist. I understand that any missing information, omissions or both may deem my project incomplete, which may lengthen the time to process the request.

Samedy Kem

Print name

971.5630552 / 888.311.5610

Telephone Number /FAX Number

Signature

8/11/2022

Date

**Community Development**  
Located at 1300 S. Kodiak Circle, Cornelius, Oregon 97113  
[www.ci.cornelius.or.us](http://www.ci.cornelius.or.us)

**Written Narrative Requirements**

- X   A. **Checklist.** Please provide one completed copy of this six-page checklist.
- X   B. **Description of proposal.** Please describe what changes are proposed to the site, structure, landscaping, parking, and land use. Provide findings verifying that the intended use is allowed by the City's *Development Code* (Chapter 18).
- X   C. **Approval criteria findings:** Please provide findings verifying that the proposal meets the Code's requirements found in *Section 18.100*, Land Use & Zoning Site Design Review, Development Requirements & Standards of the applicable zone, and the off-street parking and loading requirements of *Section 18.145.*, in addition, provide findings for any other applicable Code requirements. Specify conformance or proposed variance request from those requirements.
- X   D. **Technical and design standards.** Please provide findings specifically addressing each criteria found in *Section 18.100.040* of the City's *Development Code* (Chapter 18).
- X   E. **Proposed Operations:** Please provide the hours of operation, total number of employees, and maximum number of employees per shift.
- N/A   F. **Additional Requirements:** Please be advised that special studies, investigations and reports may be required to ensure that the proposal does not adversely affect the surrounding community, and does not create hazardous conditions for persons or improvements on the site. These studies may include investigations and reports on noise attenuation, air quality, traffic control, soil conditions, flooding of waters and storm water run-off, natural resources, tree preservation, and other concerns.

**Written Narrative Requirements (cont.)**

<u>  X</u>	<b>G. <u>Site Analysis Information:</u></b>		
	1. Existing building area:	<u>4214</u>	sq. ft.
	Proposed building addition or subtraction:	<u>37,764</u>	sq. ft.
	2. Existing building height:	<u>app . 25</u>	ft.
	Proposed building height:	<u>38'-2"</u>	ft.
	3. Existing parking area:	<u>0</u>	sq. ft.
	Existing number of parking spaces:	<u>0</u>	# sp.
	Proposed parking addition or subtraction:	<u>+35,261</u>	sq. ft.
	Proposed number of parking spaces:	<u>76</u>	# sp.
	Proposed use:		
	Parking requirement:	<u>76</u>	
	4. Existing landscaped area:	<u>90,000</u>	sq. ft.
	Percentage of site:	<u>97</u>	%
	Proposed landscape addition or subtraction:	<u>-76,742</u>	sq. ft.
	Percentage of site:	<u>15</u>	%

- |              |   |
|--------------|---|
| <u>  X</u>   | <b>H. <u>Neighborhood Review Meeting:</u></b> information required ( <i>Dev. Code Section 18.10.030.</i> ). (Only required for Type III Reviews)                |
| <u>    X</u> | 1. A copy of the notice sent to surrounding property owners.  |
| <u>    X</u> | 2. A copy of the mailing list used to send out meeting notices.   |
| <u>    X</u> | 3. An affidavit of mailing notice.  |
| <u>    X</u> | 4. Representative copies of written materials and plans presented at the Neighborhood Review Meeting.   |
| <u>    X</u> | 5. Notes of the meeting, including the meeting date, time, and location, the names and addresses of those who attended, and oral and written comments received. |

<u>  X</u>	<b>I. <u>Other Requirements:</u></b> Please provide documentation that the requirements from other agencies and/or jurisdictions for your proposal have been permitted OR submit your schedule for application and approval of the required permits. If applicable, include a copy of a signed Sensitive Area Pre-Screening Letter from the City Engineer. Based upon the findings of the Sensitive Area Pre-Screening Letter, a <b>Clean Water Services Service Provider Letter may be required.</b>
------------	---

<u>  N/A</u>	<b>J. <u>Temporary Construction Office.</u></b> Please provide information on the site plan showing the location and state the duration of the temporary construction office.
--------------	---

## DESIGN REVIEW TYPE II & III

### Plan Requirements

All plans, except architectural elevations, shall be presented at a minimum of 1" = 20' engineering scale and on a maximum sheet size of 24" x 36." Please also include one 'unbound' set that is 8 1/2" x 11" in size. Each of the following plans and drawings shall be submitted on separate sheets. Architectural elevations may be presented at an architectural scale. Please include all of the following information.

- |            |    |  |
|------------|----|--|
| <u>X</u>   | A. | <b><u>Existing Conditions Plan:</u></b>  |
| <u>X</u>   |    | 1. North arrow, scale and date of plan.  |
| <u>X</u>   |    | 2. Vicinity map.   |
| <u>X</u>   |    | 3. The entire lot(s), including area and property lines dimensioned.   |
| <u>X</u>   |    | 4. Points of existing access, interior streets, driveways, and parking areas.  |
| <u>X</u>   |    | 5. Location of all existing buildings and structures.  |
| <u>X</u>   |    | 6. Existing right-of-way and improvements.   |
| <u>X</u>   |    | 7. Dimension from centerline to edge of existing right-of-way.   |
| <u>X</u>   |    | 8. Existing topographical information, showing 2 ft. contours.   |
| <u>n/a</u> |    | 9. Surrounding development and conditions within 100 ft. of the property; such as zoning, land uses, buildings, driveways, and trees.                                |
| <u>X</u>   |    | 10. Location of existing public and private utilities, easements, and 100-year floodplain.   |
| <u>N/A</u> |    | 11. Sensitive areas, as defined by the Clean Water Services standards.   |
| <u>N/A</u> |    | 12. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. <i>Wetlands must be professionally delineated.</i> |
| <u>X</u>   |    | 13. Existing trees larger than 6" in dbh (diameter at breast height), including genus, species and size. Dbh is measured at 54" above grade.                         |
| <u>X</u>   | B. | <b><u>Dimensioned Site Plan:</u></b>   |
| <u>X</u>   |    | 1. North arrow, scale and date of plan.  |
| <u>X</u>   |    | 2. The entire lot(s), including area, property lines dimensioned and labeled "front," "side," and "rear."  |
| <u>X</u>   |    | 3. Proposed points of access, interior streets, driveways, and parking areas.  |
| <u>X</u>   |    | 4. Proposed location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot-lots.            |
| <u>X</u>   |    | 5. Proposed right-of-way, dedications and improvements.  |
| <u>X</u>   |    | 6. Dimension from centerline to edge of proposed right-of-way.   |
| <u>X</u>   |    | 7. Dimensions of all improvements, including setbacks, parking spaces, driveways, and distance between buildings.  |
| <u>X</u>   |    | 8. Location of storm water quality/detention facilities.   |
| <u>X</u>   |    | 9. Boundaries of development phases, if applicable.  |
| <u>N/A</u> |    | 10. Sensitive areas, as defined by the Clean Water Services standards.   |

N/A 11. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*

X C.

**Grading Plan:**

- X 1. North arrow, scale and date of plan.
- X 2. The entire lot(s).
- X 3. Points of access, interior streets, driveways, and parking areas.
- X 4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot-lots.
- X 5. Proposed rights-of-way, dedications and improvements.
- X 6. Dimension from centerline to edge of proposed right-of-way.
- X 7. Existing and proposed topographical information, showing 2 ft. contours and appropriate spot elevations for features such as walls, retaining walls (top and bottom elevations), catch basins, stairs, sidewalks, and parking areas.
- N/A 8. Location of 100-year flood plain.
- N/A 9. Location of storm water quality/detention facilities.
- N/A 10. Boundaries of development phases, if applicable.
- N/A 11. Natural Resource Areas, Significant trees, and Historic trees, if applicable.
- N/A 12. Sensitive areas, as defined by the Clean Water Services standards.
- N/A 13. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*
- X 14. Existing trees larger than 6" dbh. Indicate which trees are proposed to be saved and which are proposed to be removed.

X D.

**Utility Plan:**

- X 1. North arrow, scale and date of plan.
- X 2. The entire lot(s).
- X 3. Points of access, interior streets, driveways, and parking areas.
- X 4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.
- X 5. Proposed right-of-way, dedications and improvements.
- X 6. Proposed topographical information, showing 2 ft. contours.
- X 7. Location of 100-year flood plain.
- X 8. Location of existing and proposed public and private utilities, easements, surface water drainage patterns, and storm water quality/detention facilities.
- X 9. Boundaries of development phases, if applicable.
- N/A 10. Sensitive areas, as defined by the Clean Water Services standards.
- N/A 11. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*



- X    E.    **Landscape Plan:**
- X    1. North arrow, scale and date of plan.
- X    2. The entire lot(s).
- X    3. Points of access, interior streets, driveways, and parking areas.
- X    4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.
- X    5. Proposed right-of-way, dedications and improvements.
- X    6. Boundaries of development phases, if applicable.
- X    7. Sensitive areas, as defined by the Clean Water Services standards.
- X    8. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*
- X    9. Existing trees, larger than 6" dbh, proposed to be saved. Include genus, species, and size.
- X    10. The location and design of proposed landscaped areas, indicating all plant materials, including genus, species, common name, plant sizes, and spacing.
- X    11. List of plant materials, including genus, species, common name, size, quantity, spacing and condition.
- X    12. Other pertinent landscape features, including walls, retaining walls, berms, fences, and fountains.
- X    13. A note on the plan indicating that an irrigation system will be installed to maintain the landscape materials.

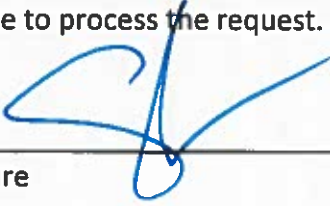
- X    F.    **Lighting Plan:**
- X    1. Location of all exterior lighting, including those mounted on poles, walls, bollards and the ground.
- X    2. Type, style, height, and the number of fixtures per light.
- X    3. Wattage per fixture and lamp type, such as sodium, mercury, and halide.
- X    4. 8 ½" x 11" manufacturer's illustrations and specifications (cut sheets) of all proposed lighting poles and fixtures.
- X    5. For all exterior lighting, indicate the area and pattern of illumination measured at ½-foot candlepower.

- X    G.    **Architectural Renderings and Elevations, or both:** Please provide information that identifies the general character of the buildings and structures; indicate dimensions, materials, colors, and textures proposed for any structures. This includes buildings, retaining walls, refuse storage facilities, play structures, and fences

- X    H.    **Materials Board:** Please provide one 8½" x 11" or 8½" x 14" Materials Board with examples of all building materials, colors, and textures of exterior surfaces.

I have provided the items required in this six-page submittal checklist. I understand that any missing information, omissions or both may deem my project incomplete, which may lengthen the time to process the request.

Signature



Date

8/11/2022

Print Name

Samedy Kem

Telephone Number

971.563.0552

**Community Development**  
Located at 1300 S. Kodiak Circle, Cornelius, Oregon 97113  
[www.ci.cornelius.or.us](http://www.ci.cornelius.or.us)

**Written Narrative Requirements**

- X   A. **Checklist:** Please provide one completed and signed copy of this checklist.
- X   B. **Description of proposal:** Please describe the existing conditions on-site and the changes proposed to the site, structure, landscaping, parking, and land use, including the number of parcels created. Provide findings verifying that the intended use is allowed by the City's *Development Code*.
- X   C. **Approval criteria findings:** Please provide a narrative that evaluates and verifies that the proposal meets the approval criteria identified below:
- Conditional Use Permit, Section 18.105.030(B) of the Development Code.
1. *The proposal conforms with the City's Comprehensive Plan;*
  2. *The applicable requirements of the zoning district are satisfied;*  
*and*
  3. *That the location, size, design, and functional characteristics of the proposed use are such that it can be made reasonably compatible with and have a minimum impact on the livability and appropriate development of other properties in the surrounding neighborhood;*
  4. *The granting of the proposal will provide for a facility that is consistent with the overall needs of the city.*
- X   D. Please provide the hours of operation, total number of employees, and maximum number of employees per shift.

X

E. **Site Analysis Information:**

1. Existing building area:	<u>4214</u>	sq. ft.
Proposed building addition or subtraction:	<u>+ 37,764</u>	sq. ft.
2. Existing building height:	<u>approx 25</u>	ft.
Proposed building height:	<u>38' 2"</u>	ft.
3. Existing parking area:	<u>0</u>	sq. ft.
Existing number of parking spaces:	<u>0</u>	# sp.
Proposed parking addition or subtraction:	<u>+ 35,261</u>	sq. ft.
Proposed number of parking spaces:	<u>76</u>	# sp.
Proposed use:	<u>—</u>	
Parking requirement:	<u>76</u>	
4. Existing landscaped area:	<u>90,000</u>	sq. ft.
Percentage of site:	<u>97</u>	%
Proposed landscape addition or subtraction:	<u>- 76,7423</u>	sq. ft.
Percentage of site:	<u>15</u>	%

N/A

F. **Additional Requirements:** Please be advised that special studies, investigations and reports may be required to ensure that the proposal does not adversely affect the surrounding community, and does not create hazardous conditions for persons or improvements on the site. These studies may include investigations and reports on noise attenuation, air quality, traffic control, soil conditions, flooding of waters and storm water run-off, natural resources, tree preservation, and other concerns.

X

G. **Neighborhood Review Meeting:** information required (*Dev. Code Section 18.10.030.*)

- X 1. A copy of the notice sent to surrounding property owners.
- X 2. A copy of the mailing list used to send out meeting notices.
- X 3. An affidavit of mailing.
- X 4. Representative copies of written materials and plans presented at the Neighborhood Review Meeting.
- X 5. Notes of the meeting, including the meeting date, time, and location, the names and addresses of those who attended, and oral and written comments received.

## Plan Requirements

All plans, except architectural renderings, elevations or both, shall be presented at a minimum of 1" = 20'. Architectural elevations may be presented at an architectural scale. Each of the following plans and drawings shall be submitted on 24" x 36" (maximum size) separate sheets. Please also include one (1) full set of plans that is 8 1/2" x 11" in size. Please include all of the following information for each plan.

- X     A.   **Existing Conditions Plan:**
- X     1. North arrow, scale and date of plan.
  - X     2. Vicinity map.
  - X     3. The entire lot(s), including area and property lines dimensioned.
  - X     4. Points of existing access, interior streets, driveways, and parking areas.
  - X     5. Location of all existing buildings and structures.
  - X     6. Existing right-of-way and improvements.
  - X     7. Dimension from centerline to edge of existing right-of-way.
  - X     8. Existing topographical information, showing 2 ft. contours and appropriate spot elevations for features such as walls, retaining walls (top and bottom elevations), catch basins, stairs, sidewalks, and parking areas.
  - N/A     9. Surrounding development and conditions within 100-ft. of the property; such as zoning, land uses, buildings, driveways, and trees.
  - X     10. Location of existing public and private utilities, easements, and 100-year floodplain.
  - N/A     11. Sensitive areas, as defined by the Clean Water Services (CWS) standards.
  - N/A     12. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-cropping's and streams. *Wetlands must be professionally delineated.*
- X     B.   **Dimensioned Site Plan:**
- X     1. North arrow, scale and date of plan.
  - X     2. The entire lot(s), including area, property lines dimensioned and labeled "front," "side," and "rear."
  - X     3. Points of access, interior streets, driveways, and parking areas.
  - X     4. Proposed land uses including housing densities and the location of buildings and structures. Building and structures include refuse storage locations, pedestrian and bike paths, or both, swimming pools, tennis courts, and tax lots.

- X   5. Proposed right-of-way, dedications and improvements.
  - X   6. Dimension from centerline to edge of proposed right-of-way.
  - X   7. Dimensions of all improvements, including setbacks, parking spaces, driveways, and distance between buildings.
  - ~~N/A~~ 8. Location of storm water quality and detention facilities, or both.
  - N/A   9. Boundaries of development phases, if applicable.
  - N/A   10. Sensitive areas, as defined by the Clean Water Services standards.
  - N/A   11. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-cropping's and streams. *Wetlands must be professionally delineated.*
  - X   12. Topographical information (2 ft. contour lines) of existing and proposed grades on-site and for surrounding properties within 100 ft. of the subject property.
  - X   13. Location and schematic massing of proposed buffering, screening, and landscaped areas.
  - N/A   14. Other pertinent landscape features, including walls, retaining walls, berms, fences, and fountains.
- X   C. **Architectural Renderings, Elevations, or both:** Please provide information which identifies the general character of the buildings and structures by indicating dimensions, materials, colors, and textures proposed. This includes buildings, retaining walls, refuse storage facilities, play structures, accessory facilities, and fences.
- X   D. **Sensitive Area Pre-Screening or Service Provider Letter:** Please provide a completed and signed Pre-Screening or CWS Service Provider Letter.

I have provided the items required in this submittal checklist. I understand that any missing information, omissions or both may deem my project incomplete, which may lengthen the time to process the request.

  
 \_\_\_\_\_  
 Signature

  7/15/22    
 \_\_\_\_\_  
 Date

  Samedy Kem    
 \_\_\_\_\_  
 Print Name

  971-205-2602    
 \_\_\_\_\_  
 Telephone Number

DEVELOPER OR AGENT: Kem Development, Inc.

PROJECT LOCATION: 271 SW Baseline Street

**AFFIDAVIT OF MAILING NOTICE**

I, Samedy Kem, being first duly sworn; say that I am (represent) the party intended to submit an application to the City of Cornelius for a proposed Sport Facility affecting land located at 271 SW Baseline Street, and that pursuant to Ordinance 810, Chapter 18.10, and the guidelines set out by the Community Development Director, did on the 20 day of April, 2022, personally mail notice to affected property owners within 250 feet of the proposed development site.

*Sign and Date in the presence of a Notary Public. Certain City staff are Notary Publics and are available for witnessing.*

Signature: \_\_\_\_\_

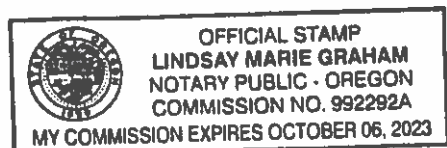
Dated this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

State of Oregon  
County of Washington

Subscribed and sworn to (or affirmed) before me this 11<sup>th</sup> day of August, 2022.

[Signature]  
Notary Public for the State of Oregon

My Commission expires: 10/06/2023



# Neighborhood Review Meeting

On a

Preliminary Development Proposal

for the Property located at

271 SW Baseline

Cornelius, OR 97113

Proposed as ...

A Sport Facility

A meeting to discuss the preliminary development proposal is schedule for....

6:00 pm on Thursday, May 19<sup>th</sup> 2022

at

Cornelius Baptist Church

200 S 16<sup>th</sup> Avenue

Cornelius, OR 97113

In the back Building

## **ALL INTERESTED PERSONS MAY ATTEND**

This Notice is being sent to Property Owners within 250 ft of the subject Property listed above.

For more information, please contact

Samedy Kem

971.205.2602

[info@kem-developments.com](mailto:info@kem-developments.com)

Notice Mail Date: 4/20/2022



1S304BB-00300  
Department Of Transportation  
  
, OR

1S304BB-00100  
Russell Resources Llc  
Po Box 367  
Cornelius, OR 97113

1S304BB-00200  
Russell Resources Llc  
Po Box 367  
Cornelius, OR 97113

1S304BB-00800  
Jose Rosales  
188 S Alpine Dr  
Cornelius, OR 97113

1N333CC-02400  
Pacific Outdoor Advertising  
715 NE Everett St  
Portland, OR 97232

1S304BB-01400  
Jose & Efren Ortiz  
300 S Alpine Dr  
Cornelius, OR 97113

1S304BB-01000  
Max & Maria Olvera  
214 S Alpine Dr  
Cornelius, OR 97113

1S304BB-01100  
Ivan Lopez  
224 S Alpine Dr  
Cornelius, OR 97113

1N333CC-02900  
Kuntz Enterprises Llc  
Po Box 329  
Cornelius, OR 97113

1N333CC-02500  
Hbh Equity Llc  
5420 NE Sewell Ave  
Hillsboro, OR 97124

1N333CC-02600  
Hbh Equity Llc  
5420 NE Sewell Ave  
Hillsboro, OR 97124

1N333CC-02700  
Hbh Equity Llc  
5420 NE Sewell Ave  
Hillsboro, OR 97124

1S304BB-00900  
Roselia & Maria Gomez  
198 S Alpine Dr  
Cornelius, OR 97113

1S304BB-01500  
Miguel Garcia & Maria Reyes-Ortiz  
336 S Alpine Dr  
Cornelius, OR 97113

1N333CC-03100  
F Davis Properties Llc  
6950 NW Kansas City Rd  
Forest Grove, OR 97116

1N333CC-03200  
F Davis Properties Llc  
6950 NW Kansas City Rd  
Forest Grove, OR 97116

1S304BB-01700  
Maria Chavez  
368 S Alpine Dr  
Cornelius, OR 97113

1S304BB-01300  
Jaime Calderon & Evelia Deortiz  
274 S Alpine Dr # 282  
Cornelius, OR 97113

1S304BB-01600  
Lucila Bustamante  
1349 S Alpine St  
Cornelius, OR 97113

1S304BB-01200  
Salvador Bautista & Guadalupe  
250 S Alpine Dr  
Cornelius, OR 97113

1N333CC-02800  
Ajs Enterprises Llc  
17104 SW Green Heron Dr  
Sherwood, OR 97140

1N333CC-02400  
Hbh Equity Llc  
5420 NE Sewell Ave  
Hillsboro, OR 97124

1N333CC-02400  
Hbh Equity Llc  
5420 NE Sewell Ave  
Hillsboro, OR 97124

1N333CC-02400  
Hbh Equity Llc  
5420 NE Sewell Ave  
Hillsboro, OR 97124



271 Baseline Street  
Cornelius, Oregon 97113

The indoor Sports Facility will be registered under the name, Kem Hoops, and will be situated on the main eastbound thoroughfare in Cornelius, Oregon.

Kem Hoops will be owned and managed by Samedy Kem, a long-time construction business owner in Aloha, OR, who also has 30+ years of experience in Basketball coaching.

He has coached boys & girls at all levels and has extensive experience in running & managing both youth and high school level Basketball Camps and Tournament's. The Sports Facility will include 4 full size high school basketball courts and is intended to offer a unique/welcoming atmosphere for youth and teens in the Cornelius area.



The Sports Facility will include 4 full size high school basketball courts and is intended to offer a unique/welcoming atmosphere for youth and teens in the Cornelius area.

This Facility is mainly intended for Basketball, but can also expand to offer services for Volleyball, Indoor Soccer, in addition to almost any other sport that can be done indoors.

The Plan is to build a modern recreational Sporting Facility that offers safe & new equipment for customer use, in a location that is easily accessible to individuals of multiple economic backgrounds. It is intended for local use, as well as to be available for rent out for Private Tournament use. Because it is located on the public Bus Line, as well as on the main thoroughfare in Cornelius, and within walking distance for local patrons, access to the facility is extremely easy.

Kem Hoops aims to offer a nice, spacious and well-equipped Sporting Facility for both residents, corporate and sports stakeholders, including schools and private teams. The business will attract customers of various ages, social, economic and cultural backgrounds. It is extremely important that all patrons have a great experience at this Sporting Facility, as happy customers equal repeat customer.

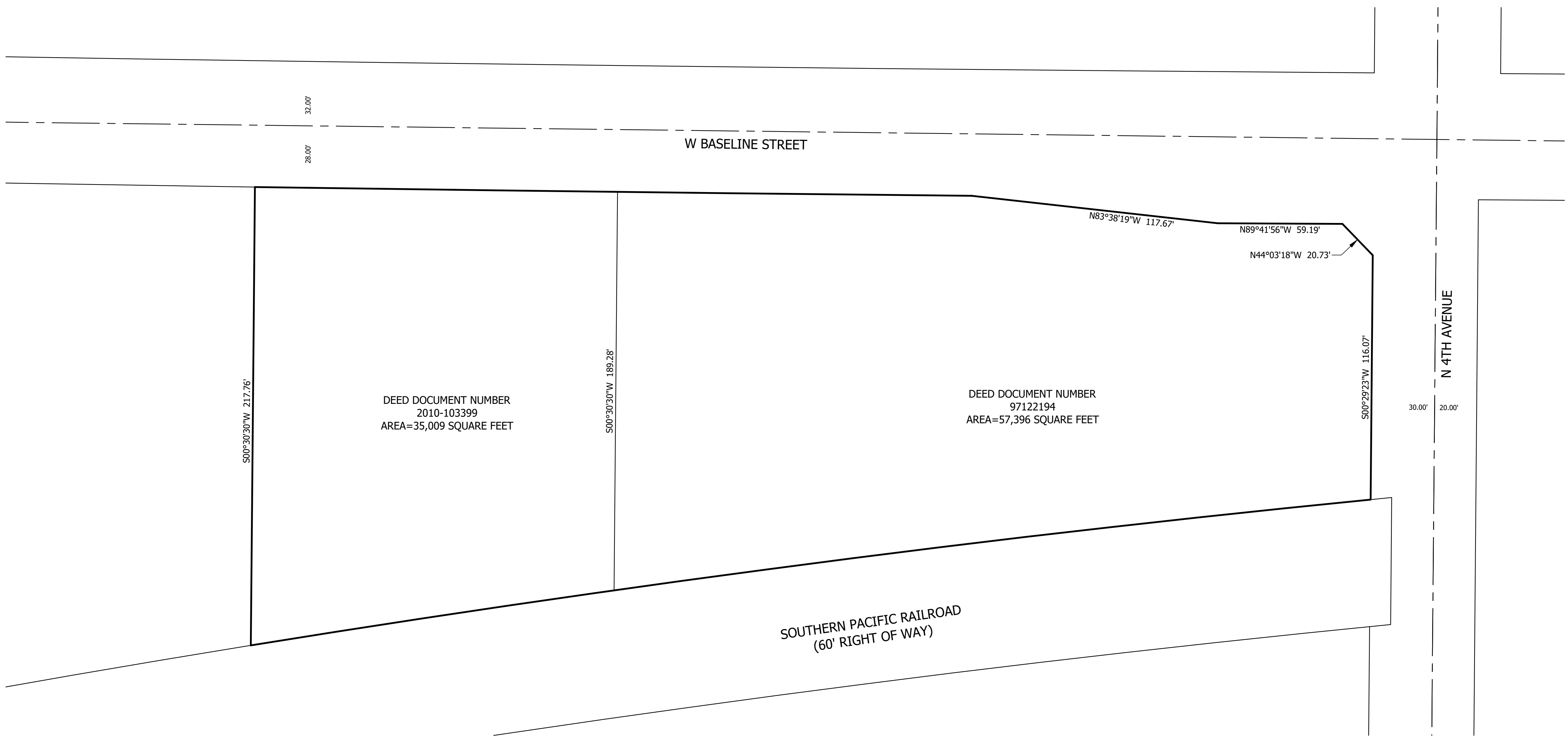
TAXID	Owner Name	Mailing Address	Mail City	Mail State	Mail Zip
1S304BB-00300	Department Of Transportation			OR	
1S304BB-00100	Russell Resources Llc	Po Box 367	Cornelius	OR	97113
1S304BB-00200	Russell Resources Llc	Po Box 367	Cornelius	OR	97113
1S304BB-00800	Jose Rosales	188 S Alpine Dr	Cornelius	OR	97113
1N333CC-02400	Pacific Outdoor Advertising	715 NE Everett St	Portland	OR	97232
1S304BB-01400	Jose & Efen Ortiz	300 S Alpine Dr	Cornelius	OR	97113
1S304BB-01000	Max & Maria Olvera	214 S Alpine Dr	Cornelius	OR	97113
1S304BB-01100	Ivan Lopez	224 S Alpine Dr	Cornelius	OR	97113
1N333CC-02900	Kuntz Enterprises Llc	Po Box 329	Cornelius	OR	97113
1N333CC-02500	Hbh Equity Llc	5420 NE Sewell Ave	Hillsboro	OR	97124
1N333CC-02600	Hbh Equity Llc	5420 NE Sewell Ave	Hillsboro	OR	97124
1N333CC-02700	Hbh Equity Llc	5420 NE Sewell Ave	Hillsboro	OR	97124
1S304BB-00900	Roselia & Maria Gomez	198 S Alpine Dr	Cornelius	OR	97113
1S304BB-01500	Miguel Garcia & Maria Reyes-Ortiz	336 S Alpine Dr	Cornelius	OR	97113
1N333CC-03100	F Davis Properties Llc	6950 NW Kansas City Rd	Forest Grove	OR	97116
1N333CC-03200	F Davis Properties Llc	6950 NW Kansas City Rd	Forest Grove	OR	97116
1S304BB-01700	Maria Chavez	368 S Alpine Dr	Cornelius	OR	97113
1S304BB-01300	Jaime Calderon & Evelia Deortiz	274 S Alpine Dr # 282	Cornelius	OR	97113
1S304BB-01600	Lucia Bustamante	1349 S Alpine St	Cornelius	OR	97113
1S304BB-01200	Salvador Bautista & Guadalupe Miramontes	250 S Alpine Dr	Cornelius	OR	97113
1N333CC-02800	Ajs Enterprises Llc	17104 SW Green Heron Dr	Sherwood	OR	97140
1N333CC-02400	Hbh Equity Llc	5420 NE Sewell Ave	Hillsboro	OR	97124

Site Address	Site City	Site State	Site Zip
No Site Address	Cornelius	OR	
No Site Address	Cornelius	OR	97113
271 Baseline St	Cornelius	OR	97113
194 S Alpine Dr	Cornelius	OR	97113
47 N 4th Ave	Cornelius	OR	97113
300 S Alpine Dr	Cornelius	OR	97113
214 S Alpine Dr	Cornelius	OR	97113
224 S Alpine Dr	Cornelius	OR	97113
230 Baseline St	Cornelius	OR	97113
No Site Address	Cornelius	OR	97113
316 Baseline St	Cornelius	OR	97113
300 Baseline St	Cornelius	OR	97113
198 S Alpine Dr	Cornelius	OR	97113
336 S Alpine Dr	Cornelius	OR	97113
200 Baseline St	Cornelius	OR	97113
186 Baseline St	Cornelius	OR	97113
368 S Alpine Dr	Cornelius	OR	97113
274 S Alpine Dr	Cornelius	OR	97113
352 S Alpine Dr	Cornelius	OR	97113
250 S Alpine Dr	Cornelius	OR	97113
280 Baseline St	Cornelius	OR	97113
47 N 4th Ave	Cornelius	OR	97113

# 271 BASELINE - PUBLIC MEETING

5/14/22

	NAME	PHONE (HOME)	PHONE (CELL)	EMAIL
1	Tyha Young	503 318-4914	same	tyhayoung@gmail.com
2	Christa Kem	471-5263-0550	"	christakem@premierproperty.com
3	Magdalena Esmerlo	971-217-0438		MagdalenaEsmerlo1@gmail.com
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				



500°30'30"W 217.76'

28.00'  
32.00'

S00°30'30"W 189.28'

DEED DOCUMENT NUMBER  
2010-103399  
AREA=35,009 SQUARE FEET

DEED DOCUMENT NUMBER  
97122194  
AREA=57,396 SQUARE FEET

N83°38'19"W 117.67'  
N89°41'56"W 59.19'  
N44°03'18"W 20.73'

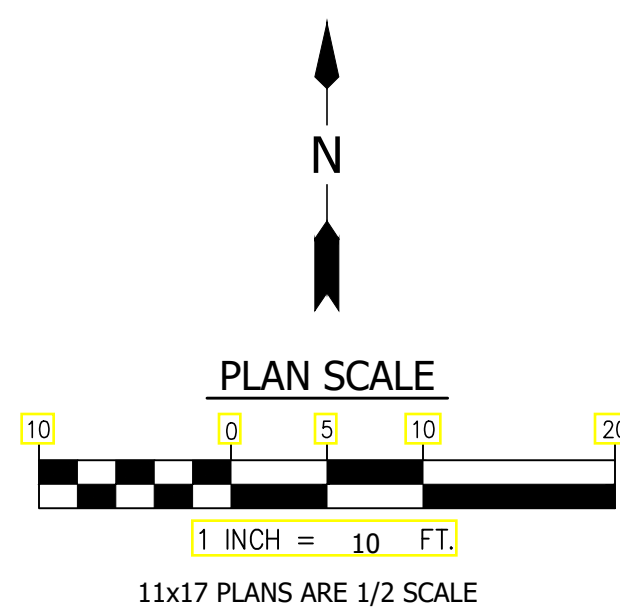
S00°29'23"W 116.07'

30.00' 20.00'

W BASELINE STREET

N 4TH AVENUE

SOUTHERN PACIFIC RAILROAD  
(60' RIGHT OF WAY)



**RECORP, LLC**  
2050 BEAVERCREEK RD, SUITE #101-143  
OREGON CITY, OREGON 97045  
503-998-2880

REGISTERED PROFESSIONAL LAND SURVEYOR  
CORNER STAMP  
JUSTIN M. RECORE  
84971  
EXPIRES 12-31-22

EXISTING PROPERTY LINES

W BASELINE STREET

271 W BASELINE STREET  
CORNELIUS, OR 97113  
KEM DEVELOPMENT

NO.	DATE	DESCRIPTION

DATE	08-05-2022
DESIGNED	
DRAWN	
CHECKED	
CASE FILE NO.	

EXISTING PROPERTY LINES

EX A

**RECORP, LLC**  
 2050 BEAVERCREEK RD, SUITE #101-143  
 OREGON CITY, OREGON 97045  
 503-998-2880

REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR

JUSTIN M. RECORE  
 84971

EXPIRES 12-31-22

**DRAFT**

PROPOSED PROPERTY LINES  
 W BASELINE STREET

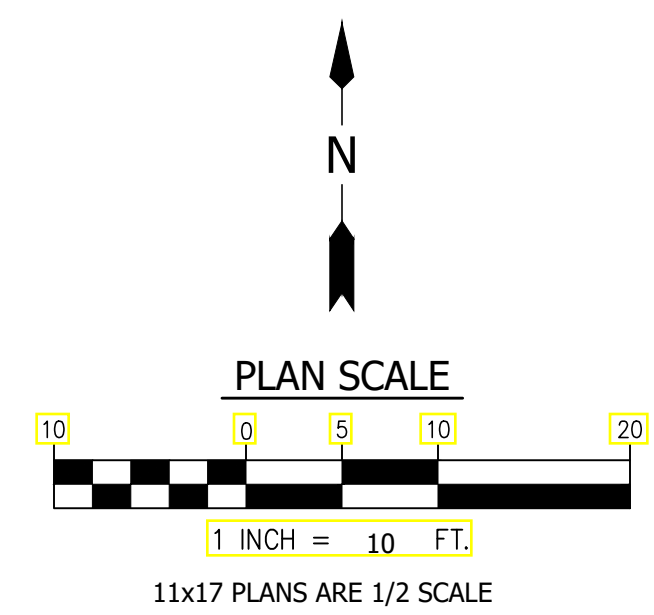
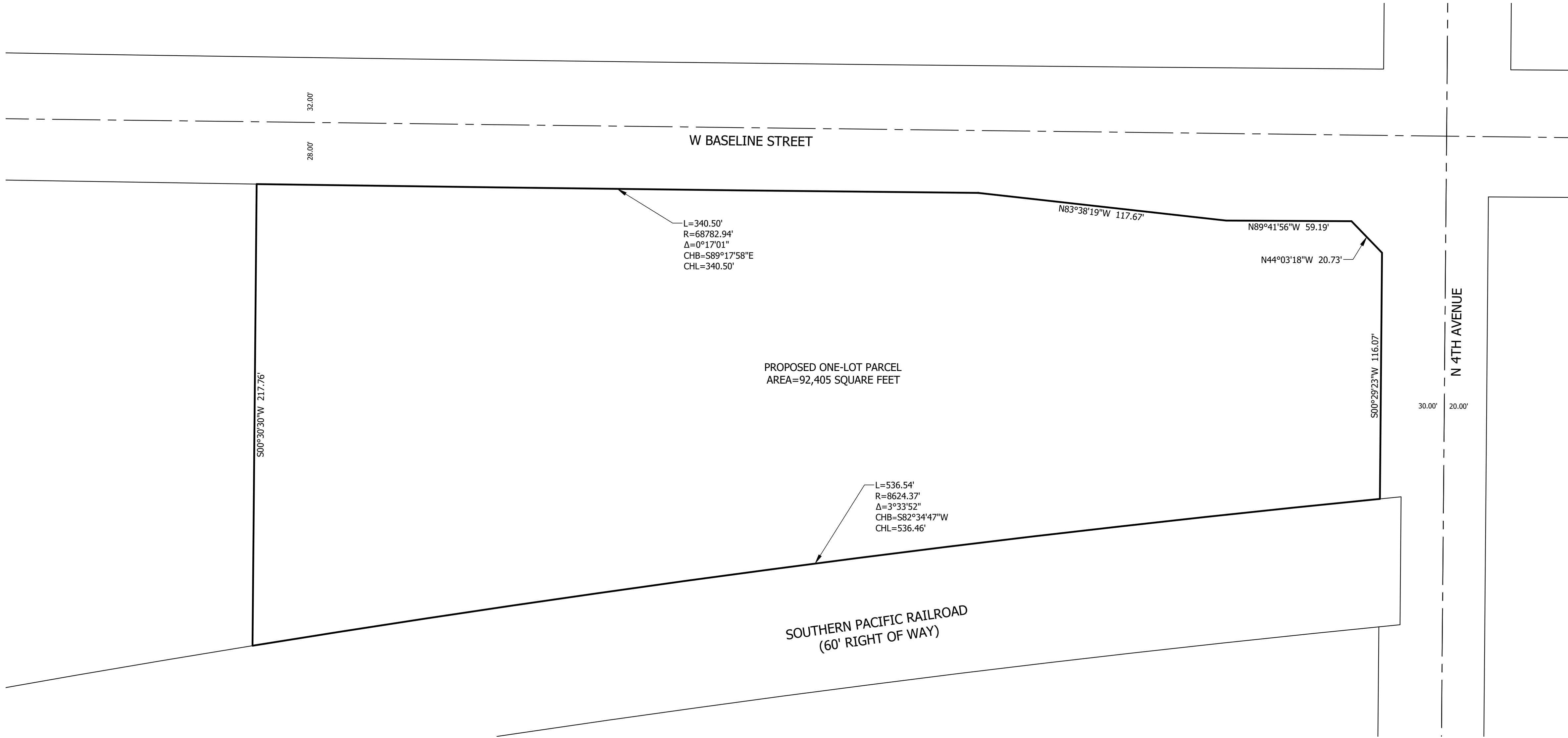
271 W BASELINE STREET  
 CORNELIUS, OR 97113  
 KEM DEVELOPMENT

NO.	DATE	DESCRIPTION

DATE	08-05-2022
DESIGNED	
DRAWN	
CHECKED	
CASE FILE NO.	

PROPOSED PROPERTY LINES

**EX A**



**Type III Design Review  
Narrative  
Kem Hoops  
1S304BB00100 and 00200  
Revised 8.4.22**

The applicant is requesting Type III Design Review approval for the construction of an indoor sports facility. There is a serious lack of gym space available for practicing and tournaments. This lack of gym space greatly affects our youth and the ability for them to participate in sports. Sports participation provides youth with a positive outlet, character development, socialization, and self-discipline. Participation in sports teaches youth teamworking skills and they are exposed to positive role models in coaches and older participants.

The applicant is proposing six full-tournament size courts that can be utilized for basketball, volleyball, soccer and other sports activities during the day and evenings. In the future, the applicant is considering allowing a maximum of two food trucks to operate during various events. If, in the future food trucks operate on-site the applicant/owner will ensure that the food trucks are permitted and meet the applicable sections in the Cornelius Municipal Code Section 5.35 Mobile Food Vendors. If utilized, food vendors would be located in the northeast portion of the site, north of the building in a courtyard area.

The subject site is a total of 2.1 acres in size and currently consists of two Parcels located in the C-2 zone. The Parcels can be identified as Tax Lots 100 and 200 on Washington County Assessor's Tax Map 1S3-04BB, the applicant is proposing to consolidate these two Parcels into one, a land use application will be submitted in the near future for this consolidation. There is an existing home, approximately 1,522 square feet in size, located on Tax Lot 200, the home is legal non-conforming and will be removed as part of this development and its existing utility lines will be capped.

**Division II. Land Use and Zoning Districts.**

**18.45.040 Development requirements.**

(A) Lot Size. In a C-2 zone there is no minimum lot size, save and except that the lot must be large enough to accommodate the proposed use, including all design standards and functional requirements related to the use.

**Response: The subject site is a total of 2.1 acres in size and consists of two Parcels that can be specifically identified as Tax Lots 100 and 200 on Washington County Assessor's Tax Map 1S3-04BB. Tax Lot 100 is approximately 1.32 acres and Tax Lot 200 is approximately 0.78 acres. The parcels are located within the C-2 zone. The combined Parcels are sufficient in size to accommodate the proposed use.**

(B) Setback Requirements. In a C-2 zone the following setbacks shall meet the base standard; however, the review body may require a greater or lesser setback based on the design review criteria set forth in this chapter:



(1) The front yard shall be 10 feet, except that:

(a) Parking shall be allowed within five feet of the front property line.

**Response: Associated parking drive aisles are located within 10' of the property line, drive aisles abut the public right-of-way. The subject site is an irregular shaped parcel, and the proposed building has various setbacks to the front-yard with the closest being 18' 5 1/2" to the northern property line. However, the site abuts Baseline Road, the average lot depth is 47' which results in a minimum 2.35' front-yard setback (see below).**

(b) For all properties abutting the south side of Baseline Road, there shall be a front yard setback equal to five percent of the average lot depth, but not less than four feet.

**Response: The subject site abuts the south side of Baseline Road, the average lot depth is 47 feet, five percent of 47 feet is 2.35 feet. Therefore, the front yard setback must be a minimum of 4 feet. The site is irregular in shape, the building has various setbacks to the front-yard with the closest being greater than 18 feet.**

(2) No side yard shall be required, except five feet when abutting a residential use or zone, and when a side yard abuts a public street the setback shall be the same as the front yard.

**Response: The site abuts a vacant site to the west and a public street to the east. The proposed building would be located approximately 146 feet from the property line to the west and approximately 19 feet 9 inches from the property line to the east.**

(3) No rear yard is required, except five feet when abutting a residential use or zone, and when a side yard abuts a public street the setback shall be the same as the front yard.

**Response: The subject sites southerly property line (rear yard) does not abut a residential use or zone. A portion of the southern pacific railroad immediately abuts the sites southerly property boundary. Therefore, no rear yard setback is required. However, the proposed building, will be setback from the rear property line between 3 feet 7 inches and 6 feet at various points along buildings southern footprint, providing sufficient space between the building and railroad right-of-way for landscape and building maintenance. See Sheet C2 - Site Plan.**

(C) Height of Building. No building shall exceed a height of 35 feet, unless approved by the planning commission. [Ord. 810, 2000; Code 2000 § 11.20.54; Ord. 2020-05 § 1 (Exh. A), 2020.]

**Response: The building is proposed to be 38 feet 2 inches in height. The applicant will be requesting Conditional Use approval to exceed the maximum height.**

#### **18.45.050 Performance standards.**

In a C-2 zone no land or structure shall be used or occupied unless there is continuing compliance with the following standards:

(A) Design Review Approval. All design review requirements and conditions of approval, including all prior attached conditions shall be satisfied.

**Response: The applicant is requesting Design Review Approval. There are no prior conditions related to the proposed project.**

(B) Environmental Standards. All uses shall comply with required air, land, and water quality standards set forth by all state, federal and local jurisdictions (i.e., Department of Environmental Quality, Clean Water Services, and Metro).

**Response: The proposed Use is an indoor entertainment facility and therefore, will not affect air or land quality. The applicant will comply with Clean Water Services water quality requirements. Water quality treatment will be provided using a stormwater filter system. See Sheet C5.2 and preliminary Drainage Report.**

(C) Heat and Glare.

(1) Except for exterior lighting, operations producing heat or glare shall be conducted entirely within an enclosed structure, such that glare is not visible from a public street or adjacent property.

**Response: The proposed use, an indoor sports facility, will not be producing heat or glare.**

(2) Exterior lighting shall be designed such that glare is directed away from public streets or adjacent properties.

**Response: Exterior lighting has been designed to direct glare away from public streets and adjacent properties. See Parking Lot Lighting plan.**

(D) Insects and Rodents. Materials including wastes shall be managed and stored, and grounds shall be maintained in a manner that will not attract or aid the propagation of insects or rodents or create a health hazard.

**Response: The applicant is not proposing any storing of materials. Any waste and/or recycling will be kept in the trash and recycling containers located south of the building, west of the parking lot area for pick up from the garbage hauler. The grounds will be maintained in a manner that will not attract or encourage the propagation of insects or rodents and will not create a health hazard.**

(E) Outside Storage. Outside storage shall be appropriately screened consistent with CMC 18.45.060(F). [Ord. 810, 2000; Code 2000 § 11.20.55; Ord. 841 Exh. 2, 2003; Ord. 2020-05 § 1 (Exh. A), 2020.]

**Response: The applicant is not proposing outside storage of materials or supplies.**

**18.45.060 Development standards for a new structure and no change of use of land or a structure shall be permitted unless there is continuing compliance with the following standards:**

(A) Landscape Plan.

(1) For all uses in a C-2 zone, the first five feet of lineal street frontage on the subject site shall be landscaped (exclusive of frontage trees) prior to occupancy, in accordance with the approved site plan and the standards set forth herein.

**Response: The applicant is proposing public street improvements along Baseline Road which includes a landscape strip to be provided between the roadway and the public sidewalk. Additional landscaping is being proposed along N 4th Avenue frontage. See Sheets C2 and C4.1.**

(2) When at maturity, at least 80 percent of the proposed landscape area shall be covered by plant material, lawn, and trees. The remaining area may be covered in nonvegetative ground cover.

**Response: The applicant will ensure that at maturity, at least 80 percent of the proposed landscape areas will survive. If there is less than 80 percent coverage, the applicant will install new plantings.**

(3) Street Trees. Street trees shall be required and shall be selected from the approved public works street tree list. The total number of trees shall be determined by dividing the total linear footage of the site, which abuts a public street, by 30 feet. The location of the trees shall be determined through design review, and the trees shall be installed in accordance with Chapter 5 of the adopted public works standards.

**Response: The applicant will provide street trees that are on the City of Portland street tree list that the city utilizes (City of Portland). The number of street trees will be determined by dividing the total linear footage of the site, abutting a public street and dividing by 30 feet. It is understood that the desired location of the street trees will be determined through design review and the installed in accordance with Chapter 5. Proposed locations of street trees can be found on the site plan, sheet C2 and Landscape plans.**

(4) Installation of required landscaping may be deferred for up to six months; provided, that the owner posts with the city a cash deposit or irrevocable letter of credit assigned to the city for an amount equal to 150 percent of the estimated cost of the landscaping materials and installation by a qualified contractor.

**Response: The applicant understands that installation of required landscaping may be deferred for up to six months, provided that the owner obtains approval from the city and posts either an irrevocable letter of credit or cash deposit in the amount specified above.**

(B) Vehicular Access, Internal Circulation and Clear Vision Areas.

(1) Where possible, vehicular access to commercial developments shall be from abutting arterial or collector streets, and shall be shared with adjacent properties to minimize multiple curb cuts. Access to individual lots from T.V. Highway shall be approved by ODOT with secondary access from adjacent collectors or minor local streets where possible. Except in the case of a multi-building complex, direct lot access to an arterial shall not be permitted, unless there is no viable alternative, and direct access to collector and local streets shall only be allowed as permitted by the review body.

**Response: Due to sites location at an intersection of Baseline Street and N 4th Avenue and site constraints, vehicular access is proposed at the northwest portion of the sites frontage to Baseline Street. The applicant has obtained permission from Oregon Department of Transportation (ODOT) to provide vehicular access at this location. A copy of the letter from ODOT has been provided in the application packet. See Sheet C2 which includes details regarding the clear vision triangle.**

(2) The minimum public street width for commercial development shall comply with Chapter 5 of the adopted public works standards.

**Response: The applicant is not proposing to construct any new public streets as part of this development. The applicant is proposing a half-street improvement along the sites Baseline Road frontage which includes a 6-foot-wide sidewalk, 6-foot-wide landscape strip, and bicycle lane striping. See Sheet C2 Site Plan and Sheet C4.1 for Baseline Street Improvements. The street improvements will comply with Chapter 5 of the adopted public works standards.**

(3) Internal Access. All internal roadways and drives shall be paved and maintained by the owner in accordance with city standards. No entrance or exit shall be located closer than 100 feet to any intersection of a public street, unless there is no reasonable alternative. They shall have the following minimum unobstructed pavement width:

(a) Two-way traffic: 24 feet;

(b) One-way traffic: 15 feet.

**Response: All internal parking lot drives are designed for two-way traffic with drive aisles widths of 24 feet. The drive aisles and parking areas will be paved and maintained by the owner in accordance with city standards. The driveway access is located as far east as possible from the intersection of Baseline Street and N 4th Avenue and is not located closer than 100 feet of any intersection. See Sheet C2 for details regarding parking, pedestrian pathways, and drive aisles.**

(4) Internal sidewalks or pathways shall be provided to ensure safe and convenient pedestrian circulation throughout the development.

**Response: Internal sidewalks and/or pathways are being proposed as part of this development. Including pedestrian connectivity to the proposed public sidewalk to be located along Baseline Road and interior sidewalks. See Sheet C2 for internal pedestrian pathways.**

(5) Clear vision areas shall be provided at all roadway and driveway intersections in accordance with the vision clearance standards set forth in CMC 18.150.070.

**Response: Clear vision area will be provided at the driveway intersection with Baseline Street in accordance with the vision clearance standards, which will be a triangular area beginning at the intersection of projected curb lines of a street and extending 15 feet along the leg of each projection. The clear vision triangle and detail can be found on Sheet C2.**

(C) Access Streets – Sidewalks – Drainage.

(1) All streets shall be designed in accordance with Chapter 5 of the adopted public works standards.

**Response: The applicant is not proposing to construct any new public streets as part of this development. The applicant is proposing a half-street improvement along the sites Baseline Road frontage which includes a 6 feet wide sidewalk, 6 feet 5-inch-wide landscape strip, and bicycle lane striping. See Sheet C2 Site Plan and Sheet C4.1 Baseline Street Improvements. The street improvements will comply with Chapter 5 of the adopted public works standards.**

(2) All driveways for new construction shall have minimum pavement width of 12 feet and shall not be more than 35 feet in width at the curb, unless specifically approved by the review body to meet unusual requirements of a particular use. Each driveway shall have a concrete curb apron designed to comply with public works standards.

**Response: The applicant is proposing a new driveway located at the northwestern portion of the site, as far west from the intersection of Baseline Street and N 4th Avenue. The pavement width will be approximately 30 feet in width, which meets the minimum width of 12 feet and does not exceed the maximum of 35 feet. The driveway will be designed with a concrete curb apron and will comply with public works standards. See Sheet C2 for driveway and clear vision details.**

(3) Cul-de-sacs shall serve no more than four separate uses and shall have a minimum turning radius of 50 feet measured to the front edge of the curb.

**Response: Not applicable.**

(4) Sidewalks and Improvements.

(a) For all new construction, curbs, gutters, and a minimum six-foot-wide sidewalk, with eight feet at a bus stop, shall be provided along the entire lot frontage, and shall meet ADA accessibility standards.

**Response: A half-street improvement is proposed along the sites frontage to Baseline Road. The applicant will construct curbs, gutters and a 6' sidewalk along its Baseline Road frontage and will ensure that the existing sidewalk located near the bus stop located at the intersection of Baseline Road and N 4th Avenue is 6 feet wide, if not the applicant will widen the existing sidewalk to 6 feet in width. Per Pre-Application meeting notes the applicant does not need to improve the sidewalk at the bus stop to 8 feet in width. New public improvements will meet ADA accessibility standards.**

(b) Site design review Type II requests for remodels, alterations and/or additions to an existing building shall require a sidewalk if one does not exist, the driveway apron and paved driveway to be constructed to city standards. Commercial sidewalks shall be curb tight, unless otherwise approved by the review body.

**Response: Not applicable.**

(5) Storm drainage shall be managed through a system of underground drainage lines and catch basins, which convey storm water off the site to a public storm system, and shall comply with Clean Water Services (CWS) standards for water quality and quantity.

**Response: The proposed development will require new underground storm drainage lines and catch basins which will convey storm water off the site and will connect to the existing public storm system located in N 4th Avenue. Stormwater collected from the proposed development will be collected and treated on-site to CWS standards before it is released to the public storm system. See Sheet Storm Drainage Plan on sheet C5.1 and the preliminary drainage narrative.**

(D) Lighting Streets. Streets and walkways shall be lighted during the hours of darkness in accordance with public works standards.

**Response: The half-street improvements include street lights which will be designed in accordance with public works standards.**

(E) Mailboxes. Except for in-fill partitioning, clustered mailboxes shall be provided, consistent with the locational criteria set by the Post Master. They shall be of uniform style.

**Response: A mailbox will be installed in a location agreed upon by the Post Master. Clustered mailboxes are not applicable to this land use application.**

(F) Screening.

(1) Sight-obscuring screening shall be provided for all garbage and trash collection areas, and for any approved outdoor storage, or parking lots abutting a residential development. Such screening shall be six feet in height, and shall consist of a wall of brick, stone, or other substantial material, or a densely planted evergreen hedge and a decorative fence, such as wrought-iron, or PVC or polymer covered chain link fencing. Galvanized chain link fencing shall not be permitted on new construction.

**Response: A trash enclosure is proposed south of the proposed building and on the westside of the parking lot area. The applicant is proposing a wooden enclosure 6 feet in height.**

(2) The reviewing body may require nonsight-obscuring screening and/or fencing of parking lots abutting property lines, front yards abutting a public street, or other yards abutting a residential development.

**Response: Not applicable.**

(G) Parking and Loading Space.

(1) Off-Street Parking. Parking shall be provided as set forth in Chapter 18.145 CMC.

(2) Paving and Design. Off-street parking and maneuvering areas shall be paved with asphalt or concrete and designed in accordance with the standards of the off-street parking regulations of this title.

**Response: Off-street parking and maneuvering areas will be paved with asphalt and will be constructed to meet the standards of the cities off-street parking regulations.**

(3) Parking Lot Landscaping. There shall be a five-foot landscaped buffer at the perimeter of all parking lot areas. Parking lots shall be designed and landscaped so as to break up large paved areas with landscaped islands, at a minimum of every 10 spaces. [Ord. 810, 2000; Code 2000 § 11.20.56; Ord. 841 Exh. 2, 2003; Ord. 874 Exh. (1)(B), 2006; Ord. 2020-05 § 1 (Exh. A), 2020.]

**Response: The parking lot area has been designed with landscape buffers 5 feet in width around perimeters of parking lot spaces. Landscape islands have also been provided between every 7 standard spaces and between every 8/9 compact spaces.**

### **Division III. Types of Permit, Applications and Requests**

#### **18.100 Site Design Review**

##### **18.100.030 Types of applications.**

(C) Design review Type III actions are those which are major and include:

(1) Review of major development revisions to previously approved master plans/planned unit developments.

(2) General site plans for new development or substantial redevelopment.

(3) New development, buildings or structures not part of a previously approved master plan.

(4) Variances proposed with a design review request.

(5) Building additions with an increase of over 50 percent of the existing building area.

(6) Addition or subtraction of approved parking over 50 percent of the existing area.

(7) Addition or subtraction of approved landscape area over 50 percent of the existing area. [Ord. 665 § 1, 1987; Ord. 810, 2000; Code 2000 § 11.30.13; Ord. 841 Exhs. 1, 2, 2003; Ord. 916 § 1 (Exh. A), 2010; Ord. 2019-10 § 1 (Exh. A), 2019; Ord. 2020-05 § 1 (Exh. A), 2020.]

**Response: The applicant is proposing new development, consisting of a new building and parking which was not part of a previously approved master plan. Therefore, the applicant is submitting a Type III Design Review application.**

##### **18.100.040 Approval criteria.**

In addition to the other requirements of the zoning code and other city ordinances, a project submitted for design review shall comply with the standards and criteria in subsections (A) and (B) of this section; all applications for a sign permit subject to the provisions of the sign code, Chapter 18.175 CMC, inclusive, shall comply with the rules and regulations of the committee adopted under the provisions of Division III of this title and other applicable provisions of the Cornelius Municipal Code.

(A) Technical Standards. Where applicable, required off-site improvements shall be based on proportional analysis.

(1) Facilities and Services. The public and private facilities and services provided by the development are adequate as to location, size, design and timing of construction in order to serve the residents or establishments to be accommodated and meet city standards and the policies and requirements of the comprehensive plan. The service provider is presumed correct in the evidence which they submit;

**Response: Both public (half street improvements) and private facilities provided as part of the proposed development will be designed and constructed according to city standards.**

(2) Traffic Generation. Based on anticipated vehicular and pedestrian traffic generation and the standards and policies of the comprehensive plan, adequate right-of-way and improvements to streets, pedestrian ways, bikeways, transitways and other ways are provided by the development in order to promote safety, reduce congestion, conserve energy and resources, and encourage transit use, bicycling and walking. Consideration shall be given to the need for constructing, widening and/or improving, to the standards of the comprehensive plan and this code, public streets, bicycle, pedestrian, and other ways in the area of the proposed development impacted by the proposed development. This shall include, but not be limited to, improvements to the right-of-way, such as installation of lighting, signalization, turn lanes, median and parking strips, traffic islands, paving, curbs and gutters, sidewalks, bikeways, transit facilities, street drainage facilities, traffic calming devices, and other facilities needed because of anticipated vehicular, transit, bicycle, and pedestrian traffic generation. Access and street design shall comply with the standards identified in Chapter 18.143 CMC, Transportation Facilities, and Chapter 5 of the adopted public works standards. Street trees shall be installed to the standards identified in Chapter 5 of the adopted public works standards. In lieu of actual construction of off-site improvements, the committee may accept written waivers of remonstrance to the formation of local improvement districts for the purpose of providing the needed off-site improvements or cash payment to the city in an amount equal to the estimated cost of said off-site improvements;

**Response: The applicant is proposing to construct a half-street improvement along the sites Baseline Road frontage. Which will include bike lane and sidewalk. The half-street improvement will be designed to standards found in Chapter 5 of the public works standards. See Sheets C2 and C4.1.**

(3) Dedication. Adequate dedication or reservation of real property for public use, as well as easements and right of entry for construction, maintenance and future expansion of public facilities and services, shall be required to protect the public from any potentially deleterious effects resulting from the proposed use to fulfill the need for additional, improved services, whether on or off site, created by the proposed use, and to effect the implementation of the standards and policies of the comprehensive plan;

**Response: The applicant will dedicate right-of-way if deemed necessary as part of the proposed development.**



(4) Internal Circulation. There is a safe and efficient circulation pattern within the boundaries of the site. Consideration shall include the layout of the site with respect to the location, number, design and dimensions of vehicular, transit, and pedestrian access, exits, drives, walkways, bikeways, transit stops and facilities, building location and entrances, emergency equipment ways and other related on-site or off-site facilities so that there are adequate off-street parking and loading/unloading facilities provided in a safe, well designed and efficient manner. Consideration shall include the layout of parking, storage of all types of vehicles and trailers, shared parking lots and common driveways, garbage collection and storage points, as well as the surfacing, lighting, screening, landscaping, concealing and other treatment of the same. Developments shall provide a safe and reasonably direct pedestrian connection from the main entrance to the public right-of-way and/or the pedestrian system or both. The pedestrian connection shall be reasonably free of hazards from automobile traffic, so as to help encourage pedestrian and bicycle travel;

**Response: Internal circulation has been considered within the design of the proposed development. The site is meeting the minimum required vehicle and bicycle parking spaces, internal drive aisle widths have been met for two-way traffic. There is a transit stop located along the frontage of the site. A pedestrian path is being proposed to connect the development to the public sidewalk and pedestrian walkways have been design within the parking lot area. There is sufficient access for refuse/recycling haulers to access the trash/recycling enclosure. The proposed design also includes landscaped areas, a courtyard, bicycle parking and accessible parking spaces have been located close to the main entry of the proposed building.**

(5) Maintenance of Private Facilities. Adequate means are provided to ensure continued maintenance and necessary normal replacement of private common facilities and areas, drainage ditches, streets and other ways, structures, recreation facilities, landscaping, fill and excavation areas, screening and fencing, ground cover, garbage storage areas and other facilities not subject to periodic maintenance by the city or other public agency. Materials, including wastes, shall be stored and managed, and grounds shall be maintained in a manner that will not attract or aid in the propagation of insects or rodents or cause a health hazard;

**Response: The applicant intends to provide maintenance of all private facilities. Parking spaces will remain clearly marked, asphalt will be repaired as necessary, landscape areas will be irrigated as needed, remain free of weeds and non-native invasives. The building will receive necessary maintenance and repairs will be made as soon as possible. The trash/recycling area will be maintained and kept in a manner that it will not attract rodents or insects.**

(6) Public Facilities. The structures and public facilities and services serving the site are designed and constructed in accordance with adopted codes and/or city standards at a level which will provide adequate fire protection and protection from crime and accident, as well as protection from hazardous conditions due to inadequate, substandard or ill-designed development;

**Response: The public half-street improvement will be constructed as designed and will be built to public standards.**

(7) Security. Adequate facilities shall be provided to prevent unauthorized entries to the property, facilitate the response of emergency personnel, and optimize fire protection for the building and its occupants. Adequate facilities may include, but not be limited to, the use of lighted house numbers and a project directory for multi-family projects of three or more units;

**Response: All attempts will be made to keep the employees and visitors to the site safe. There is adequate access for emergency vehicles and the site will be lighted for safe navigation of the site for pedestrians.**

(8) Grading. The grading and contouring of the site takes place and site surface drainage and on-site storage of surface waters facilities are constructed so there is no adverse effect on neighboring properties, public rights-of-way or the public storm drainage system and that said site development work will take place in accordance with the city site development code;

**Response: The subject site is relatively flat. Grading and contouring of the site will ensure that site surface drainage and on-site storage of surface waters (infiltration system) are designed and constructed so there is no adverse effect on neighboring properties, public rights-of-way or the public storm system. The existing home will be removed as part of this proposed development. See sheets C3.1 for the grading plan and Sheet C5.1 for the storm drainage plan.**

(9) Utilities. Prior to the development of a site, utilities shall be extended to serve the site or financially secured for extension to serve the site. Connection to city utilities shall be required prior to final inspection and occupancy. Electric, telephone, and other utility services to new development shall be located underground. New utilities for redeveloped parcels shall be located underground from the right-of-way to the redeveloped parcels;

**Response: An 8" water line is located adjacent to the site in 4th Avenue, a 10" sanitary sewer line is located adjacent to the site in Baseline Road and an existing public storm system is located in 4th Avenue. Connections to city utilities will be conducted prior to final inspection. Stormwater on the southside of Baseline Road is conveyed via a roadside ditch. See Sheet C6 for the utility plan.**

(10) Accessibility. Access and facilities for physically handicapped people are incorporated into the site and building design with particular attention to providing continuous, uninterrupted access routes;

**Response: Nine accessible parking spaces are proposed, and pathways have been provided north of the proposed building, nearest the main entry and accessible pathways are included in the site design to allow continuous and uninterrupted access to the facilities.**

(11) Bicycle Lanes and Sidewalks. Where street improvements on arterials and collectors are required as a condition of development approval, they shall include bicycle lanes or off-street multi-modal pathways, and sidewalks constructed in accordance with city standards.

**Response: A half-street improvement is proposed along the sites frontage to Baseline Road. The half-street improvement would include a bicycle lane and sidewalk 6 feet in width. The applicant will**

**ensure that the existing sidewalk, located near the bus stop at the intersection of Baseline Road and 4th Avenue is 6 feet wide. If it is not 6 feet wide, the applicant will widen it to 6 feet in width.**

(B) Design Standards.

(1) Relation of Building to Site. The proposed structures shall be related harmoniously to the terrain and to existing buildings which have a visual relationship to the proposed structure. Building height, bulk, lot area, coverage, setbacks, and scale should be particularly considered with regard to achieving compatible relationships. Screening, except in the industrial zone, exposed storage areas, utility buildings, machinery, service and truck loading areas, solid waste disposal cans, containers and other structures, and other accessory uses and structures, shall be adequately set back and screened. If a building is constructed, enlarged or altered to meet Type II thresholds and is located within 500 feet of a bus/transit stop, a main entrance door shall be placed on the street side of the bus/transit line and located as close as structurally possible to the bus/transit stop in compliance with this title;

**Response: The proposed building does not have any adjacent buildings to compete with. The building has been thoughtfully designed to be visually appealing as well as functional for the proposed use, an indoor sports facility. The only accessory structure is a trash/recycling enclosure located south of the building which is screened and out of site from both abutting public streets. A bus/transit stop is located at the intersection of Baseline and N 4th Avenue, adjacent to the sites northeast corner.**

(2) Trees and Vegetation. The development has been designed to, where possible, incorporate and preserve existing trees or vegetation of significant size and species. Consideration shall be given to whether habitat, survival of the tree species, and aesthetics can best be achieved by preserving groves or areas of trees as opposed to only individual trees;

**Response: The applicant will not be able to preserve any existing trees or vegetation. There are no existing groves of trees or any trees or vegetation of significant size or species on the site. The applicant has submitted a landscape plan providing 15% landscaping of the site for review.**

(3) Historic Structures. Consideration is given to the effect of the proposed development on historic buildings or features both on the site and within the immediate area;

**Response: There are no historic structures located on the subject site.**

(4) Grading and contouring of the site shall take place with particular attention to minimizing the possible adverse effect of grading and contouring on the natural vegetation and physical appearance of the site;

**Response: Due to the proposed use and site design, the entire site will be graded. The subject site does not contain any significant natural vegetation and the site is relatively flat. The existing home will be removed.**

(5) Landscaping. The quality, location, size, and structural and aesthetic design of walls, fences, berms, traffic islands, median areas, hedges, screen planting and landscape areas are such that they serve their intended purposes and have no adverse effect on existing or contemplated abutting land uses;

**Response: The proposed landscaping will not have an adverse effect on existing or contemplated abutting land uses. The applicant is proposing landscaping in the parking areas, along the Baseline Street frontage as well as open space area to be located east of the proposed building.**

(6) Lighting. Adequate exterior lighting shall be provided to promote public safety, and shall be designed to avoid unnecessary glare upon other properties;

**Response: Adequate exterior lighting will be provided to promote public safety and has been designed to avoid glare upon other properties. See parking lot lighting plan.**

(7) Solar Access. In determining the appropriate relation of the building or structure to the site, the committee shall require that the building or structure be located on the site in a location and direction that will maintain, where feasible, solar access for adjacent properties and buildings or structures within the site. [Ord. 588 §§ 1, 2, 1981; Ord. 665 § 1, 1987; Ord. 810, 2000; Code 2000 § 11.30.14; Ord. 874 Exh. (1)(B), 2006; Ord. 916 § 1 (Exh. A), 2010; Ord. 2018-02 § 1 (Exh. A), 2018; Ord. 2019-10 § 1 (Exh. A), 2019; Ord. 2020-05 § 1 (Exh. A), 2020.]

**Response: Baseline Road abuts the site to the north, a vacant parcel to the west, railroad right-of-way abuts the site to the south and N 4th Avenue is to the west. The proposed building will not impact solar access for adjacent properties. The site development plan proposes that the building is constructed within the eastern portion of the site which will not impact the vacant parcel to the west if/when it develops.**

#### **18.100.050 Special conditions.**

(A) Open Space, Parks and Recreation Areas. Major residential developments, 20 units or more, shall include park and recreation areas, or both. In all multi-family projects, the required park and recreation area shall include a children's play area and play equipment for the use of residents and occupants of the multi-family project. The community development director shall have the power to approve plans for these recreation areas.

**Response: Not applicable to the proposed project.**

(B) Objectionable Uses. Odor, dust, smoke, fumes, noise, glare, heat, and vibration from commercial and industrial uses, or both, which might create a nuisance or be offensive to other uses in the area or be incompatible with such other uses shall be adequately eliminated or controlled by authorized measures. [Ord. 588 § 3, 1981; Ord. 665 § 1, 1987; Ord. 810, 2000; Code 2000 § 11.30.15; Ord. 841 Exh. 2, 2003.]

**Response: Not applicable to the proposed project.**

**18.100.060 Compliance with approvals.**

(A) Time Limit on Approval. Site design review approvals shall be void after two years unless a building permit has been issued and substantial construction pursuant thereto has taken place.

**Response: The applicant understands that the site design approval is for two years and that a building permit must be obtained and reach substantial completion prior to the two-year expiration.**

(B) Certificate of Occupancy. In order to assure completion of the work in the manner and at the time approved, the premises shall not be used or occupied for the purposes set forth in the application until the city has completed a final inspection or issued a certificate of occupancy following completion of the work in substantial conformance to the approved plan. Prior to the final completion of all work, a certificate of occupancy or approval to occupy may be issued for a portion of the premises or conditioned upon further work being completed by a date certain.

**Response: The applicant understands that the building, when constructed, cannot be used or occupied for the purposes set forth in the land use application until the structure has obtained final inspections and or been issued a certificate of occupancy.**

(C) Revocation of Approval. The community development director may, upon reasonable notice to the applicant and an opportunity for him to be heard, revoke design review approval previously given and may revoke a certificate of occupancy for any of the following reasons:

(1) Material misrepresentation of fact in the application or in testimony or evidence submitted, whether the misrepresentation is intentional or unintentional.

(2) Failure to complete work within the time and in the manner approved without obtaining an extension of time or modification of plans.

(3) Failure to maintain and use the property in accordance with the approved plans and conditions.

**Response: The applicant intends to construct the facility with the approved material and site design, complete work within the specific time and intends to maintain and use the property in accordance with the approved plans and conditions. The applicant understands that deviation from the approved site design and construction practices can result in a revocation of approval.**

(D) Violation. It shall be unlawful to use or occupy premises for which design review approval is required, or to perform work for which design review approval is required, without complying with the provisions of CMC 18.100.010. It shall be unlawful to willfully violate any term or condition of an approved design review. [Ord. 665 § 1, 1987; Ord. 810, 2000; Code 2000 § 11.30.16; Ord. 841 Exh. 2, 2003.]

**Response: The applicant is seeking Type III Design Review approval.**

## Chapter 18.145 Off-Street Parking and Loading

### 18.145.010 General provisions.

(A) The provision and maintenance of off-street parking and loading spaces are continuing obligations of the property owner. No building or other permit shall be issued until plans are presented that show property that is and will remain available for exclusive use as off-street parking and loading space as required by this title. The subsequent use of property for which the building permit is issued shall be conditional upon the unqualified continuance and availability of the amount of parking and loading space required for the specific use. Use of property in violation of the off-street parking and loading requirements located herein shall be a violation of this code. Should the owner or occupant of a lot or building change the use to which the lot or building is put, thereby increasing off-street parking or loading requirements, it shall be a violation of this code to begin or maintain the altered use until the required increase in off-street parking or loading is provided, except as provided in the central mixed use (CMU) and corridor commercial (CC) zoning districts (see CMC 18.145.020(C)).

**Response: The applicant has provided a parking and circulation plan. The off-street parking will remain available for exclusive use as off-street parking as required. The applicant understands that if the property is still under their ownership and the use of the building changes, therefore increasing the required parking that the new "use" would be in violation until the adequate parking is provided.**

(B) Unless otherwise provided, required parking and loading spaces shall not be located in a required yard.

**Response: Not applicable.**

(C) Owners of two or more uses, structures, or parcels of land may agree to utilize jointly the same parking and loading spaces when the hours of operation do not overlap; provided, that satisfactory legal evidence is presented to the community development director in the form of deeds, leases, or contracts to establish the joint use.

**Response: Not applicable.**

(D) A plan drawn to scale, indicating how the off-street parking and loading requirement is to be fulfilled, shall accompany the request for a building permit, site plan review, or certificate of occupancy. The plan shall show all those elements necessary to indicate that these requirements are being fulfilled and shall include but not be limited to:

(1) Delineation of individual parking and loading spaces and their dimensions;

**Response: A parking/circulation plan has been provided. Individual parking spaces will be marked using permanent paint. Compact spaces will be marked with a "C". Standard spaces will be 9 feet wide and 20 feet (9' x 20') deep and compact spaces will be 8 feet wide and 16 feet (8' x 16') deep. See Sheet C2 for parking lot details.**

(2) Circulation area necessary to serve spaces;

**Response: A circulation plan has been provided to show that there is sufficient area and drive aisles necessary to serve all parking spaces, and for access to the garbage/recycling area.**

(3) Access to streets, alleys and properties to be served;

**Response: The parking and circulation plan indicates the vehicular access, which is located off of Baseline Street in the northwest portion of the site in a location as far from the intersection of Baseline Street and N 4th Avenue as possible.**

(4) Curb cuts;

**Response: The applicant is proposing a driveway in the northwest portion of the site along the frontage of Baseline Street. This portion of Baseline Street is unimproved and therefore no curb cuts will be required, rather the applicant will be constructing the driveway along with half-street improvements.**

(5) Location and dimensions of all landscaping, including the type and size of plant material to be used, as well as any other nonliving landscape material incorporated into the overall plan, excluding single- and two-family residences and multi-family uses with not more than four units in the core residential zone; and

**Response: The vehicular access to the subject site will be constructed as part of the half-street improvement along Baseline Street.**

(6) Specifications as to signs and bumper guards, excluding single- and two-family residences and multi-family uses with not more than four units in the core residential zone.

(E) Requirements for types of buildings and uses not specifically listed herein shall be determined by the community development director, based upon the requirements of comparable uses listed. [Ord. 810, 2000; Code 2000 § 11.40.11; Ord. 841 Exh. 2, 2003; Ord. 2016-011 § 1 (Exh. A), 2016; Ord. 2018-02 § 1 (Exh. A), 2018; Ord. 2019-10 § 1 (Exh. A), 2019.]

**Response: The proposed use is considered "Major Event Entertainment" which is a Use permitted outright in the C-2 zone, therefore a determination of "Use" by the Community Development Director will not be necessary.**

#### **18.145.020 Off-street parking.**

(A) At the time of erection of a new structure or at the time of enlargement or change in use of an existing structure within any zone in the city, off-street parking spaces shall be provided in accordance with CMC 18.145.030. If parking space has been provided in connection with an existing use or is added to an existing use, the parking space shall not be eliminated if elimination would result in less space than is specified in the standards of this section when applied to the entire use. In cases of enlargement of a

building or use of land existing on the effective date of the ordinance codified in this title, the number of parking spaces required shall be based only on floor area or capacity of such enlargement.

**Response: The applicant is proposing to construct a new structure with associated parking. Parking will meet the minimum required parking spaces; the proposed Use is "Major Events Entertainment".**

(B) Where square feet are specified, the area measured shall be the gross floor area primary to the functioning of the particular use of the property but shall exclude space devoted to off-street parking or loading. Where employees are specified, persons counted shall be those working on the premises during the largest shift at the peak season, including proprietors.

**Response: Areas will be provided in square feet and will exclude space devoted to off-street parking or loading. The landscape plan includes total the approximate total lot area in square feet, total building square footage, parking, landscaping, and walkways.**

(C) In the central mixed use and corridor commercial zoning districts, change of use of an existing commercial structure will not require additional parking to be constructed. However, construction of a new building or addition to an existing building will require the provision of off-street parking as required in CMC 18.145.030.

**Response: This application is for a new development and not a change of use of an existing commercial structure. Therefore, provisions for off-street parking will be required.**

(D) If several uses occupy a single structure or parcel of land, the total requirements for off-street parking shall be the sum of the requirements of the several uses computed separately with a reduction of 10 percent to account for cross-patronage and shared parking benefits. Where the peak hours of operation of two or more uses do not substantially overlap, such uses may share off-street parking spaces as required by this title.

**Response: Not applicable.**

(E) Parking spaces in public streets or alleys shall not be eligible as fulfilling any part of the parking requirements, except as allowed in the central mixed use and core commercial zoning districts.

**Response: The applicant is not including any parking spaces in public streets or alleys as fulfilling any part of the on-site parking requirements. The applicant is not proposing to construct or design any parking spaces in public streets as part of this proposed development.**

(F) Required parking spaces shall be available for the parking of operable motor vehicles for residents, customers, patrons, and employees only, and shall not be used for the storage or sale of vehicles or other materials and shall not be rented, leased or assigned to any other person or organization not using or being directly served by the use.

**Response: All parking spaces provided as a result of this proposed development will be available for operable vehicles for customers, patrons and employees and will not be used for storage or sale of**



any vehicles or for any purpose other than parking. The parking spaces provided for this development will not be rented, leased, or utilized by any other person not related to the organization as an employee, patron, or maintenance.

(G) Off-street parking spaces for dwellings shall be located on the same lot with the dwelling, unless specified elsewhere in the code. [Ord. 810, 2000; Code 2000 § 11.40.12; Ord. 2019-10 § 1 (Exh. A), 2019.]

**Response: Not applicable.**

**18.145.030 Required off-street parking spaces.**

(A) Off-street parking shall be provided based on the primary use of the site according to the following standards and regardless of the zone in which the use is located (see Map 1 following this chapter).

Table 1

Minimum and Maximum Required Off-Street Vehicle and Bicycle Parking Requirements (unless otherwise noted, standard is per 1,000 sf of gross floor area)

Land Use	Minimum Parking	Minimum Bicycle Parking Standards
Major Event Entertainment	Vehicle: 1.0/3 seats or 1.0/6' bench	Bicycle: 1.0/10 seats or 1.0/40' bench

**Response: The applicant is proposing 448 lineal feet of bench seating, which would result in 75 parking spaces ( $448/6 = 75$  parking spaces). The subject site abuts Baseline Street and there is a bus stop located at the intersection of Baseline Street and N 4<sup>th</sup> Avenue, therefore, is allowed a 10 percent reduction in the minimum parking required ( $75 \times .10 = 7.5$ ) which would be a total of 68 parking spaces.**

The applicant is proposing to provide 50 standard parking spaces (dimensions 9' wide by 20' long), 17 compact spaces (8' wide by 16' long and is allowed for up to 25% of the available spaces or 19 compact spaces) and 9 accessible parking spaces (dimensions 9' wide by 20' long) for a total of 76 parking spaces. Which meets the minimum required for this project.

Bicycle parking will be located just north of the main entry. The applicant is proposing 448 lineal feet of bench seating, which would result in 11 parking spaces ( $448/40 = 11$  bicycle spaces).

**18.145.040 Off-street loading.**

(A) Buildings and structures to be built or substantially altered which receive and distribute material or merchandise by truck shall provide and maintain off-street loading space as follows:

(B) Passengers. A driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading children shall be located on the site of any school having a capacity greater than 25 students.

**Response: Not applicable.**

(C) Merchandise, Materials or Supplies. Buildings or structures to be built or substantially altered which receive and distribute material or merchandise by truck shall provide and maintain off-street loading berths in sufficient numbers and size to adequately handle the needs of the particular use. If loading space has been provided in connection with an existing use or is added to an existing use, the loading space shall not be eliminated if elimination would result in less space than is required to adequately handle the needs of the particular use.

**Response: Not applicable to the proposed use.**

(D) Any area to be used for the maneuvering of delivery vehicles and the unloading or loading of materials shall be separated from designated off-street parking areas and appropriately designed to prevent the encroachment of delivery vehicles into off-street parking areas or into a public street.

**Response: Not applicable to the proposed use.**

(E) The facilities review committee may modify the off-street loading requirements as they apply to any individual case only for good cause shown, and it shall set reasonable safeguards and conditions to ensure that any such modification conforms to the intent of this title. Modification may be granted if it is demonstrated to the satisfaction of the committee that loading operations of the use or structure in question will not interfere with pedestrian or vehicular traffic on a public street.

**Response: Not applicable.**

(F) Exceptions and Adjustments. Loading areas within a street right-of-way within the Cornelius Town Center may be approved when all of the following conditions are met:

- (1) Area is signed for short duration only (i.e., less than one hour);
- (2) Expected visits are infrequent (less than three operations occur daily between 5:00 a.m. and 12:00 a.m. or all operations occur between 12:00 a.m. and 5:00 a.m. at a location that is not adjacent to a residential zone);
- (3) Area does not unreasonably obstruct traffic;
- (4) Area does not obstruct a primary emergency response route; and
- (5) Designation is acceptable to the applicable roadway authority. [Ord. 810, 2000; Code 2000 § 11.40.14; Ord. 2018-02 § 1 (Exh. A), 2018.]

**Response: Not applicable. There will not be a need for loading areas within a street right-of-way with this proposed project.**

**18.145.050 Design and maintenance standards for off-street parking and loading facilities.**

(A) Except as otherwise defined in this code, “one standard parking space” means a minimum of a parking stall of nine feet in width and 20 feet in length. To accommodate compact cars more efficiently, up to 25 percent of the available parking spaces may have a minimum dimension of eight feet in width and 16 feet in length, so long as they are identified as compact car stalls and are not readily accessible to large cars.

**Response: The applicant is proposing to provide 50 standard parking spaces (dimensions 9' wide by 20' long), 17 compact spaces (8' wide by 16' long and is allowed for up to 25% of the available spaces or 19 compact spaces) and 9 accessible parking spaces (dimensions 9' wide by 20' long) for a total of 76 parking spaces. The 17 compact spaces are identified as compact car stalls by a "C" with permanent paint in each stall. See Sheet C2 for a detailed parking plan.**

(B) Excluding single-family and duplex residences and multi-family uses with not more than four units in the core residential zone, groups of two or more parking spaces shall be served by a service drive so that no backing movements or other maneuvering within a street or other public right-of-way would be required.

**Response: All vehicle parking spaces are served by a service drive of 24 feet in width. There are no parking spaces proposed for this development which would result in backing or maneuvering within a public street or public right-of-way.**

(C) Service drives shall be designed and constructed to facilitate the flow of traffic, provide maximum safety of traffic access and egress consistent with CMC 18.150.070, and maximum safety of pedestrians and vehicular traffic on the site.

**Response: The site development plan includes service drives that have been designed to facilitate the flow of traffic within the parking lot and within the access drive providing safe ingress and egress.**

(D) Each parking and/or loading space shall be accessible from a street and the access shall be of a width and location as described in this section.

**Response: The parking area will be accessible from Baseline Road; the access will be 30 feet in width and located as far away from the intersection of Baseline Road and N 4th Avenue as is possible.**

(E) Parking space configuration, stall and access aisles shall be of sufficient width for all vehicles turning and maneuvering.

**Response: The parking area has been designed to provide sufficient vehicular access to parking stalls and access aisles. The access aisles are 24 feet in width providing the necessary area for two-way traffic, backing, turning, and maneuvering.**

(F) Except for single- and two-family residences and multi-family uses with not more than four units in the core residential zone, any area intended to be used to meet the off-street parking requirements as

contained in this title shall have all parking spaces clearly marked using a permanent paint. All interior drives and access aisles shall be clearly marked and signed to show direction of flow and maintain vehicular and pedestrian safety.

**Response: All parking spaces as part of this development will be marked using permanent paint. The interior drive aisles are designed for two-way traffic.**

(G) Except for single- and two-family residences and multi-family uses with not more than four units in the core residential zone, all areas used for the parking and/or storage and/or maneuvering of any vehicle, boat and/or trailer shall be improved with asphalt or concrete surfaces according to the same standards required for the construction and acceptance of city streets. Off-street parking spaces for single- and two-family residences and multi-family uses with not more than four units in the core residential zone shall be improved with an asphalt or concrete surface to specification as approved by the building official.

**Response: All of the parking spaces and parking drive aisles will be improved with asphalt and will be constructed to the standards that are required by the City.**

(H) Parking spaces along the outer boundaries of a parking lot or adjacent to interior landscaped areas or sidewalks shall be provided with a wheel stop at least four inches high located three feet back from the front of the parking stall. The facilities and design review committee or the planning commission may approve parking spaces without wheel stops, provided the abutting sidewalk is increased by three feet in width and/or the appropriate landscaping is planted where the bumper would overhang.

**Response: Wheel stops will be provided for the accessible parking spaces and the compact parking spaces located just west of the proposed building.**

(I) Off-street parking and loading areas shall be drained in accordance with specifications approved by the city engineer.

**Response: Off-street parking area will be drained into the private storm system via storm grates and will flow into the water quality facility for treatment prior to leaving the site and entering the public storm system.**

(J) Artificial lighting on all off-street parking facilities shall be designed to deflect all light away from surrounding residences and so as not to create a hazard to the public use of any road or street.

**Response: The subject site is bounded by a public street to the north and east, a railroad to the south and a vacant lot to the west. However, the applicant will design lighting within the off-street parking area so that deflects light away from surrounding areas and focuses light upon the proposed development.**

(K) Signs which are provided on parking lots for the purpose of meeting this section shall be as prescribed by the building official.

**Response: The applicant will install signs within the parking lot areas if/as conditioned by the building official.**

(L) All parking lots shall be kept clean and in good repair at all times. Breaks in paved surfaces shall be repaired promptly, and broken or splintered wheel stops shall be replaced so that their function will not be impaired.

**Response: The parking lot will be kept clean and in good repair. Paved surfaces will be maintained, and damage will be repaired. The applicant does not anticipate that wheel stops will be required since all parking spaces face curbs and walkways.**

(M) Bicycle parking spaces shall be conveniently located with respect to the street, bicycle path/lane and building entrance. Bicycle parking spaces shall not conflict with off-street vehicle parking spaces and drive aisles. There shall be at least 36 inches of clearance between parked bicycles and other obstructions or buildings.

**Response: Eleven (11) Bicycle parking spaces will be conveniently located near the main entrance to the building and within a paved area located just north of the proposed building entrance, near the bike lane which would be located in Baseline Road. See Sheet C2.**

(1) Short-Term Bicycle Parking. Short-term bicycle parking shall be provided to encourage shoppers, customers, and other visitors to use bicycles by providing a convenient and readily accessible place to park bicycles.

**Response: Short-term bicycle parking will be provided to encourage and allow patrons and participants of the facilities to use bicycle transportation.**

(a) Short-term bicycle facilities shall be in the form of either a lockable enclosure or a stationary rack, either covered or uncovered, to which the bicycle can be locked.

**Response: Short-term bicycle facilities will be provided in the form of an uncovered stationary rack, which will allow for the bicycle to be locked.**

(b) Short-term bicycle facilities shall be located within 30 feet of the main entrance to the building, in a location that is easily accessible for bicycles.

**Response: The short-term bicycle facilities are located approximately 27 feet from the buildings main entrance.**

(c) Short-term bicycle facilities may be located within the right-of-way adjacent to the street frontage of a property within the central mixed use and core commercial districts if approved by the city engineer.

**Response: Bicycle parking will be provided within the confines of the proposed development, to be located just north of the buildings main entrance. The applicant is not proposing to provide bicycle parking within any public rights-of-ways.**

(2) Long-Term Bicycle Parking. Long-term bicycle parking provides employees, students, residents, commuters, and others who generally stay at a site for several hours a weather-protected place to park bicycles.

(a) A minimum of 50 percent of the bicycle parking spaces shall be provided as long-term bicycle parking in any of the following situations:

(i) When 10 percent or more of automobile vehicle parking is covered.

(ii) If more than four bicycle parking spaces are required.

(iii) Multi-family residential development with nine or more units.

(b) Secured bicycle parking facilities shall be provided on site; facilities can include a bicycle storage room, bicycle lockers, covered racks, or other secure storage space inside or outside of the building. Long-term bicycle parking facilities shall be located not more than 75 feet from a building entrance. [Ord. 810, 2000; Code 2000 § 11.40.15; Ord. 841 Exh. 2, 2003; Ord. 874 Exh. (1)(B), 2006; Ord. 916 § 1 (Exh. A), 2010; Ord. 2016-011 § 1 (Exh. A), 2016; Ord. 2018-02 § 1 (Exh. A), 2018; Ord. 2018-05 § 1 (Exh. A), 2018; Ord. 2019-10 § 1 (Exh. A), 2019.]

**Response: Employees will be allowed to park their bicycles within the facility for long-term parking.**

#### **18.145.060 Landscaping required.**

(A) Purpose. The purpose of this section is to improve the appearance of off-street parking and open lot sales and services areas in Cornelius and to protect and preserve the appearance, character, and value of the surrounding neighborhoods and thereby promote the general welfare by providing for installation and maintenance of landscaping for screening, buffering and aesthetic qualities, finding that the particular characteristics and qualities of Cornelius justify regulations to perpetuate its aesthetic appeal on a city-wide basis. It is also the purpose of this section to allow for increased seepage by providing openings in the impervious surface, increased safety by breaking up large expanses of pavement, and increased shading to reduce overheating of car interiors, and reduce glare and radiation from large numbers of vehicles.

**Response: The applicant has submitted a landscaping plan for review and approval. It is the intent of the landscaping plan to meet the cities overall "purpose" for landscaping and meet or exceed the minimum requirements.**

(B) Minimum Requirements. All areas used for the display and/or parking of any and all types of vehicles, trailers, boats or heavy construction equipment, whether such vehicles traverse the property as a function of the primary use, hereinafter referred to as "other vehicular uses," shall conform to the minimum landscaping requirements provided in this section. Activities that are of a drive-in nature such as, but not limited to, filling stations, grocery and dairy stores, banks, restaurants, and the like shall conform to the minimum landscaping requirements also. The following areas are not required to meet the landscaping standards:

- (1) Where all of the parking or other vehicular uses are located under, on or within buildings; and
- (2) Parking areas serving single- and two-family uses and multi-family uses with not more than four units in the core residential zone as normally such residential areas shall not be required to meet.

**Response: Not applicable.**

(C) Installation. All landscaping shall be installed in a sound workmanship-like manner and according to accepted good planting procedures with the quality of plant materials as hereinafter described. All elements of landscaping exclusive of plant material except hedges shall be installed so as to meet all other applicable ordinances and code requirements. Landscaped areas shall require protection from vehicular encroachment as herein provided in CMC 18.145.050(H). The community development director or the building official shall inspect all landscaping and no certificates of occupancy or similar authorization will be issued unless the landscaping meets the requirements herein provided.

**Response: All landscaping will be installed using sound workmanship and to the landscape plan approved by the City. All landscaped areas will be protected from vehicular encroachment by curbs.**

(D) Maintenance. The owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping which shall be maintained in good condition so as to present a healthy, neat and orderly appearance and shall be kept free from refuse and debris. All plant growth in interior landscaped areas shall be controlled by pruning, trimming or otherwise so that:

- (1) It will not interfere with the maintenance or repair of any public utility;

**Response: Landscaping will not interfere with the maintenance or repair of any public utility. Landscaping will be installed and maintained in accordance with the landscaping plan approved by the City.**

- (2) It will not restrict pedestrian or vehicular access; and

**Response: Landscaping will be installed in accordance with the landscaping plan approved by the City and will be maintained so that it does not restrict pedestrian or vehicular access.**

- (3) It will not constitute a traffic hazard because of reduced visibility. [Ord. 810, 2000; Code 2000 § 11.40.16, Ord. 841 Exh. 2, 2003; Ord. 2019-10 § 1 (Exh. A), 2019.]

**Response: All proposed landscaping will not cause a traffic hazard. All landscaping will be maintained to avoid reducing any vehicular, pedestrian or bicycle visibility.**

#### **18.145.070 Parking lot design standards.**

(A) Required Landscaping Adjacent to Public Right-of-Way. A strip of land at least five feet in width located between the abutting right-of-way and the off-street parking area or vehicle use area which is exposed to an abutting right-of-way, except in required vision clearance areas as provided in CMC 18.150.070.

**Response:** See Sheet C2 for details regarding landscaping adjacent to the public right-of-way.

(B) Perimeter Landscaping Relating to Abutting Properties. On the site of a building or structure or open lot use providing an off-street parking area or other vehicular use area, where such areas will not be entirely screened visually by an intervening building or structure from abutting property, a five-foot landscaped strip shall be between the common lot line and the off-street parking area or other vehicular use area exposed to abutting property.

**Response: The sites abuts a vacant property to the west. The applicant is proposing off-street parking in the western portion of the site and is proposing to provide a 6 feet 5 inch wide landscape strip between the site's parking area and the vacant parcel to the west.**

(C) Where the boundary of a parking lot in a nonresidential zone adjoins a residential district, a 10-foot landscaped strip shall be provided along the entire length abutting the residential zone, and shall be landscaped with evergreen plant material and maintained at a minimum height of 36 inches.

**Response: Not applicable.**

(D) Parking Area Interior Landscaping. Landscaped islands shall be provided a minimum of every 10 parking spaces with a depth equivalent to the depth of the adjacent parking spaces and a minimum width of six feet to break up large expanses of pavement, improve the appearance and climate of the site, improve safety, and delineate pedestrian walkways and traffic lanes. Except for industrial development within industrial zones, the following interior landscaping shall be met:

**Response: The applicant is proposing landscaped islands for every 7-9 parking spaces. The landscaped islands will be 6' in width and equivalent in depth to the adjacent parking space(s). See Sheet C2 for details regarding parking area landscaping.**

(1) Sight Distance for Landscaping at Points of Access. When an accessway intersects a public right-of-way or when the subject property abuts the intersection of two or more public rights-of-way, all landscaping within vision clearance areas pursuant to CMC 18.150.070 shall provide unobstructed cross-visibility at a level between three feet and 10 feet above the curb line; provided however, visibility areas shall be allowed, provided they are so located so as not to create a traffic hazard. Landscaping except required grass or ground cover shall not be located closer than three feet from the edge of any accessway pavement.

**Response: The proposed accessway to the parking area will be located in the northwest portion of the site off of Baseline Road. There will be no obstructing landscaping within the clear vision zone. See Sheet C2 for details regarding the proposed access drive.**

(2) Parking lots that are more than three acres in size shall provide street features along major drive aisles. These features shall include at a minimum curbs, sidewalks and street trees and/or planter strips or both.

**Response: Not applicable, the parking lot is not more than three acres in size.**



(3) Access to and from parking spaces/areas shall not permit backing onto a public street and/or a public vehicle travel lane or both, except for single-family or duplex dwellings and multi-family uses with not more than four units in the core residential zone. [Ord. 810, 2000; Code 2000 § 11.40.17; Ord. 874 Exh. (1)(B), 2006; Ord. 2019-10 § 1 (Exh. A), 2019.]

**Response: No parking spaces are located on a public street. No vehicles will be backing onto a public street or public travel lane.**

#### **18.145.080 Drainage of off-street parking and loading facilities.**

Off-street parking and loading facilities shall be drained to avoid flow of water across public sidewalks. [Ord. 810, 2000; Code 2000 § 11.40.18; Ord. 2018-02 § 1 (Exh. A), 2018.]

**Response: Off-street parking will be designed and drained to avoid sheetflow of water across public sidewalks or internal walkways and will not impede pedestrians.**

#### **18.145.090 Security required.**

(A) Completion Time for Parking Lots. Required parking spaces shall be improved and available for use before the final inspection. An extension of time may be granted by the community development director, provided a security equal to 150 percent of the cost of the parking lot is posted with the city of Cornelius and the parking space is not required for immediate use. If the parking improvements are not completed within six months, the city shall have access to the security to complete the installation and/or revoke occupancy. Upon completion of the installation, any portion of the remaining security shall be returned to the owner. Costs in excess of the posted security shall be assessed against the property and the city shall thereupon have a valid lien against the property, which shall become due and payable. [Ord. 810, 2000; Code 2000 § 11.40.19; Ord. 841 Exh. 2, 2003.]

**Response: The required parking spaces will be available for use prior to final inspection.**

### **Chapter 18.150 SPECIAL USE REGULATIONS**

#### **18.150.070 Clear vision zones.**

Except in the central mixed use (CMU) zoning district, a clear vision zone shall be maintained on the corners of all property adjacent to the intersection of two streets, a street and a railroad, or a driveway providing vehicular access to a public street.

(A) The clear vision zone is defined as the triangular area beginning at the intersection of the projected curb lines, and extending 15 feet along the leg of each intersection. No fence, berm, wall, hedge or other planting or structure shall be placed within the clear vision zone that would impede visibility between a height of 30 inches and 10 feet as measured from the top of curb, or in the absence of a curb, from the established street center line grades. If the relation of the surface of the lot to the streets is such that visibility is already obscured, nothing shall be done to increase the impediment to visibility within the

vertical and horizontal limits set forth above. Poles, tree trunks, and similar objects less than 12 inches in width may be allowed in the clear vision zone if they meet the vertical requirements noted above.

**Response: The applicant will maintain a clear vision zone at the intersection of the vehicular access and Baseline Street. There will be no obstructions within the clear vision triangle. See Sheet C2 for details regarding the clear vision triangle.**

(B) A private access shall be treated as a public street for the purpose of this section. The edge of the paved surface area of the private access, be it roadway, curb or sidewalk, shall be treated as the curb line in determining the vision clearance zone.

**Response: It is understood that private access is treated as public street for the purpose of clear vision zones and that the edge of the paved surface area of the private access is the point where the clear vision zone is determined.**

(C) The requirements of visibility at intersections in the CMU zoning district shall be determined on a case-by-case basis by the facilities and design review committee in accordance with traffic and transportation engineering standards. [Ord. 810, 2000; Code 2000 § 11.40.27; Ord. 841 Exh. 2, 2003; Ord. 2018-02 § 1 (Exh. A), 2018; Ord. 2019-10 § 1 (Exh. A), 2019.]

**Response: The subject site is not located within the CMU zone.**

## **Chapter 18.155**

### **SOLAR ACCESS FOR NEW DEVELOPMENT**

#### **18.155.010 Purpose.**

It is the city's intent to encourage the use of both active and passive solar energy systems for heating air and water in homes and businesses, as long as natural topography, soil, or other subsurface conditions or other natural conditions peculiar to the site are preserved. While the use of solar energy systems is optional, the right to solar access is protected. Additionally, a goal of this section is to ensure that site plan elements do not excessively shade adjacent properties, creating a significant adverse impact upon adjacent property owners. Thus, standards are set forth to evaluate the potential impact of shade caused by buildings, structures, and trees.

#### **18.155.020 Applicability.**

All development shall be designed throughout to accommodate active and/or passive solar installations to the extent reasonably feasible.

**Response: The subject site is located on a corner lot with Baseline Street to the north, N 4<sup>th</sup> Avenue to the east, Railroad Right-of-Way to the south; and a vacant parcel to the west. The proposed 38' 2" building will be located in the eastern portion of the site. The applicant is not proposing any solar**

**installations at this time. However, the proposed site design could easily accommodate solar installations due to its location, orientation and design.**

**18.155.030 Solar-oriented residential lots.**

At least 65 percent of the lots less than 10,000 square feet in area in single- and two-family residential developments must conform to the definition of a “solar-oriented lot” (see CMC 18.195.190) in order to preserve the potential for solar energy usage.

**Response: Not applicable.**

**18.155.040 Access to sunshine.**

The elements of the development plan (e.g., buildings, circulation, open space and landscaping) shall be located and designed, to the maximum extent feasible, to protect access to sunshine for planned solar energy systems or for solar-oriented rooftop surfaces that can support a solar collector or collectors capable of providing for the anticipated hot water needs of the buildings in the project between the hours of 9:00 a.m. and 3:00 p.m. PST, on December 21st.

**Response: The subject site is located on a corner lot with Baseline Street to the north, N 4<sup>th</sup> Avenue to the east, Railroad Right-of-Way to the south; and a vacant parcel to the west. The proposed 38’ 2” would be located in the eastern portion of the site. The building is being designed to accommodate a solar energy system, if desired in the future. The parking area which will be located in the western portion of the site would be unobstructed from southern sun exposure due to approximately 60 feet of railroad right-of-way located to the south of the subject site. This would allow for possible a possible solar energy system to be located within the parking lot, if desired in the future.**

**18.155.050 Shading.**

(A) The physical elements of the development plan shall be, to the maximum extent feasible, located and designed so as not to cast a shadow onto structures on adjacent property greater than the shadow which would be cast by a 25-foot hypothetical wall located along the property lines of the project between the hours of 9:00 a.m. and 3:00 p.m., PST, on December 21st. This provision shall not apply to structures within the central mixed use (CMU) and corridor commercial (CC) zoning districts.

**Response: The subject site is located at the intersection of Baseline Road and N 4<sup>th</sup> Avenue. The proposed 38’ 2” tall building would be located in the eastern portion of the site with the front façade facing north. A vacant parcel is located to the west and approximately 60 feet of railroad right-of-way to the south. Therefore, the proposed building will not impact any structures located south of both the subject site and existing railroad right-of-way or west of the site on the vacant parcel.**

(B) The impact of trees shall be evaluated on an individual basis considering the potential impacts of the shading and the potential adverse impacts that the shading could create for the adjacent properties in terms of blocking sunlight in indoor living areas, outdoor activity areas, gardens, and similar spaces benefiting from access to sunlight.

**Response: The subject site does not have any existing trees which will pose any adverse impacts to neighboring sites. As mentioned previously, the subject site is located at the intersection of Baseline Road and N 4<sup>th</sup> Avenue, with a vacant parcel to the west and railroad right-of-way to the south. Per the landscape plan, there will be no impact to any neighboring structures and the trees that are proposed are necessary to meet landscaping requirements.**

**18.155.060 Alternative compliance.**

Upon request by an applicant, the planning commission may approve an alternative site layout that may be substituted in whole or in part for a plan meeting the standards of this chapter.

(A) Procedure. Alternative compliance plans shall be prepared and submitted in accordance with submittal requirements for plans as set forth in this section. The plan shall clearly identify and discuss the modifications and alternatives proposed and the ways in which the plan will equally or better accomplish the purpose of this chapter than a plan which complies with the standards of this chapter.

(B) Review Criteria. In approving an alternative plan, the planning commission shall find that the proposed alternative plan accomplishes the purposes of this chapter equally or better than a plan which complies with the standards of this chapter.

In reviewing the proposed alternative plan, the planning commission shall take into account whether the alternative design enhances neighborhood continuity and connectivity, fosters nonvehicular access, and preserves existing natural or topographic conditions on the site.

**Response: An alternative plan is not being requested or proposed.**



## Written Narrative Requirements

### B: Description of Proposal

#### Existing Conditions:

The Property is located at 271 Baseline Street in Cornelius, a city in Washington County, Oregon.

The entire Property consists of two, level, adjacent Tax Lots totaling 2.1 acres. They are located on the corner of Baseline St, which is a one-way road traveling eastbound and S 4<sup>th</sup> Ave.

Tax ID R0409953 is .78 acres w/ an unoccupied 2814 sq ft home located on it.

Tax ID R0409944 is 1.32 acres of vacant land directly on the corner of Baseline & S 4<sup>th</sup> Ave.

This Property is currently zoned C-2, which is a Commercial designation in the City of Cornelius Comprehensive Plan. Consequently, the Proposed Use of the property already fits into the Allowable Use categories of the current zoning.

#### Proposed Use:

The Applicant is proposing a new indoor entertainment facility w/ six full-tournament size courts that can be utilized for basketball, volleyball, soccer and other sports activities during the day, and evenings. These courts will be located inside 1 overall building, that will have small concession area, viewing areas, offices and bathrooms.

In order to move forward w/ this Proposed Building, the existing home will need to be taken down.

The Proposed Building itself will be pushed to the back (south), and east side of the overall property, with the entrance/parking at the west end of the Property.

There will be landscaping around the front of the Proposed Building, as well as 34 trees in various locations along the street and around the parking lot. There will be 67 compact/standard parking spaces, with an additional 9 handi-cap spaces, for a total of 76 parking spaces.

As stated above, this Property is currently zoned C-2, which is a Commercial designation in the City of Cornelius Comprehensive Plan. Consequently, the Proposed Use of the property already fits into the Allowable Use categories of the current zoning.

#### 18.45.020 - Uses permitted outright

In a C-2 zone the following uses shall be permitted outright; provided, that all operations are conducted within an enclosed structure:

**(E)** Indoor amusement or entertainment and restaurants, including fast food with drive-up window.

**CONDITIONAL USE PERMIT  
KEM HOOPS  
1S304BB-00100 and 00200**

The applicant is requesting Type III Design Review and Conditional Use approval for a new indoor entertainment facility, the proposed new building would exceed the maximum building height, which is currently 35' in the C-2 zone, which requires Conditional Use. Therefore, the applicant is requesting Conditional Use approval to exceed the maximum building height of 35' by 3' 2" or approximately 9.14 percent, resulting in a building height of 38' 2".

There is a serious lack of gym space available for practicing and tournaments. This lack of gym space greatly affects our youth and the ability for them to participate in sports. Sports participation provides youth with a positive outlet, character development, socialization and self-discipline. Participation in sports teaches youth teamworking skills and they are exposed to positive role models in coaches and older participants.

The applicant is proposing six full-tournament size courts that can be utilized for basketball, volleyball, soccer and other sports activities during the day and evenings.

The subject site is a total of 2.1 acres in size and currently consists of two Parcels located in the C-2 zone and has a designation of C Commercial in the Comprehensive Plan. The Parcels can be identified as Tax Lots 100 and 200 on Washington County Assessor's Tax Map 1S3-04BB.

**18.45.030 Conditional uses permitted.**

In a C-2 zone the following uses and their accessory uses may be permitted when in accordance with Chapter 18.105 CMC:

(A) Outdoor storage and/or display of merchandise, materials, goods, and equipment, or any other outdoor activity, subject to a Type II review if the outdoor activity complies with principally permitted uses within the zone, otherwise a Type III review is required.

**Response: Not applicable to the request.**

(G) Requests to exceed the permitted building height.

**Response: The applicant is requesting Conditional Use approval to exceed the permitted building height. The maximum building height in the C-2 zone is 35 feet. The applicant is requesting Conditional Use approval for a building height of 38 feet 2 inches. This is an increase of approximately 9.14 percent or 3 feet 2 inches.**

**18.105.010 Purpose.**

Certain types of uses require special consideration prior to being permitted in a particular district. The reasons for requiring special consideration involves, among other things, the size of the area required,

the nature of the traffic problems, the effect such uses have on any adjoining land uses and on the growth and development of the community as a whole. The uses are listed in each use district as a conditional use. [Ord. 640 § 1, 1985; Ord. 810, 2000; Code 2000 § 11.30.31.]

**Response: Per Cornelius Municipal Code section 18.45.030 (G) requests to exceed the permitted building height will require Conditional Use approval.**

**18.105.020 Authority.**

The planning commission may approve, approve with conditions, or deny the application for a conditional use permit. In permitting a conditional use, the planning commission may impose conditions found necessary to protect the best interests of the surrounding property or neighborhood, or the city as a whole. A conditional use permit shall not grant variances to the regulations prescribed by this title.

(A) Authorization to Grant or Deny Conditional Uses.

(1) Uses designated in this title as conditional uses permitted shall be permitted or enlarged or altered upon approval of the commission in accordance with the standards and procedures specified in this chapter.

**Response: The applicant understands that this request may be approved, approved with conditions or denied.**

(2) The conditions may include, but are not limited to, the following requirements:

(a) Increasing the required lot size or yard dimensions;

**Response: Not applicable.**

(b) Controlling the location and number of vehicular access points to the property;

**Response: Not applicable.**

(c) Increasing street width;

**Response: Not applicable.**

(d) Increasing the number of off-street parking or loading spaces required;

**Response: Not applicable.**

(e) Limiting the number of signs;

**Response: Not applicable.**

(f) Limiting the coverage or height of buildings because of obstruction to view or reduction of light or air to adjacent property;

**Response: The applicant is requesting approval to exceed the maximum allowed building height in the C-2 zone, which is 35'. The applicant is requesting approval to construct a 38' 2" building, exceeding the maximum height limit by 3' 2" or approximately 9.14 percent. The proposed project is on a corner lot, located at the southwest corner of Baseline Road and N 4th Avenue, a railroad with associated right-of-way is located on the south side of the site and a vacant parcel to the west. The proposed building would be located in the eastern portion of the site. If approved, the developed site will not affect air, views or cause a reduction of light on adjacent property. There are residences located south of the site however, railroad and public street right-of-way separate the proposed development from the residences.**

(g) Requiring sight-obscuring fencing and landscaping where necessary to reduce noise or glare or maintain the property in a character in keeping with the surrounding area; and

**Response: The applicant is requesting Conditional Use approval to exceed the maximum building height in the C-2 zone for a proposed development being reviewed under a Type III Design Review. It is anticipated that any requirements for sight-obscuring fencing or landscaping will be conditioned under the Design Review request and not part of this Conditional Use request.**

(h) Requirements under which any future enlargement or alteration of the use shall be reviewed by the city and new conditions imposed.

**Response: The applicant does not anticipate any future enlargement or alteration of this particular Conditional Use request, which is approval to exceed the maximum building height.**

(3) Change in use, expansion or contraction of site area, or alteration of structures or uses classified as conditional existing prior to the effective date of the ordinance codified in this title shall conform to the regulations pertaining to conditional uses. If the site is found inappropriate for the use requested, the commission may deny approval of the conditional use.

**Response: Not applicable.**

#### **18.105.030 Procedures.**

(A) Application. A request for a conditional use or modification of an existing conditional use may be initiated by a property owner or his authorized agent by filing an application form prescribed by the community development director and shall be filed with the community development director.

**Request: The applicant is requesting Type III Design Review approval for a new indoor entertainment facility, the proposed new building would exceed the maximum building height, which is currently 35' in the C-2 zone, which requires Conditional Use. The applicant is seeking Conditional Use approval to exceed the maximum building height of 35' by 3' 2" or approximately 9.14 percent. The proposed building height is 38' 2".**

(B) Approval Criteria. The approval, approval with conditions or denial of an application for conditional use or to enlarge or to alter a conditional use shall be based on findings of fact with regard to each of the following approval standards:

(1) The proposed development will comply with the comprehensive plan;



**Response: The proposed development is zoned C2 and has a designation of C Commercial in the Comprehensive Plan. The applicant is proposing an indoor entertainment facility which complies with the Comprehensive Plan. The site development plan has proactively planned for safe traffic circulation, public safety and will be visually appealing. Development in this area requires Design Review approval. The applicant has submitted a Type III Design Review application as well as a Conditional Use application requesting approval to exceed the maximum building height in the C2 zone.**

(2) The applicable requirements of the zoning district are satisfied; and

**Response: The applicable requirements of the zoning district are met. The applicant is requesting Type III Design Review approval along with this request for Conditional Use approval.**

(3) That the location, size, design, and functional characteristics of the proposed use are such that it can be made reasonably compatible with and have a minimum impact on the livability and appropriate development of other properties in the surrounding neighborhood;

**Response: The applicant is requesting approval to exceed the maximum building height in the C-2 zone which is 35'. The applicant is requesting approval for a building height of 38'-2"' which is an increase of 3' 2" or approximately 9.14 percent. The requested height increase is negligible and will not affect negatively affect the livability or compatibility of surrounding properties. The subject site is a corner lot and is located at the southwest corner of the intersection of Baseline Road and N 4th Avenue, railroad right-of-way is located to the south and a vacant lot to the west. The building is situated in the eastern portion of the site, away from any development that may occur on the vacation parcel to the west.**

(4) The granting of the proposal will provide for a facility that is consistent with the overall needs of the city.

**Response: The applicant is requesting Conditional Use approval to exceed the maximum building height related to the construction of an indoor sports facility with six full-size courts. A Type III Design Review application has also been submitted for review and approval. There is a lack of indoor sport courts available for youth and adults to use. Sports participation provides youth with a positive outlet, character development, socialization and self-discipline. Participation in sports teaches youth teamworking skills and they are exposed to positive role models in coaches and older participants.**

(C) Modifications. A request to substantially modify an existing conditional use permit shall be processed in the same manner as a new request for a conditional use permit. Minor modifications of an existing conditional use permit may be approved by the community development director. When an interpretation is discretionary, notice shall be provided in accordance with Chapter 18.15 CMC.

**Response: Not applicable.**

(D) Public Hearing Required. A public hearing shall be scheduled for each application requiring action by the planning commission. The hearing shall be conducted at the next regularly scheduled planning commission meeting where legally sufficient notice can be provided to the public prior to the hearing,

following receipt and verification of a completed application. Notice of the time, place and purpose of the public hearing shall be given in accordance with the requirements of CMC 18.15.030.

**Response: The applicant understands that a Public Hearing is required to obtain Conditional Use approval. The applicant is also requesting a Type III Design Review for a new building on the site, which will also require a Public Hearing. The applicant requests that both applications be heard at the same hearing, if possible.**

(E) Notification of Action. The community development director shall notify the applicant of the conditional use decision rendered by the planning commission, in writing within five days after the decision has been made.

**Response: Understood.**

(F) Time Limit on Approvals. A conditional use permit shall become void two years after the date of final approval or after such time less than two years as may be specified as a condition of approval unless prior to that time a building permit has been issued for the project and substantial construction has taken place.

**Response: The applicant understands that Conditional Use approval is valid for two years after the date of final approval. And, that the Conditional Use approval shall become void after two years unless prior to the two-year expiration, that a building permit has been issued for the proposed project and substantial construction has occurred.**

(G) Special Conditions.

(1) The permit granted pursuant to the provisions of this section shall run with the land and shall continue to be valid upon a change of ownership of the site or structure unless otherwise specified in conditions attached to the permit.

**Response: The applicant understands that Conditional Use approval, once obtained follows the land and will continue in perpetuity unless any condition of approval states otherwise.**

(2) The applicant shall file a copy of the approved conditional use permit with the Washington County Department of Records and Elections. Building permits shall not be issued until the applicant has provided evidence satisfactory to the city of compliance. [Ord. 640 § 1, 1985; Ord. 810, 2000; Code 2000 § 11.30.33; Ord. 841 Exh. 2, 2003; Ord. 2020-05 § 1 (Exh. A), 2020.]

**Response: The applicant will file a copy of the conditional use approval with the Washington County Department of Records and Elections, if necessary for the request Conditional Use approval requested, which is to exceed the maximum building permit height for the C-2 zone.**

## Written Narrative Requirements (cont.)

### D: Hours of Operation/ Employees

The Proposed Facility hours of operation are as follows:

Monday -	8 am – 10 pm
Tuesday –	8 am – 10 pm
Wednesday -	8 am – 10 pm
Thursday –	8 am – 10 pm
Friday -	8 am – 10 pm
Saturday -	8 am – 10 pm
Sunday -	8 am – 10 pm

There will be a total of 6 employees, with a Maximum of 4 employees per shift.



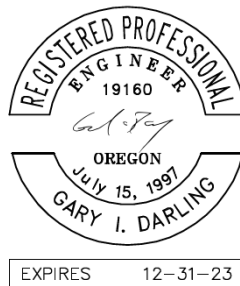
**Drainage Narrative**  
**Baseline Street Indoor Basketball Courts**  
**Tax Map 1S304BB00200, TL 100 and TL 200**  
**271 Baseline Street**  
**Cornelius, OR 97133**

Prepared for:

**Samedy Kem**  
**20449 SW TV Highway # 300**  
**Aloha, OR 97113**

Prepared By:

**Gary I. Darling, PE**  
**DL Design Group, Inc.**  
**500 West 8<sup>th</sup> Street, Suite 205**  
**Vancouver, WA 98660**



*July 7, 2022*

*Case No: SAM060*

# TABLE OF CONTENTS

Project Overview .....	3
Water Quality Calculations .....	4

## List of Figures

Figure 1: Vicinity map .....	3
Figure 2: Existing conditions.....	5
Figure 3: Drainage plan.....	6
Figure 4: NRCS soil map and results.....	7
Figure 5: Soil Description .....	8-9
Figure 6: Existing 2 Year Storm .....	10
Figure 7: Existing 10 Year Storm .....	11
Figure 8: Existing 25 Year Storm .....	12
Figure 9: Developed 2 Year Storm .....	13
Figure 10: Developed 10 Year Storm .....	14
Figure 11: Developed 25 Year Storm .....	15
Figure 12: Storage Structure.....	16
Figure 13: Orifices .....	16
Figure 14: Level Pool Routing Table.....	17

F

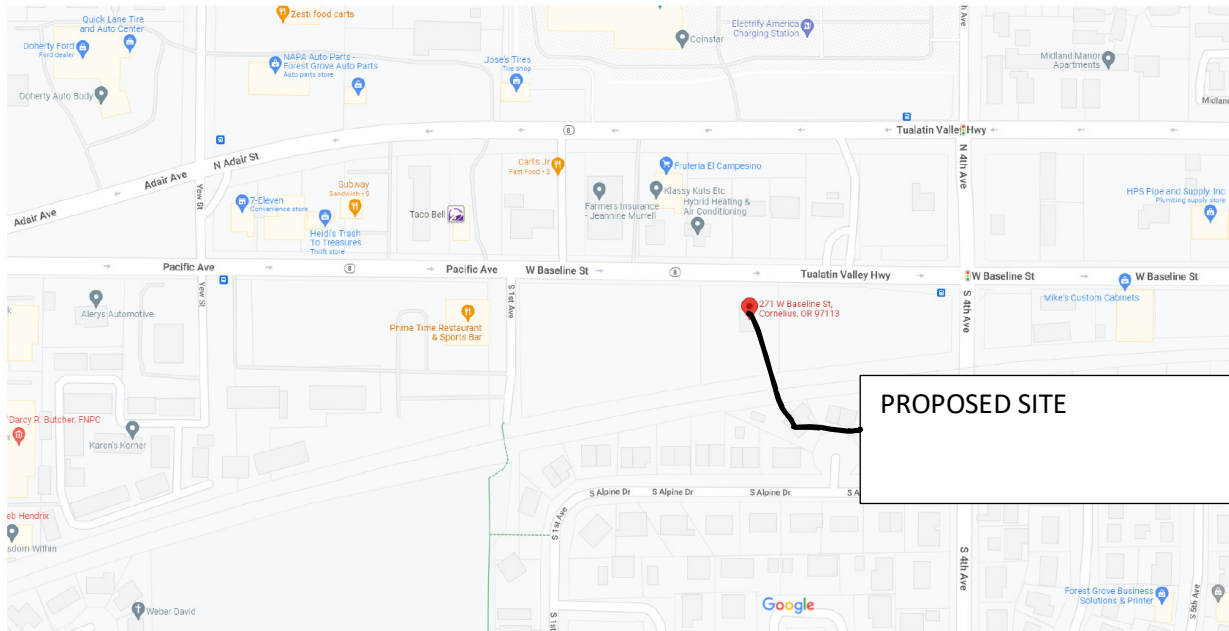


Figure 1: Vicinity map.

## Project Overview

The proposed project will be an indoor basketball facility including parking and landscaping. The site is in the NW ¼ of the NW ¼ of Section 4, T1S, R3W, Willamette Meridian, Washington County and includes tax lots 100 and 200

## EXISTING CONDITIONS

The project site is 92,900 SF in size and is covered with vegetation, an existing house, and a gravel driveway.

The site's topography is fairly flat. The site is roughly at elevation 173. It is highest near Baseline and the lowest point of 170,00 is in the SW corner of the lot. There is an existing storm drain that daylights near the south property line about 175 feet west of 4<sup>th</sup> Street.

The native soil is predominately Woodburn silt loam (Figure 5). Willamette silt loam belongs to Hydraulic Soil Group C (Figure 6). According to the National Resources Conservation Service, this soil is moderately well drained. The CN was determined to be 79 for the pervious soils.

## PROPOSED DRAINAGE IMPROVEMENTS

The proposed indoor basketball facility and associated parking lot will drain to a series of catch basins and rain drains which will connect to a detention system on the north side of the building. Downstream of the detention system there will be a one cartridge and 4 cartridge stormfilter catch basin which will treat the runoff. From that point the storm sewer will head to the east and then turn south and connect to the existing storm system that daylights on the south side of the lot.

The detention system will consist of 35 - Oldcastle 8x16x2 foot high stormcapture detention vaults. A flow control structure with 3 orifices will control the flow to limit runoff to the preexisting 25, 10, and 2 year storm events.

## WATER QUALITY CALCULATIONS

### PROPOSED SITE WORK

Pervious to Impervious – New Impervious 79,930 SF  
Impervious to Pervious – Modification/Perm. Removed = 0

### SITE WORK BREAKDOWN

Total New Impervious = 79,930 SF  
Total Modified Impervious = 0  
Total Permanently Removed = 0

### EQUATION

Treatment = New Impervious + 3 \* (Modified Impervious – Permanently Removed Impervious)

Treatment = 3 \* (79,930)

**Total Required Treatment Area = 79,930 SF**

### **Treatment Areas:**

New Building, Parking Lot, Sidewalk 79,930

**Total Area 79.930 SF**

The new parking lot and building (79,930 SF) will be treated with a Stormfilter 4 and 1 cartridge catch basins.

A one and 4 cartridge Stormfilter catch basin will be used to treat the runoff for the roof and parking lot.

Water Quality Flow = 0.36 inch/4 hours x Imp. Area = .09 x 1.83 = 0.165 cfs

$$\text{Water Quality Flow (cfs)} = \frac{0.36 \text{ (in.)} \times \text{Area (sq.ft.)}}{12 \text{ (in/ft)}(4 \text{ hr})(60 \text{ min/hr})(60 \text{ sec/min})}$$

$$.36 \times 79,930 / (12 \times 4 \times 60 \times 60) = \mathbf{0.165 \text{ CFS}}$$

Number of Cartridges = Water Quality Flow (cfs) x (449 gpm/cfs / 15 gpm/cartridge)

$$.048 \times (449/15) = \mathbf{4.94 \text{ cartridges} = 5 \text{ cartridges.}}$$

**Capacity of 5 Cartridge = 0.165 CFS.**

### Storm Filter Catch Basin - Peak Flow Capacity

The peak runoff of the site will be generated from roof runoff, sidewalk runoff, and overflow from the pervious pavement, grasscrete, and landscape areas. The peak runoff for a 25-year storm event is **1.79 CFS**. See Table 7 Below.

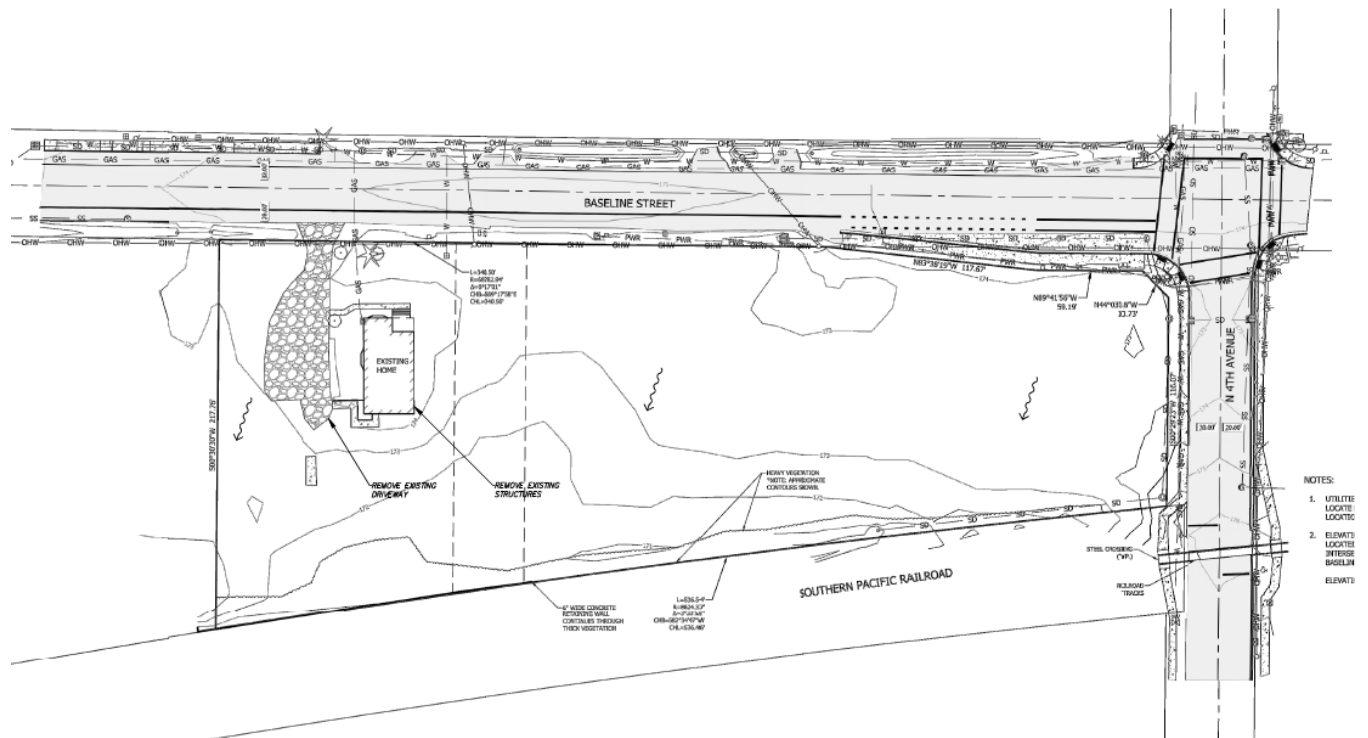


Figure 2: Existing Conditions map.



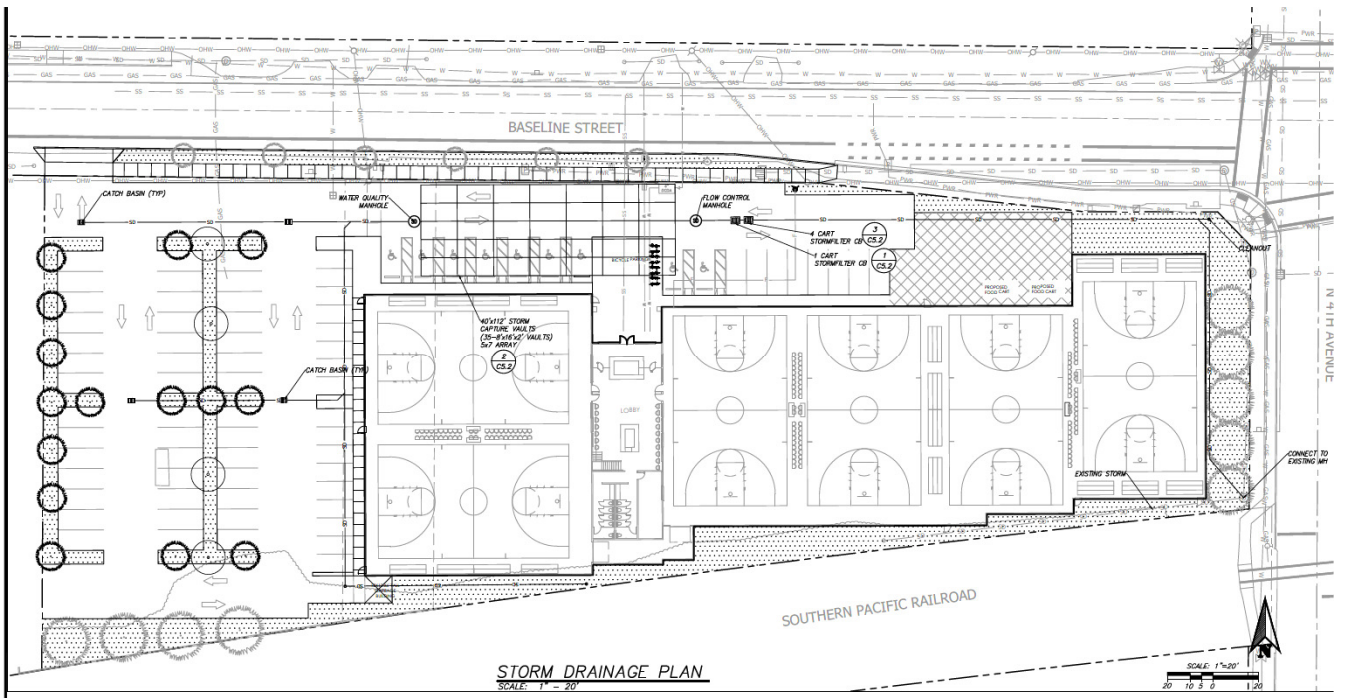


Figure 3: Drainage Plan

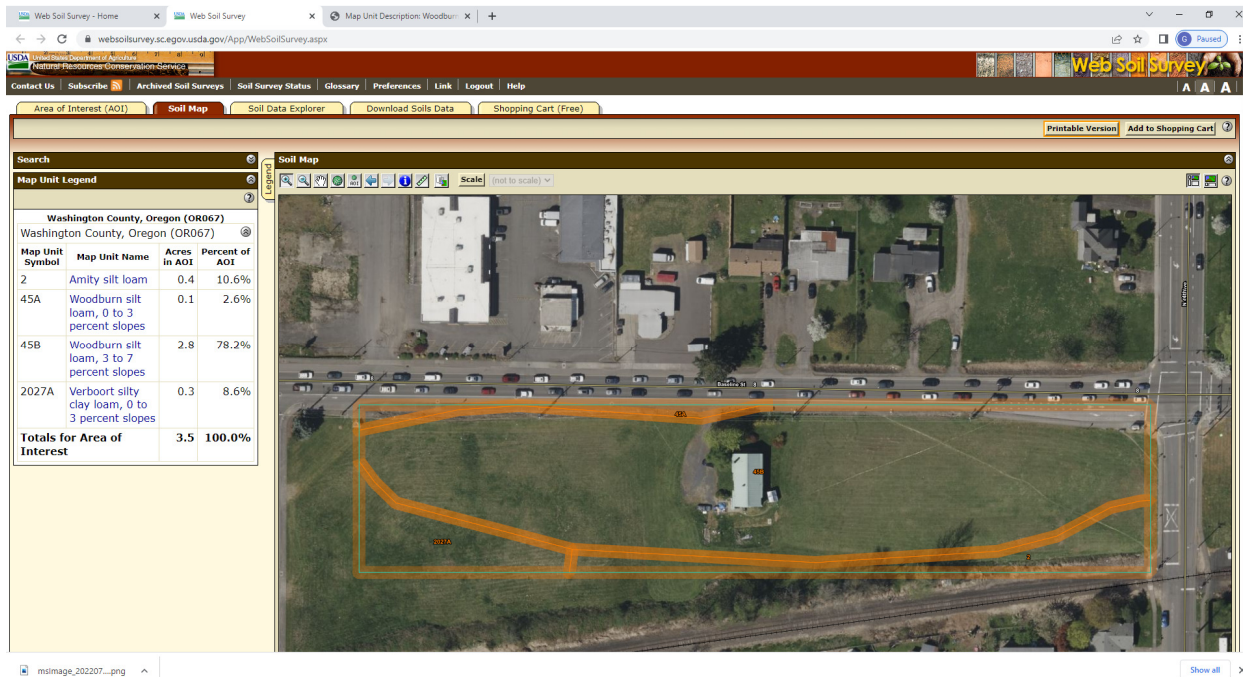


Figure 4: Soil Map

## Washington County, Oregon

### 45B—Woodburn silt loam, 3 to 7 percent slopes

#### Map Unit Setting

*National map unit symbol:* 2209  
*Elevation:* 150 to 400 feet  
*Mean annual precipitation:* 40 to 50 inches  
*Mean annual air temperature:* 50 to 54 degrees F  
*Frost-free period:* 165 to 210 days  
*Farmland classification:* All areas are prime farmland

#### Map Unit Composition

*Woodburn and similar soils:* 85 percent  
*Minor components:* 1 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Woodburn

##### Setting

*Landform:* Terraces  
*Landform position (three-dimensional):* Tread  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Old alluvium

##### Typical profile

*H1 - 0 to 16 inches:* silt loam  
*H2 - 16 to 31 inches:* silty clay loam  
*H3 - 31 to 60 inches:* silt loam

##### Properties and qualities

*Slope:* 3 to 7 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Moderately well drained  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately low to moderately high (0.06 to 0.20 in/hr)  
*Depth to water table:* About 25 to 32 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* High (about 12.0 inches)

##### Interpretive groups

*Land capability classification (irrigated):* 2e  
*Land capability classification (nonirrigated):* 2e  
*Hydrologic Soil Group:* C  
*Ecological site:* R002XC008OR - Valley Terrace Group  
*Forage suitability group:* Moderately Well Drained < 15% Slopes (G002XY004OR)  
*Other vegetative classification:* Moderately Well Drained < 15% Slopes (G002XY004OR)

*Hydric soil rating:* No

**Minor Components**

**Dayton**

*Percent of map unit:* 1 percent

*Landform:* Terraces

*Landform position (three-dimensional):* Tread

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Other vegetative classification:* Poorly Drained (G002XY006OR)

*Hydric soil rating:* Yes

**Data Source Information**

Soil Survey Area: Washington County, Oregon

Survey Area Data: Version 21, Oct 27, 2021

*Figure 5: Soil Description*

=====

DETAIL BASIN SUMMARY

```

BASIN ID: sam60x2          NAME: EXISTING 2 YEAR
SCS METHODOLOGY
TOTAL AREA.....: 2.13 Acres    BASEFLOWS: 0.00 cfs
RAINFALL TYPE....: TYPE1A      PERV          IMP
PRECIPITATION....: 2.50 inches  AREA...: 2.02 Acres    0.11 Acres
TIME INTERVAL....: 10.00 min    CN.....: 79.00      98.00
                                     TC....: 10.00 min    6.00 min

ABSTRACTION COEFF: 0.20
PEAK RATE: 0.33 cfs VOL: 0.16 Ac-ft TIME: 500 min
    
```

TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN
(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF
	(cfs)		(cfs)		(cfs)		(cfs)		(cfs)		(cfs)
10		310	0.0097	610	0.1329	910	0.0997	1210	0.0822	1510	
20		320	0.0097	620	0.1318	920	0.0990	1220	0.0823	1520	
30		330	0.0097	630	0.1318	930	0.0990	1230	0.0823	1530	
40		340	0.0110	640	0.1234	940	0.1001	1240	0.0828	1540	
50		350	0.0110	650	0.1220	950	0.1004	1250	0.0829	1550	
60		360	0.0110	660	0.1219	960	0.1003	1260	0.0829	1560	
70	0.0002	370	0.0122	670	0.1165	970	0.0961	1270	0.0834	1570	
80	0.0002	380	0.0122	680	0.1156	980	0.0953	1280	0.0835	1580	
90	0.0002	390	0.0123	690	0.1155	990	0.0953	1290	0.0835	1590	
100	0.0019	400	0.0176	700	0.1138	1000	0.0962	1300	0.0840	1600	
110	0.0019	410	0.0183	710	0.1135	1010	0.0964	1310	0.0841	1610	
120	0.0019	420	0.0185	720	0.1135	1020	0.0964	1320	0.0841	1620	
130	0.0035	430	0.0379	730	0.1113	1030	0.0974	1330	0.0846	1630	
140	0.0035	440	0.0414	740	0.1109	1040	0.0975	1340	0.0847	1640	
150	0.0036	450	0.0416	750	0.1109	1050	0.0975	1350	0.0846	1650	
160	0.0049	460	0.0706	760	0.1082	1060	0.0929	1360	0.0792	1660	
170	0.0049	470	0.0759	770	0.1078	1070	0.0920	1370	0.0781	1670	
180	0.0049	480	0.0780	780	0.1077	1080	0.0920	1380	0.0781	1680	
190	0.0057	490	0.2941	790	0.1047	1090	0.0928	1390	0.0785	1690	
200	0.0058	500	0.3323	800	0.1042	1100	0.0929	1400	0.0786	1700	
210	0.0058	510	0.3313	810	0.1042	1110	0.0929	1410	0.0786	1710	
220	0.0063	520	0.2287	820	0.1058	1120	0.0880	1420	0.0789	1720	
230	0.0063	530	0.2129	830	0.1062	1130	0.0871	1430	0.0790	1730	
240	0.0063	540	0.2126	840	0.1061	1140	0.0871	1440	0.0784	1740	
250	0.0072	550	0.1790	850	0.1026	1150	0.0877	1450	0.0127	1750	
260	0.0072	560	0.1734	860	0.1020	1160	0.0878	1460		1760	
270	0.0072	570	0.1731	870	0.1020	1170	0.0878	1470		1770	
280	0.0084	580	0.1444	880	0.1034	1180	0.0827	1480		1780	
290	0.0085	590	0.1394	890	0.1037	1190	0.0817	1490		1790	
300	0.0085	600	0.1393	900	0.1036	1200	0.0817	1500		1800	

Figure 6: 2 Year Existing Storm

DETAIL BASIN SUMMARY

BASIN ID: sam60x10 NAME: EXISTING 10 YEAR  
 SCS METHODOLOGY  
 TOTAL AREA.....: 2.13 Acres BASEFLOWS: 0.00 cfs  
 RAINFALL TYPE....: TYPE1A PERV IMP  
 PRECIPITATION....: 3.50 inches AREA...: 2.02 Acres 0.11 Acre  
 TIME INTERVAL....: 10.00 min CN....: 79.00 98.00  
 TC....: 10.00 min 6.00 min  
 ABSTRACTION COEFF: 0.20  
 PEAK RATE: 0.72 cfs VOL: 0.28 Ac-ft TIME: 500 min

TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN
(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF
(min)	(cfs)	(min)	(cfs)	(min)	(cfs)	(min)	(cfs)	(min)	(cfs)	(min)	(cfs)
10		310	0.0148	610	0.2422	910	0.1686	1210	0.1345	1510	
20		320	0.0148	620	0.2395	920	0.1672	1220	0.1346	1520	
30		330	0.0150	630	0.2393	930	0.1672	1230	0.1346	1530	
40		340	0.0268	640	0.2220	940	0.1685	1240	0.1352	1540	
50		350	0.0290	650	0.2188	950	0.1688	1250	0.1353	1550	
60		360	0.0292	660	0.2187	960	0.1687	1260	0.1353	1560	
70	0.0012	370	0.0480	670	0.2074	970	0.1611	1270	0.1358	1570	
80	0.0012	380	0.0517	680	0.2052	980	0.1596	1280	0.1359	1580	
90	0.0012	390	0.0519	690	0.2052	990	0.1596	1290	0.1360	1590	
100	0.0042	400	0.0787	700	0.2007	1000	0.1607	1300	0.1365	1600	
110	0.0043	410	0.0838	710	0.1998	1010	0.1609	1310	0.1366	1610	
120	0.0043	420	0.0842	720	0.1998	1020	0.1609	1320	0.1366	1620	
130	0.0066	430	0.1241	730	0.1947	1030	0.1620	1330	0.1371	1630	
140	0.0066	440	0.1317	740	0.1937	1040	0.1622	1340	0.1372	1640	
150	0.0066	450	0.1322	750	0.1937	1050	0.1621	1350	0.1371	1650	
160	0.0084	460	0.1865	760	0.1880	1060	0.1540	1360	0.1281	1660	
170	0.0085	470	0.1969	770	0.1869	1070	0.1525	1370	0.1263	1670	
180	0.0085	480	0.2011	780	0.1869	1080	0.1525	1380	0.1263	1680	
190	0.0094	490	0.6349	790	0.1808	1090	0.1533	1390	0.1267	1690	
200	0.0094	500	0.7159	800	0.1796	1100	0.1535	1400	0.1268	1700	
210	0.0094	510	0.7136	810	0.1796	1110	0.1534	1410	0.1268	1710	
220	0.0100	520	0.4608	820	0.1816	1120	0.1451	1420	0.1272	1720	
230	0.0100	530	0.4160	830	0.1820	1130	0.1435	1430	0.1273	1730	
240	0.0100	540	0.4153	840	0.1819	1140	0.1435	1440	0.1263	1740	
250	0.0111	550	0.3405	850	0.1752	1150	0.1442	1450	0.0207	1750	
260	0.0111	560	0.3268	860	0.1739	1160	0.1443	1460		1760	
270	0.0111	570	0.3263	870	0.1739	1170	0.1442	1470		1770	
280	0.0128	580	0.2680	880	0.1755	1180	0.1356	1480		1780	
290	0.0128	590	0.2571	890	0.1758	1190	0.1339	1490		1790	
300	0.0128	600	0.2570	900	0.1758	1200	0.1339	1500		1800	

Figure 7: 10 year Existing Storm

DETAIL BASIN SUMMARY

```

BASIN ID: sam60x25           NAME: EXISTING 25 YEAR
SCS METHODOLOGY
TOTAL AREA.....:    2.13 Acres      BASEFLOWS:    0.00 cfs
RAINFALL TYPE....:    TYPE1A           PERV              IMP
PRECIPITATION....:    4.00 inches     AREA...:    2.02 Acres    0.11 Acres
TIME INTERVAL....:    10.00 min       CN....:    79.00        98.00
                                  TC....:    10.00 min    6.00 min

ABSTRACTION COEFF:    0.20
PEAK RATE:    0.93 cfs  VOL:    0.35 Ac-ft  TIME:    500 min
    
```

TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN
(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF	(min)	RUNOFF
	(cfs)		(cfs)		(cfs)		(cfs)		(cfs)		(cfs)
10		310	0.0271	610	0.3000	910	0.2040	1210	0.1611	1510	
20		320	0.0292	620	0.2963	920	0.2023	1220	0.1612	1520	
30		330	0.0294	630	0.2961	930	0.2023	1230	0.1612	1530	
40		340	0.0502	640	0.2740	940	0.2036	1240	0.1618	1540	
50		350	0.0543	650	0.2698	950	0.2039	1250	0.1619	1550	
60		360	0.0545	660	0.2697	960	0.2038	1260	0.1619	1560	
70	0.0019	370	0.0782	670	0.2550	970	0.1944	1270	0.1624	1570	
80	0.0019	380	0.0828	680	0.2523	980	0.1926	1280	0.1626	1580	
90	0.0020	390	0.0832	690	0.2522	990	0.1926	1290	0.1626	1590	
100	0.0056	400	0.1175	700	0.2461	1000	0.1937	1300	0.1631	1600	
110	0.0056	410	0.1240	710	0.2449	1010	0.1940	1310	0.1632	1610	
120	0.0056	420	0.1245	720	0.2449	1020	0.1940	1320	0.1632	1620	
130	0.0082	430	0.1754	730	0.2381	1030	0.1950	1330	0.1637	1630	
140	0.0082	440	0.1851	740	0.2369	1040	0.1953	1340	0.1638	1640	
150	0.0083	450	0.1858	750	0.2368	1050	0.1952	1350	0.1637	1650	
160	0.0102	460	0.2537	760	0.2295	1060	0.1853	1360	0.1529	1660	
170	0.0103	470	0.2668	770	0.2281	1070	0.1834	1370	0.1507	1670	
180	0.0103	480	0.2721	780	0.2280	1080	0.1834	1380	0.1507	1680	
190	0.0112	490	0.8250	790	0.2202	1090	0.1843	1390	0.1512	1690	
200	0.0112	500	0.9296	800	0.2187	1100	0.1845	1400	0.1512	1700	
210	0.0112	510	0.9264	810	0.2187	1110	0.1844	1410	0.1512	1710	
220	0.0118	520	0.5876	820	0.2207	1120	0.1742	1420	0.1517	1720	
230	0.0118	530	0.5260	830	0.2212	1130	0.1722	1430	0.1517	1730	
240	0.0119	540	0.5250	840	0.2211	1140	0.1722	1440	0.1505	1740	
250	0.0130	550	0.4272	850	0.2126	1150	0.1729	1450	0.0247	1750	
260	0.0131	560	0.4090	860	0.2110	1160	0.1731	1460		1760	
270	0.0131	570	0.4083	870	0.2110	1170	0.1730	1470		1770	
280	0.0151	580	0.3337	880	0.2127	1180	0.1625	1480		1780	
290	0.0151	590	0.3197	890	0.2130	1190	0.1605	1490		1790	
300	0.0152	600	0.3195	900	0.2130	1200	0.1605	1500		1800	

Figure 8: 25 Year Existing Storm

DETAIL BASIN SUMMARY

BASIN ID: sam60D2                      NAME: DEV 2 YEAR  
 SCS METHODOLOGY  
 TOTAL AREA.....:   2.13 Acres         BASEFLOWS:   0.00 cfs  
 RAINFALL TYPE....:   TYPE1A                 PERV             IMP  
 PRECIPITATION....:   2.50 inches         AREA...:    0.24 Acres     1.89 Acres  
 TIME INTERVAL....:   10.00 min         CN.....:   79.00             98.00  
   TC.....:   5.00 min         5.00 min  
 ABSTRACTION COEFF:   0.20  
 PEAK RATE:     1.07 cfs   VOL:     0.36 Ac-ft   TIME:     490 min

TIME (min)	DESIGN RUNOFF (cfs)	TIME (min)	DESIGN RUNOFF (cfs)	TIME (min)	DESIGN RUNOFF (cfs)	TIME (min)	DESIGN RUNOFF (cfs)	TIME (min)	DESIGN RUNOFF (cfs)	TIME (min)	DESIGN RUNOFF (cfs)
10		310	0.1670	610	0.2624	910	0.1590	1210	0.1205	1510	
20		320	0.1670	620	0.2624	920	0.1590	1220	0.1205	1520	
30		330	0.1672	630	0.2622	930	0.1590	1230	0.1205	1530	
40		340	0.1887	640	0.2341	940	0.1592	1240	0.1206	1540	
50		350	0.1887	650	0.2341	950	0.1592	1250	0.1206	1550	
60		360	0.1889	660	0.2339	960	0.1592	1260	0.1206	1560	
70	0.0035	370	0.2103	670	0.2152	970	0.1495	1270	0.1207	1570	
80	0.0035	380	0.2103	680	0.2152	980	0.1495	1280	0.1207	1580	
90	0.0037	390	0.2106	690	0.2152	990	0.1495	1290	0.1207	1590	
100	0.0323	400	0.2493	700	0.2060	1000	0.1497	1300	0.1208	1600	
110	0.0323	410	0.2493	710	0.2060	1010	0.1497	1310	0.1208	1610	
120	0.0325	420	0.2498	720	0.2059	1020	0.1497	1320	0.1208	1620	
130	0.0610	430	0.3084	730	0.1967	1030	0.1498	1330	0.1209	1630	
140	0.0610	440	0.3084	740	0.1967	1040	0.1498	1340	0.1209	1640	
150	0.0612	450	0.3090	750	0.1966	1050	0.1497	1350	0.1208	1650	
160	0.0849	460	0.3786	760	0.1872	1060	0.1400	1360	0.1109	1660	
170	0.0849	470	0.3786	770	0.1872	1070	0.1400	1370	0.1109	1670	
180	0.0850	480	0.3841	780	0.1872	1080	0.1400	1380	0.1109	1680	
190	0.0989	490	1.0696	790	0.1777	1090	0.1401	1390	0.1109	1690	
200	0.0989	500	1.0696	800	0.1777	1100	0.1401	1400	0.1109	1700	
210	0.0990	510	1.0653	810	0.1777	1110	0.1400	1410	0.1109	1710	
220	0.1088	520	0.5237	820	0.1781	1120	0.1302	1420	0.1110	1720	
230	0.1088	530	0.5237	830	0.1781	1130	0.1302	1430	0.1110	1730	
240	0.1089	540	0.5226	840	0.1780	1140	0.1302	1440	0.1101	1740	
250	0.1235	550	0.3846	850	0.1684	1150	0.1304	1450		1750	
260	0.1235	560	0.3846	860	0.1684	1160	0.1304	1460		1760	
270	0.1237	570	0.3839	870	0.1684	1170	0.1303	1470		1770	
280	0.1452	580	0.2902	880	0.1687	1180	0.1204	1480		1780	
290	0.1452	590	0.2902	890	0.1687	1190	0.1204	1490		1790	
300	0.1454	600	0.2900	900	0.1686	1200	0.1204	1500		1800	

Figure 9: 2 year Developed Storm



DETAIL BASIN SUMMARY

BASIN ID: sam60D10 NAME: DEV 10 YEAR  
 SCS METHODOLOGY  
 TOTAL AREA.....: 2.13 Acres BASEFLOWS: 0.00 cfs  
 RAINFALL TYPE....: TYPE1A PERV IMP  
 PRECIPITATION....: 3.50 inches AREA...: 0.24 Acres 1.89 Acres  
 TIME INTERVAL....: 10.00 min CN....: 79.00 98.00  
 TC....: 5.00 min 5.00 min  
 ABSTRACTION COEFF: 0.20  
 PEAK RATE: 1.55 cfs VOL: 0.53 Ac-ft TIME: 490 min

TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN	TIME	DESIGN
(min)	(cfs)	(min)	(cfs)	(min)	(cfs)	(min)	(cfs)	(min)	(cfs)	(min)	(cfs)
10		310	0.2498	610	0.3766	910	0.2270	1210	0.1715	1510	
20		320	0.2498	620	0.3766	920	0.2270	1220	0.1715	1520	
30		330	0.2500	630	0.3762	930	0.2270	1230	0.1715	1530	
40		340	0.2805	640	0.3357	940	0.2272	1240	0.1716	1540	
50		350	0.2805	650	0.3357	950	0.2272	1250	0.1716	1550	
60	0.0002	360	0.2807	660	0.3354	960	0.2271	1260	0.1716	1560	
70	0.0204	370	0.3119	670	0.3084	970	0.2132	1270	0.1717	1570	
80	0.0204	380	0.3119	680	0.3084	980	0.2132	1280	0.1717	1580	
90	0.0208	390	0.3123	690	0.3083	990	0.2132	1290	0.1717	1590	
100	0.0735	400	0.3690	700	0.2950	1000	0.2134	1300	0.1718	1600	
110	0.0735	410	0.3690	710	0.2950	1010	0.2134	1310	0.1718	1610	
120	0.0738	420	0.3697	720	0.2949	1020	0.2134	1320	0.1718	1620	
130	0.1137	430	0.4535	730	0.2815	1030	0.2136	1330	0.1719	1630	
140	0.1137	440	0.4535	740	0.2815	1040	0.2136	1340	0.1719	1640	
150	0.1140	450	0.4543	750	0.2813	1050	0.2135	1350	0.1718	1650	
160	0.1454	460	0.5533	760	0.2678	1060	0.1995	1360	0.1577	1660	
170	0.1454	470	0.5533	770	0.2678	1070	0.1995	1370	0.1577	1670	
180	0.1455	480	0.5613	780	0.2677	1080	0.1995	1380	0.1577	1680	
190	0.1613	490	1.5512	790	0.2541	1090	0.1996	1390	0.1577	1690	
200	0.1613	500	1.5512	800	0.2541	1100	0.1996	1400	0.1577	1700	
210	0.1613	510	1.5449	810	0.2541	1110	0.1995	1410	0.1577	1710	
220	0.1719	520	0.7553	820	0.2544	1120	0.1855	1420	0.1578	1720	
230	0.1719	530	0.7553	830	0.2544	1130	0.1855	1430	0.1578	1730	
240	0.1720	540	0.7537	840	0.2543	1140	0.1855	1440	0.1565	1740	
250	0.1908	550	0.5534	850	0.2406	1150	0.1856	1450		1750	
260	0.1908	560	0.5534	860	0.2406	1160	0.1856	1460		1760	
270	0.1910	570	0.5523	870	0.2406	1170	0.1855	1470		1770	
280	0.2203	580	0.4170	880	0.2409	1180	0.1715	1480		1780	
290	0.2203	590	0.4170	890	0.2409	1190	0.1715	1490		1790	
300	0.2205	600	0.4167	900	0.2408	1200	0.1715	1500		1800	

Figure 10: 10 year Developed Storm



STAGE STORAGE TABLE

RECTANGULAR VAULT ID No. STORMC  
 Description: STORMCAPTURE  
 Length: 105.00 ft. Width: 35.00 ft. voids: 1.000

STAGE <---STORAGE---	STAGE <---STORAGE---	STAGE <---STORAGE---	STAGE <---STORAGE---
(ft) ---cf--- --Ac-Ft-	(ft) ---cf--- --Ac-Ft-	(ft) ---cf--- --Ac-Ft-	(ft) ---cf--- --Ac-Ft-
171.50 0.0000 0.0000	172.10 2205 0.0506	172.70 4410 0.1012	173.30 6615 0.1519
171.60 367.50 0.0084	172.20 2573 0.0591	172.80 4778 0.1097	173.40 6983 0.1603
171.70 735.00 0.0169	172.30 2940 0.0675	172.90 5145 0.1181	173.50 7350 0.1687
171.80 1103 0.0253	172.40 3308 0.0759	173.00 5513 0.1265	
171.90 1470 0.0337	172.50 3675 0.0844	173.10 5880 0.1350	
172.00 1838 0.0422	172.60 4043 0.0928	173.20 6248 0.1434	

Figure 12: Storage - Vaults

STAGE DISCHARGE TABLE

MULTIPLE ORIFICE ID No. ORIFICE  
 Description: ORIFICE  
 Outlet Elev: 171.00  
 Elev: 171.00 ft Orifice Diameter: 2.2000 in.  
 Elev: 172.00 ft Orifice 2 Diameter: 3.0000 in.  
 Elev: 172.65 ft Orifice 3 Diameter: 2.0000 in.

STAGE <---DISCHARGE---	STAGE <---DISCHARGE---	STAGE <---DISCHARGE---	STAGE <---DISCHARGE---
(ft) ---cfs--	(ft) ---cfs--	(ft) ---cfs--	(ft) ---cfs--
171.00 0.0000	171.00 0.0000	171.00 0.0000	171.00 0.0000

Figure 13: Orifices

## LEVEL POOL TABLE SUMMARY

<-----DESCRIPTION----->	MATCH	INFLOW	-STO-	-DIS-	<-PEAK->	OUTFLOW STORAGE		
	(cfs)	(cfs)	--id-	--id-	<-STAGE>	id	(cfs)	VOL (cf)
25 YEAR .....	0.93	1.79	STORMC	ORIFICE	173.32	1	0.57	6693.93 cf
10 YEAR .....	0.72	1.55	STORMC	ORIFICE	173.04	1	0.50	5667.39 cf
2 YEAR .....	0.33	1.07	STORMC	ORIFICE	172.50	1	0.33	3666.28 cf

*Figure 14: Level Pool Routing*

# SENSITIVE AREA PRE-SCREENING SITE ASSESSMENT

Clean Water Services File Number

1. **Jurisdiction:** \_\_\_\_\_

2. **Property Information** (example: 1S234AB01400)

Tax lot ID(s): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**OR Site Address:** \_\_\_\_\_

City, State, Zip: \_\_\_\_\_  
 Nearest cross street: \_\_\_\_\_

3. **Owner Information**

Name: \_\_\_\_\_  
 Company: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone/fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

4. **Development Activity** (check **all** that apply)

- Addition to single family residence (rooms, deck, garage)
- Lot line adjustment       Minor land partition
- Residential condominium    Commercial condominium
- Residential subdivision      Commercial subdivision
- Single lot commercial        Multi lot commercial
- Other \_\_\_\_\_

4. **Applicant Information**

Name: \_\_\_\_\_  
 Company: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone/fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

6. **Will the project involve any off-site work?**  Yes  No  Unknown

Location and description of off-site work: \_\_\_\_\_

7. **Additional comments or information that may be needed to understand your project:** \_\_\_\_\_

**This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.**

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/type name \_\_\_\_\_

Print/type title \_\_\_\_\_

Signature ONLINE SUBMITTAL \_\_\_\_\_

Date \_\_\_\_\_

## FOR DISTRICT USE ONLY

- Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.
- Based on review of the submitted materials and best available information sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, State and federal law.
- Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, state and federal law.
- THIS SERVICE PROVIDER LETTER IS NOT VALID UNLESS \_\_\_\_\_ CWS APPROVED SITE PLAN(S) ARE ATTACHED.**
- The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). **NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.**

Reviewed by Mila Gonzalez Lima \_\_\_\_\_

Date \_\_\_\_\_

Once complete, email to: [SPLReview@cleanwaterservices.org](mailto:SPLReview@cleanwaterservices.org) • Fax: (503) 681-4439

OR mail to: SPL Review, Clean Water Services, 2550 SW Hillsboro Highway, Hillsboro, Oregon 97123



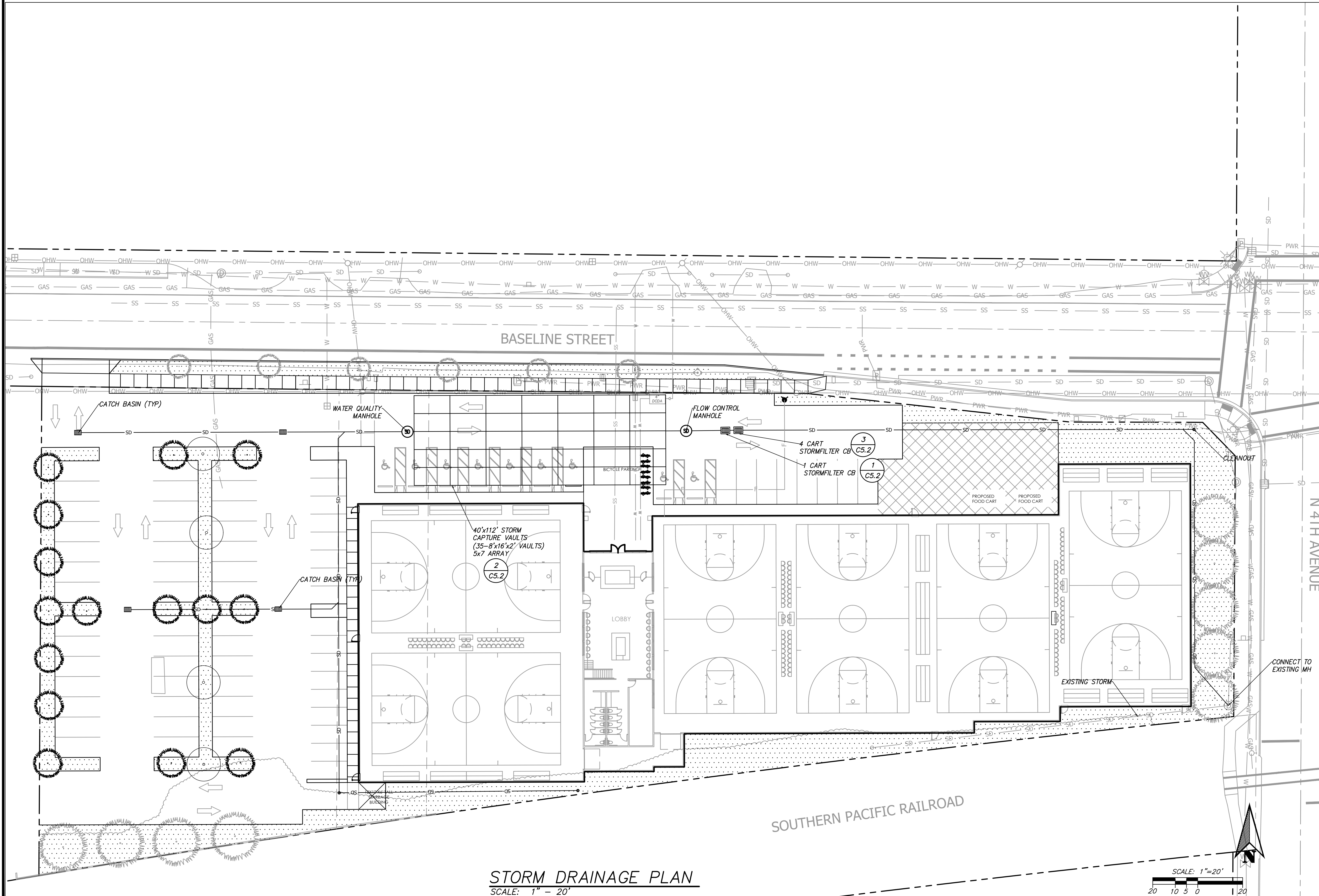
DL CONSULTING WA INC.

500 West 8th Street  
Suite 45  
Vancouver, WA 98660  
(360) 567-6466

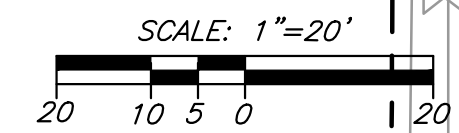


EXPIRES 12-31-23

BASELINE BASKETBALL FACILITY  
CORNELIUS, OR  
STORM DRAINAGE PLAN



STORM DRAINAGE PLAN  
SCALE: 1" = 20'



REV.	DATE	BY

PROJECT NUMBER	SAM060
Date:	07/08/2022
Scale:	AS SHOWN
Drawn By:	JEM
Designed By:	GID
Checked By:	GID

C5.1



# Oregon

Kate Brown, Governor

## Department of Transportation

Region 1 Headquarters  
123 NW Flanders Street  
Portland, Oregon 97209  
(503) 731.8200  
FAX (503) 731.8259

5/13/22

ODOT #12486

## ODOT Response

<b>Project Name:</b> Sport Court- Baseline Basketball Facility	<b>Applicant:</b> Samed Kem
<b>Jurisdiction:</b> City of Cornelius	<b>State Highway:</b> Baseline St (OR 8)
<b>Site Address:</b> 271 W Baseline St, Cornelius, OR	

The site of this proposed land use action is adjacent to Baseline St (OR 8). ODOT has permitting authority for this facility and an interest in ensuring that this proposed land use is compatible with its safe and efficient operation. **Please direct the applicant to the District Contact indicated below to determine permit requirements and obtain application information.**

### COMMENTS/FINDINGS

The applicant proposes to develop basketball courts on tax lots 100 and 200. ODOT had the opportunity to participate in the pre-application conference and recommended for moving the access location to the western property line to maximize safety and operation. We have received an updated site plan showing the access at the western property line. ODOT appreciates the applicant's efforts to address ODOT concerns.

The city plan calls for a planter strip with trees between the highway and the sidewalk along the property frontage. As discussed, the traffic speed transitions in this area and ODOT Region 1 Roadway has indicated that they would not approve a design exception from the clear zone for a posted speed over 35mph. Because a section of the frontage is under 35mph, we requested an opinion from Roadway. Roadway has determined that they would not approve trees within a planter strip across the property frontage for the following reasons:

1. Clear zone requirement 14 to 16ft
2. Introducing objects that don't conform to the rest of the corridor
3. Speed, traffic volumes and terrain

Trees will be allowed behind the sidewalk. Plantings up to two feet may be allowed between the roadway and the sidewalk.

All alterations within the State highway right of way are subject to the ODOT Highway Design Manual (HDM) standards. Alterations along the State highway but outside of ODOT right-of-way may also be subject to ODOT review pending its potential impact to safe operation of the highway. If proposed alterations deviate from ODOT standards a Design Exception Request must be prepared by a licensed engineer for review by ODOT Technical Services. Preparation of a Design Exception request does not guarantee its ultimate approval. Until more detailed plans have been reviewed, ODOT cannot make a determination whether design elements will require a Design Exception.

Note: Design Exception Requests may take up to 3 months to process.

All ODOT permits and approvals must reach 100% plans before the District Contact will sign-off on a local jurisdiction building permit, or other necessary requirement prior to construction.

## **ODOT RECOMMENDED LOCAL CONDITIONS OF APPROVAL**

### Frontage Improvements and Right of Way

- Curb and sidewalk shall be constructed as necessary to be consistent with local, ODOT and ADA standards.
- Right of way donated to ODOT as necessary to accommodate the planned cross section shall be provided. The deed must be to the State of Oregon, Oregon Department of Transportation. The ODOT District contact will assist in coordinating the transfer. ODOT should provide verification to the local jurisdiction that this requirement has been fulfilled. The property owner must be the signatory for the deed and will be responsible for a certified environmental assessment of the site prior to transfer of property to the Department.

Note: It may take up to **3 months** to transfer ownership of property to ODOT.

### Access to the State Highway

- A State Highway Approach Road Permit from ODOT for access to the state highway or written determination (e-mail, fax or mail acceptable) from ODOT that the existing approach(es) is/are legal for the proposed use is required. Truck turning templates shall be provided as needed to ensure vehicles can enter and exit the approach safely. Site access to the state highway is regulated by OAR 734.51. For application information go to <http://www.oregon.gov/ODOT/HWY/ACCESSMGT/Pages/Application-Forms.aspx>.

Note: It may take **2 to 3 months** to process a State Highway Approach Road Permit.

- The applicant shall record cross-over access easements to the adjacent properties with state highway frontage with the County Assessor to facilitate future shared access. Shared access will improve highway safety by reducing potential conflicts between vehicles and between vehicles and pedestrians and bicyclists at closely spaced driveways and will implement ODOT Access Management Program goals.

### Permits and Agreements to Work in State Right of Way

- An ODOT Miscellaneous Permit must be obtained for all work in the highway right of way. When the total value of improvements within the ODOT right of way is estimated to be \$100,000 or more, an agreement with ODOT is required to address the transfer of ownership of the improvement to ODOT. An Intergovernmental Agreement (IGA) is required for agreements involving local governments and a Cooperative Improvement Agreement (CIA) is required for private sector agreements. The agreement shall address the work standards that must be followed, maintenance responsibilities, and compliance with ORS 276.071, which includes State of Oregon prevailing wage requirements.

Note: If a CIA is required, it may take up to **6 months** to process.

- The applicant must obtain an ODOT permit to place trees in the state right of way. Tree spacing and design must be consistent with the ODOT Highway Design Manual section



4.2.6 ([http://www.oregon.gov/ODOT/Engineering/Documents\\_RoadwayEng/HDM\\_04-Cross-Sections.pdf](http://www.oregon.gov/ODOT/Engineering/Documents_RoadwayEng/HDM_04-Cross-Sections.pdf)).

If proposed tree placement deviate from ODOT standards (such as placement in a planter strip), a Design Exception Request for clear zone must be prepared by a licensed engineer for review by ODOT Technical Services. Preparation of a Design Exception request does not guarantee its ultimate approval.

Note: It may take up to **3 months** to process a Design Exception.

- An ODOT Miscellaneous Permit is required for connection to state highway drainage facilities. Connection will only be considered if the site's drainage naturally enters ODOT right of way. The applicant must provide ODOT District with a preliminary drainage plan showing impacts to the highway right of way.

A drainage study prepared by an Oregon Registered Professional Engineer is usually required by ODOT if:

1. Total peak runoff entering the highway right of way is greater than 1.77 cubic feet per second; or
2. The improvements create an increase of the impervious surface area greater than 10,758 square feet.

**Please send a copy of the Land Use Notice to:**

ODOT Region 1 Planning  
Development Review  
123 NW Flanders St  
Portland, OR 97209

[ODOT\\_R1\\_DevRev@odot.oregon.gov](mailto:ODOT_R1_DevRev@odot.oregon.gov)

Development Review Planner: Marah Danielson	503.731.8258, <a href="mailto:marah.b.danielson@odot.oregon.gov">marah.b.danielson@odot.oregon.gov</a>
Traffic Contact: John Russell	503.731.8282 <a href="mailto:John.russell@odot.oregon.gov">John.russell@odot.oregon.gov</a>
District Contact: District 2B	<a href="mailto:D2bup@odot.oregon.gov">D2bup@odot.oregon.gov</a>

# Kem Hoops

## 271 West Baseline Cornelius, Oregon

### PLANTING NOTES

**Final rough grades** to be established by the General Contractor. Landscape Contractor to be responsible for final grading and for ensuring that surface and stormwater runoff flows are functioning as designed. Top of mulch at all planting beds to be 1" below top of curbs or adjacent paving.

**Plant material:** Native plant material to be nursery grown and obtained from regional sources under climatic conditions similar to or harder than those at the site. All plants to be of normal habit of growth, healthy, vigorous, and free of disease, harmful insects, insect eggs and larvae.

**Trees:** All trees shall be healthy grown nursery stock. Street trees to be a min. of 1-1/2" caliper at 6 inches above ground level, and be at least 8-10 feet high conforming in size and grade with the standard for nursery stock.

well developed leader with tops and roots characteristic of the species, cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted. Bare root stock shall leave a root system sufficient to insure survival and healthy growth. Balled and burlap (B&B) stock shall leave a natural sound ball sufficient to insure survival and healthy growth.

**Topsoil:** Any imported topsoil used is to be fertile, friable and free of noxious weeds and debris.

**Fertilizer:** 10-15-10 slow release on street trees and open space trees. No fertilizer on native plants in buffer. All plants in buffer to be inoculated with mycorrhizae ("M-Roots" dry granules mixed into planting hole) at installation. Apply fertilizer and mycorrhizae according to manufacturer's specifications.

**Planting:** Stones, mortar, rubbish, and any material harmful to plant life are all to be removed from all planting areas.

**Maintenance:** Begin maintenance immediately after each shrub and tree is planted. Protect and maintain plantings for a period of 60 days after acceptance. Water, weed, cultivate, maintain mulch, and reset plants to proper grades and upright positions as required.

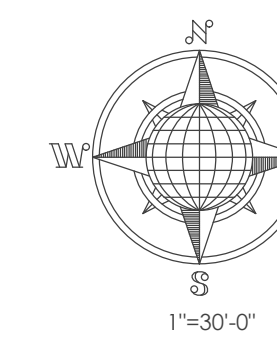
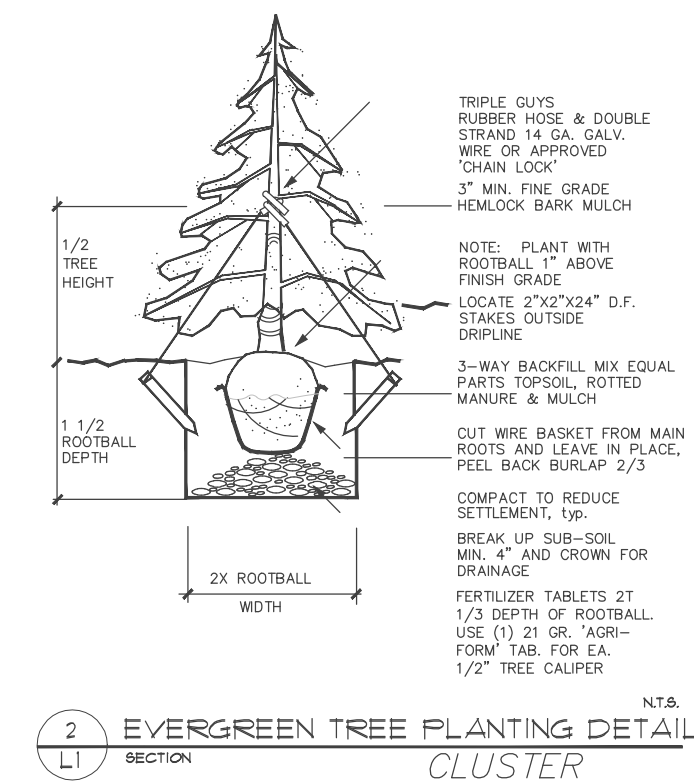
**Guarantee:** Guarantee all plant material after final acceptance for duration of one full growing season or for one year, whichever is longer. Replace plant materials not surviving or in poor condition, except only loss or damage due to freezing, vandalism, or acts and neglects on the part of others.

Finished planting level of plants to be at or slightly above level grown in nursery.

Landscape Architect shall inspect all plantings and give written approval before owner will accept the landscaping work (from the General Contractor) as being satisfactorily complete.

Guarantee: Guarantee all plant material after final acceptance for duration of one full growing season or for one year, whichever is longer. Replace plant materials not surviving or in poor condition, except only loss or damage due to freezing, vandalism, or acts and neglects on the part of others.

Guarantee: Guarantee all plant material after final acceptance for duration of one full growing season or for one year, whichever is longer. Replace plant materials not surviving or in poor condition, except only loss or damage due to freezing, vandalism, or acts and neglects on the part of others.



DEVELOPER: Kem Development, Inc.  
20449 SW Tualatin Valley Hwy #325  
Aloha, Oregon 97003

Phone: 971.205.2602  
Fax: 888.311.5610  
cc#: 212193

Property Address: 271 W Baseline  
Cornelius, Oregon 97113  
100 and 200

Tax Lot:

### IRRIGATION NOTES

- Irrigation shall be provided to cover all planted areas. Irrigation system to be bidder-design; head to head coverage from rotors or impact spray heads is suggested. FOR MITIGATION PLANTING ON BANK ONLY: IRRIGATION SYSTEM MAY BE TEMPORARY, SUFFICIENT TO ENSURE PLANT SURVIVAL DURING THE FIRST THREE GROWING SEASONS. SUPPLY LINES FOR TEMPORARY IRRIGATION MAY BE PLACED ON GRADE. HIGH IMPACT ROTORS ON STANDS SUGGESTED FOR IRRIGATION HEADS. Entire system design to be approved by the Landscape Architect prior to installation.
- All valves are to be placed in approved locking valve boxes. All valves are to be placed on minimum 2 cubic feet of drain rock.
- Install backflow prevention devices and manual shutoff valve in accordance with local codes and ordinances. All double check valves shall be Fetco, Combraco or approved equivalent. Double check valves to be installed in locking vault on minimum 3 cubic feet of drain rock.
- Make provision to drain all systems. Install manual drain valve at point of connection.
- Submittals: At completion of project, provide owner with as-built drawings, maintenance summary and all brochures or instructions included with equipment. As-built drawing to show location of all valves.
- Maintenance: During first year guarantee period, shut down and winterize system no later than November 1st. Activate system in spring, not later than May 15th. Contractor shall be responsible for any damage resulting from freezing water in the lines and improper winterizing of system the first year.
- Guarantee: The entire system shall be unconditionally guaranteed as to materials and workmanship, including but not limited to settling of backfill areas or to damage lawns, plantings, paving etc. for a period of one year from date of acceptance. Any areas, materials or workmanship requiring repair shall be without cost to the owner.

### MAINTENANCE NOTES

Provide maintenance access as required by Washington County Guidance Manual for Water Quality & Quantity Facility Design.

Mowing: Water quality swale is not to be mowed.

**Pruning:** Trees, shrubs and groundcovers are only to be pruned if overall health of the plant or stand is threatened (such as tent caterpillar infestation). If necessary, dead or diseased branches are to be pruned and removed from the site; make all pruning cuts according to best accepted practices. DO NOT TIP BACK OR SHEAR WOODY PLANTS IN ANY MANNER.

**Mulch:** Mulched areas (outside of swale facility) to receive additional topdressing once a year in the fall. All woody plants (trees, shrubs) to receive 18" diameter circle of coarse wood chips around the base of the plant to aid in weed suppression. Replace chips yearly, as necessary until plants are established and able to outcompete weeds.

**Weed Control:** The removal of noxious weeds including Himalayan Blackberry (*Rubus discolor*), Reed Canarygrass (*Phalaris arundinacea*), Teasel (*Dipsacus fulanum*), Canada Thistle (*Cirsium arvense*) and others will be necessary through the maintenance period, or until a healthy stand of desirable vegetation is established. During removal of invasive vegetation core shall be taken to minimize impacts to existing native trees and shrub species. Remove weeds and their root systems by hand or similar mechanical methods; glyphosate-based herbicides (Roundup or equivalent) may be used only if approved by Clean Water Services.

**Plant replacement:** Plants that fail to meet the acceptance criteria (see Chapter 2.14.1) must be replaced during the maintenance period. Prior to replacement, the cause for loss should be determined. Upon determining the cause, correct the problem (e.g. amend soil, provide wildlife protection, modify species selection) and then replace the plant(s). If at any time during the warranty period the landscaping fails below the 80% survival level, the Owner shall reinstall all deficient planting at the next appropriate planting opportunity and the two year maintenance period shall begin again from the date of replanting.

**Wildlife protection:** Appropriate measures should be taken to discourage wildlife browsing. Biodegradable plastic mesh tubing, or other substitute approved by the Agency/City, should be placed around individual trees and shrubs to prevent browsing by wildlife, including beaver, nutria, deer, mice and voles.

### BASILINE STREET

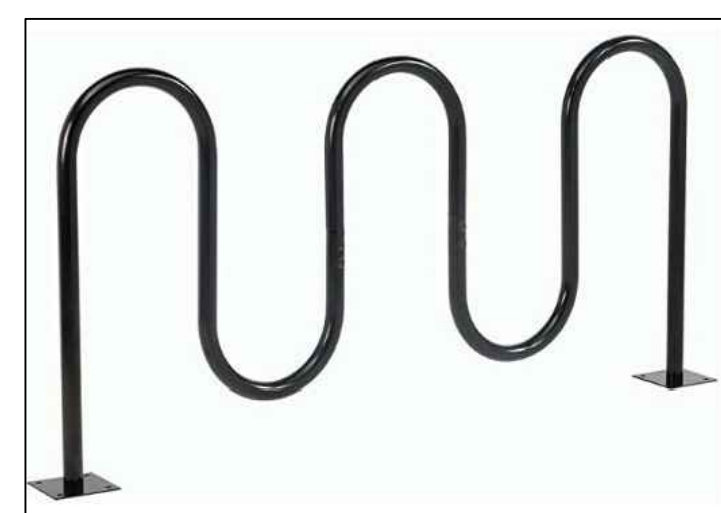
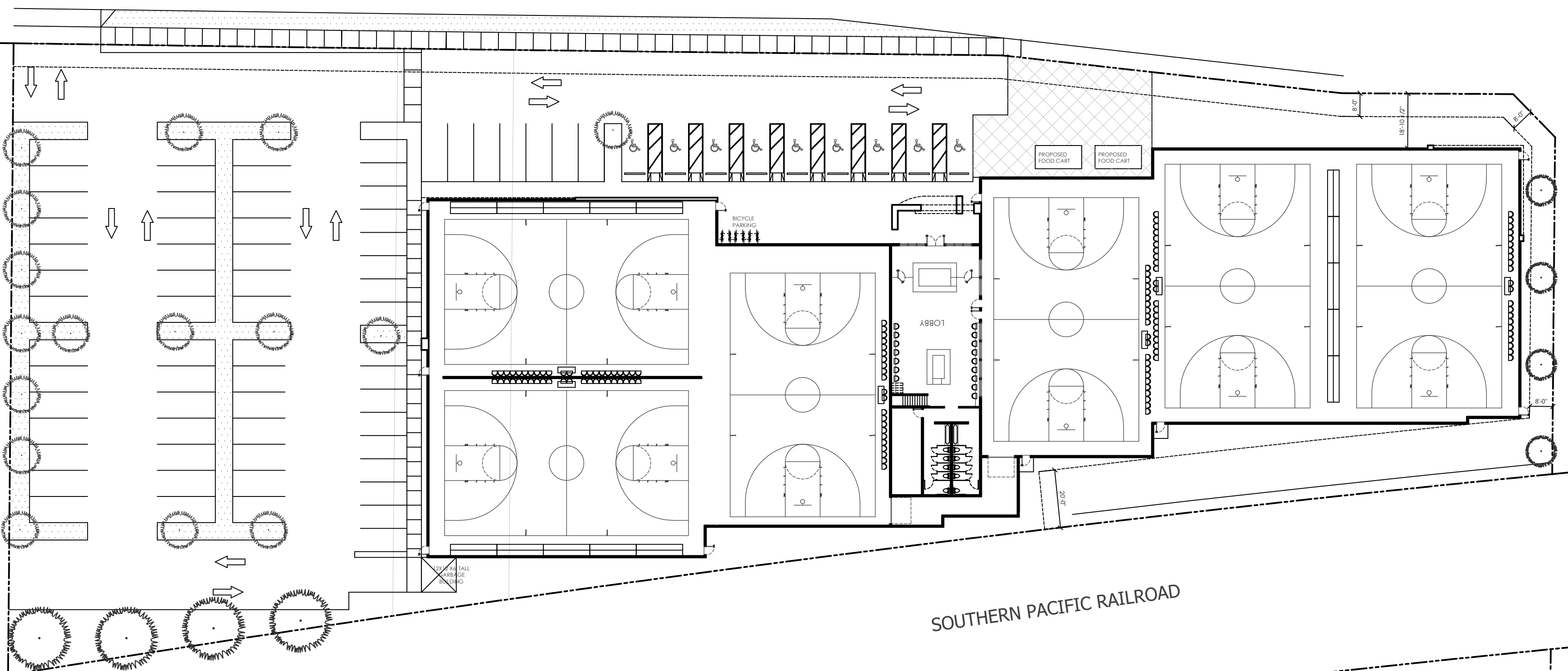
### N 4TH AVENUE

### SOUTHERN PACIFIC RAILROAD

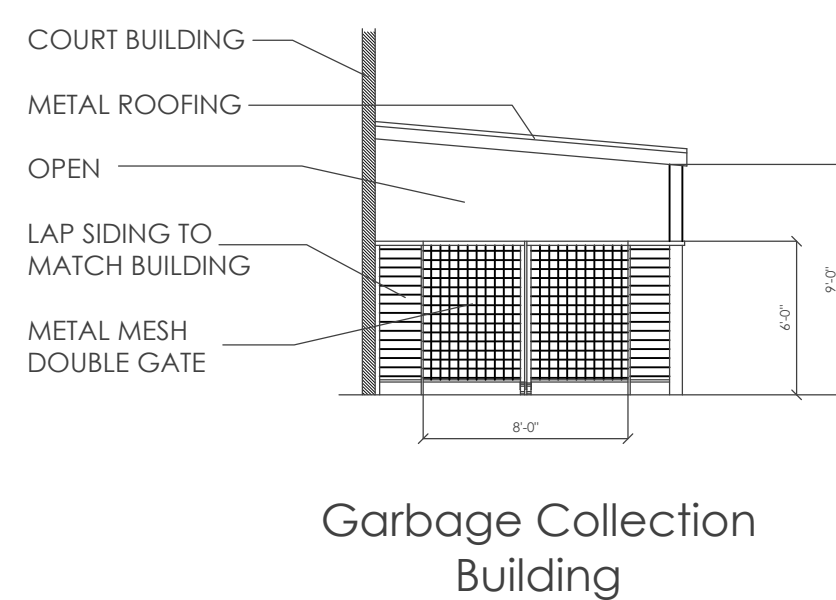
STORAGE SQ FT	540
COURTS SQ FT	36,162
OFFICE/BATHROOM/LOBBY	5,276
TOTAL BUILDING SQ. FT.	41,978
BUILDING COVERAGE	38,173
LOT AREA	92,404
LANDSCAPE AREA	13,577
LANDSCAPE COVERAGE	15%
CONC. WALKWAY	6,611
PAVED AREA	35,261

### PARKING REQUIREMENT

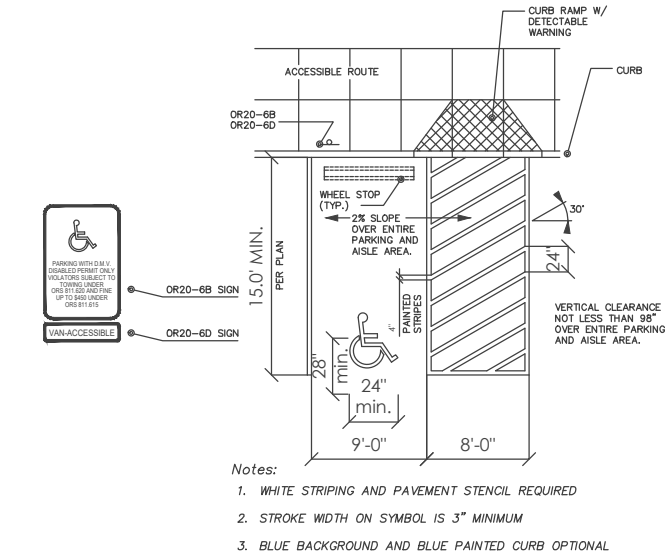
448	LIN FT OF BENCH
75	SPACE REQUIRED
7.5	10% REDUCTION BUS LINE
17	8X16 COMPACT SPACE ALLOWED (25%)
17	COMPACT SPACE PROVIDED
9	HANDICAP PARKING SPACE
50	STANDARD PARKING SPACE
76	TOTAL PARKING



Bike Rack



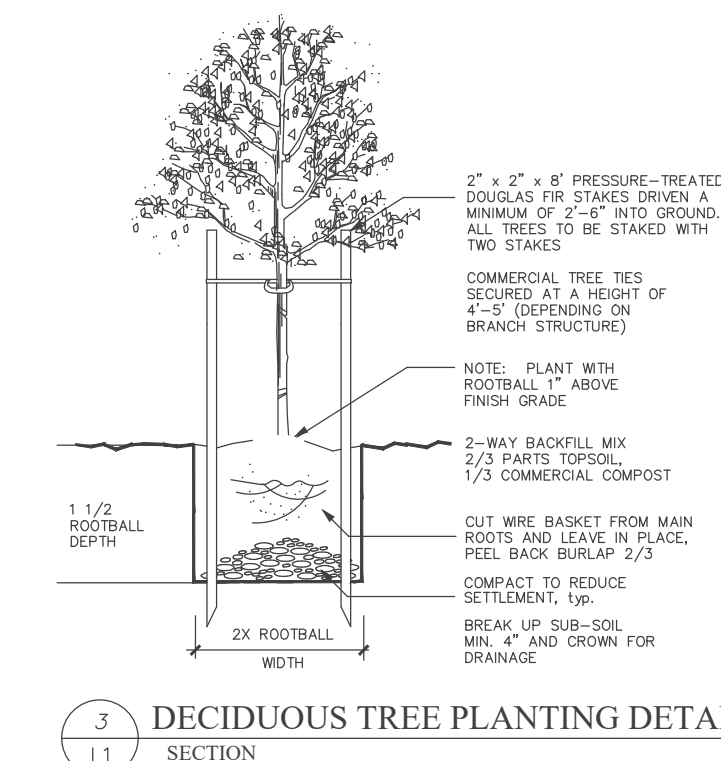
Garbage Collection Building



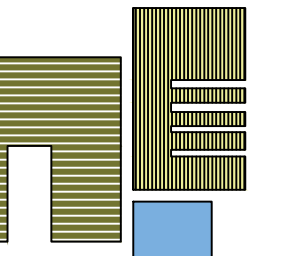
NOTES:  
1. WHITE STRIPES AND PAVEMENT STRIPS REQUIRED  
2. STRIKE WIDTH ON SYMBOL IS 3" MINIMUM  
3. BLUE BACKGROUND AND BLUE PAINTED CURB OPTIONAL

### PLANT LEGEND

SYMBOL	QUANTITY	SIZE	SCIENTIFIC NAME COMMON NAME
(Symbol)	(15)	5-6 feet	<i>Pseudotsuga menziesii</i> Douglasfir [ Large ]
(Symbol)	(15)	2" caliper	<i>Pyrus calleryana</i> 'Aristocrat' Callery Pear [ Medium ]
(Symbol)			Artificial Grass



3 DECIDUOUS TREE PLANTING DETAIL SECTION



SamedyKem

designer - consultant

custom design - stock plans - remodels

P.O. Box 1571  
Hillsboro, Oregon 97123  
971.563.0552 fax: 888.311.5610  
E-Mail: samedy@kem-consultant.com

"Success is not measured by the position someone has reached in my life, but the obstacles he has overcome while trying to succeed"

Washington - Brooker T.

Written dimensions on these drawing shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. Samedy Kem, Designer must be notified and consent to any variation from dimensions set forth herein.

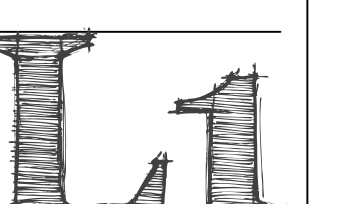
This document is the property of Samedy Kem, Designer. No reuse to reproduction is allowed without the written consent from Samedy Kem.

Landscape Plan

6/14/2022

Date:

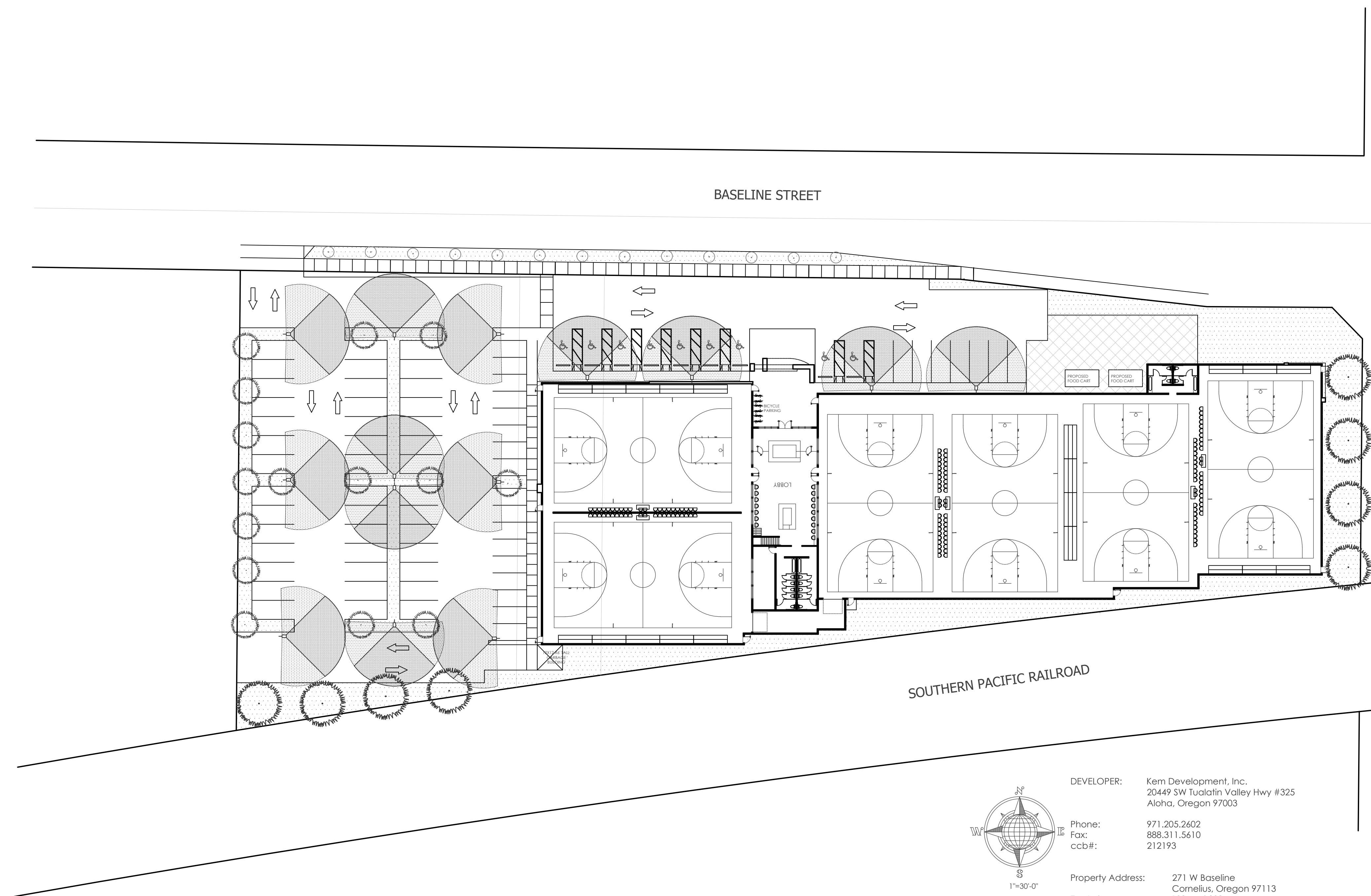
Project Number



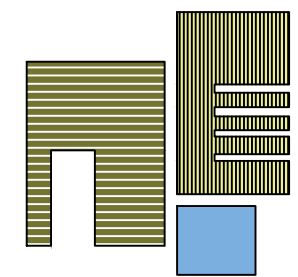
Sheet Number of

# Kem Hoops

271 West Baseline Cornelious, Oregon



## PARKING LOT LIGHTING PLAN



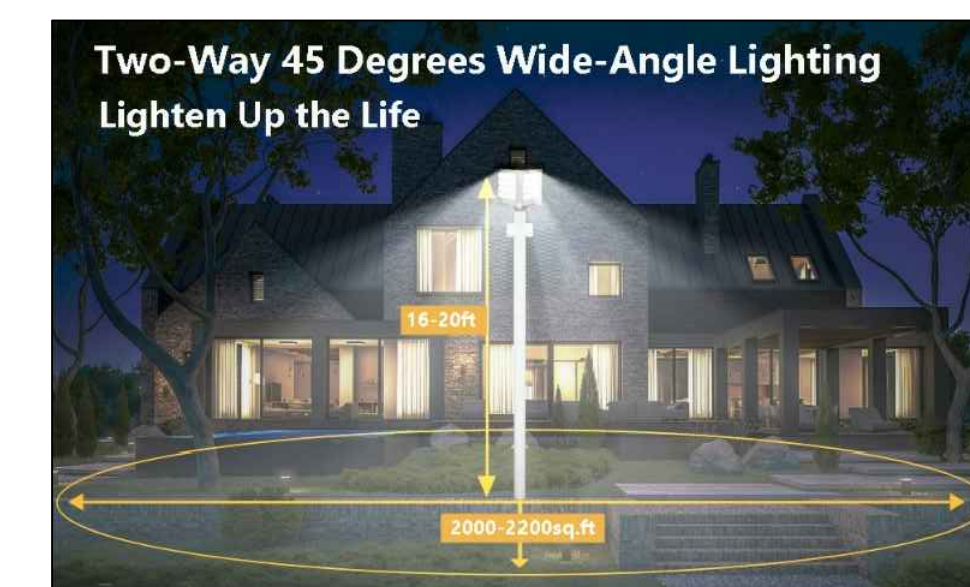
**SamedyKem**  
designer - consultant  
custom design - stock plans - remodels

P.O. Box 1571  
Hillsboro, Oregon 97123  
971.563.0552 fax: 888.311.5610  
E-Mail: samedy@kem-consultant.com

"Success is not measured by the position someone has reached in my life, but the obstacles he has overcome while trying to succeed"  
- Booker T. Washington

Written dimensions on these drawing shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. Samedy Kem, Designer must be notified and consent to any variation from dimensions set forth herein.

This document is the property of Samedy Kem, Designer. No reuse or reproduction is allowed without the written consent from Samedy Kem.



Technical Details	
Manufacturer	Gerofly
Part Number	SSL-62
Item Weight	26.3 pounds
Product Dimensions	2.76 x 13.5 x 23.54 inches
Item model number	SSL-62
Batteries	4 Lithium Ion batteries required. (included)
Assembled Height	23.54 inches
Assembled Length	2.76 inches
Assembled Width	13.5 inches
Batteries Included?	Yes
Batteries Required?	No
Light Source Type	LED
Power Source	Solar Powered
Controller Type	Remote Control
Wattage	800 watts
Control Method	Remote

**Kem Hoops**  
Cornelius, Oregon

6/14/2022  
Date:

Project Number

Sheet Number of

# BASELINE BASKETBALL FACILITY

## 1 S3W4BB

### TAX LOTS 100 & 200

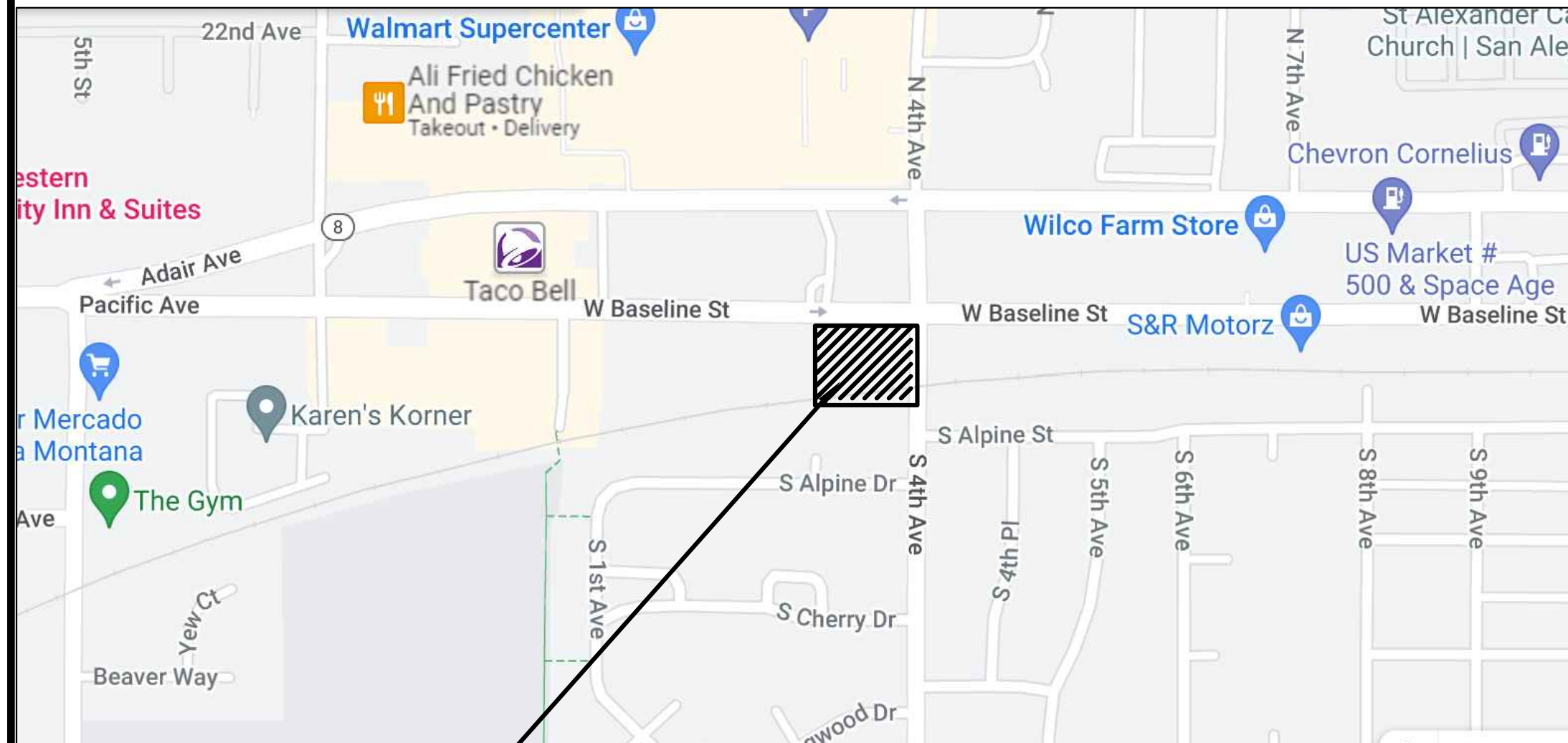
### WASHINGTON COUNTY

### CORNELIUS, OR

**DL**  
DL CONSULTING WA INC.  
500 West 8th Street  
Suite 45  
Vancouver, WA 98660  
(360) 567-6466

REGISTERED PROFESSIONAL ENGINEER  
19160  
OREGON  
JULY 15, 1997  
GARY I. DARLING  
EXPIRES 12-31-23

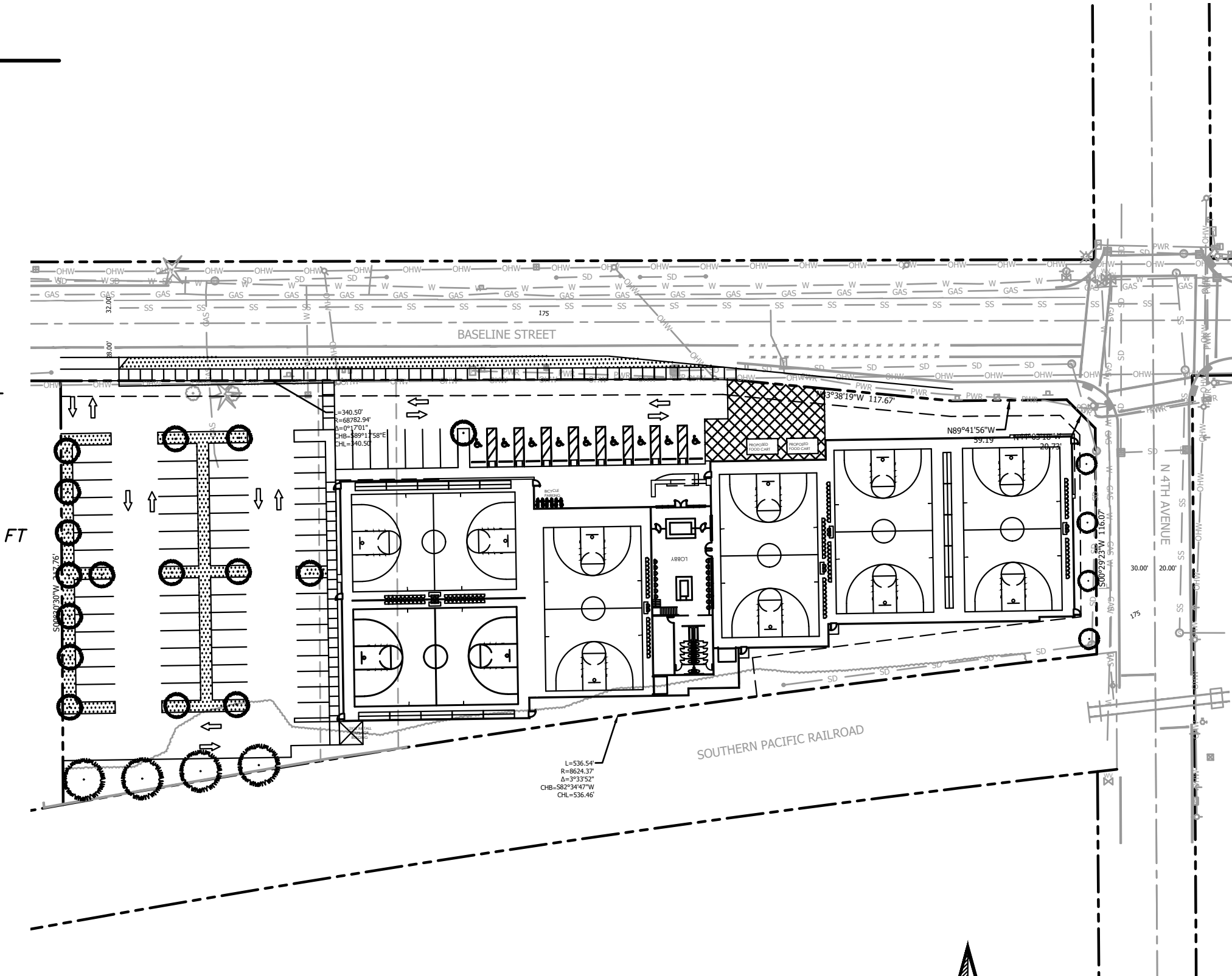
BASELINE BASKETBALL FACILITY  
CORNELIUS, OR  
COVER SHEET



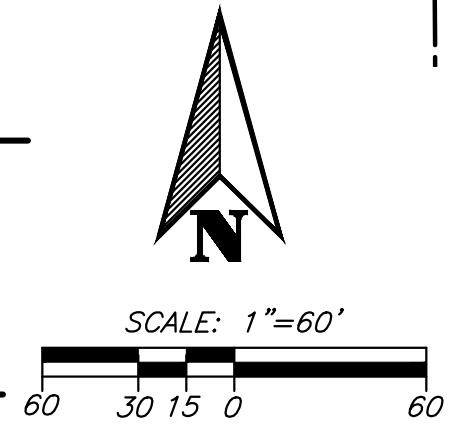
**PROJECT SITE** — **VICINITY MAP**  
N.T.S.

#### IMPERVIOUS TABLE

<b>EXIST PUBLIC IMPERVIOUS BREAKDOWN</b> PUBLIC ROAD = XXX SQ FT DRWY = XXX SQ FT TOTAL EXIST IMPERVIOUS: XXX SQ FT	<b>PROPOSED PUBLIC IMPERVIOUS BREAKDOWN</b> PUBLIC ROAD = XXX SQ FT DRWY = XXX SQ FT (GRAVEL) TOTAL PROPOSED IMPERVIOUS = XXXX SQ FT
<b>EXIST PUBLIC PERVIOUS BREAKDOWN</b> LANDSCAPING = XXX SQ FT	<b>PROPOSED PUBLIC PERVIOUS BREAKDOWN</b> LANDSCAPING = XXXX SQ FT TOTAL PROPOSED PERVIOUS = XXX SQ FT
<b>TOTAL EXIST PUBLIC AREA: XXXX SQ FT</b>	<b>TOTAL PROPOSED PUBLIC AREA = XXX SQ FT</b>
<b>EXIST PRIVATE IMPERVIOUS BREAKDOWN</b> BUILDINGS = 1,570 SQ FT GRAV DRWY = 2,732 SQ FT CONCRETE = 442 SQ FT TOTAL EXIST IMPERVIOUS: 4,744 SQ FT	<b>PROPOSED PRIVATE IMPERVIOUS BREAKDOWN</b> BUILDINGS = 39,376 SQ FT DRWY/SIDEWALK = 40,013 SQ FT TOTAL PROPOSED IMPERVIOUS = 79,389 SQ FT
<b>EXIST PRIVATE PERVIOUS BREAKDOWN</b> LANDSCAPING = 88,081 SQ FT TOTAL EXIST PERVIOUS: 88,081 SQ FT	<b>PROPOSED PRIVATE PERVIOUS BREAKDOWN</b> LANDSCAPING = 8,292 SQ FT TOTAL PROPOSED PERVIOUS = 8,292 SQ FT
<b>TOTAL EXIST PRIVATE AREA: 92,825 SQ FT</b>	<b>TOTAL PROPOSED PRIVATE AREA = 88,081 SQ FT</b>
<b>TOTAL AREA OF GROUND DISTURBANCE:</b>	
PRIVATE: XXX SQ FT	
PUBLIC: XXX SQ FT	
TOTAL: XXXX SQ FT	
REMOVED: XXX SQ FT	
REPLACED: XXX SQ FT	
NEW: XXX SQ FT	
NEEDS TREATMENT: XXX SQ FT	
TREATED: XXX SQ FT	
QUALITIES FOR FEE-IN-LIEU: XXX SQ FT	



**SITE PLAN**  
SCALE: 1" = 60'



#### SHEET INDEX

C0	COVER SHEET
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3.1	GRADING & EROSION CONTROL PLAN
C3.2	EROSION CONTROL DETAILS
C4.1	BASELINE ST & N 4TH AVE IMPROVEMENT PLAN
C5	STORM DRAINAGE PLAN
C6	UTILITY PLAN

THIS DESIGN COMPLIES WITH ORS 92.044 (7) IN THAT NO UTILITY INFRASTRUCTURE IS DESIGNED TO BE WITHIN ONE (1) FOOT OF A SURVEY MONUMENT LOCATION SHOWN ON A SUBDIVISION OR PARTITION PLAT. NO DESIGN EXCEPTIONS NOR FINAL FIELD LOCATION CHANGES SHALL BE PERMITTED IF THAT CHANGE WOULD CAUSE ANY UTILITY INFRASTRUCTURE TO BE PLACED WITHIN THE PROHIBITED AREA.

#### GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS FOR CITY OF CORNELIUS AND CWS R&O 19-5, THE CONDITIONS OF APPROVAL FOR THE PROJECT, THE UNIFORM BUILDING CODE APPENDIX, CHAPTER 33 EXCAVATION AND GRADING, AND THE AGREEMENT ALLOWING THE DEVELOPER TO CONSTRUCT PUBLIC IMPROVEMENTS. SEE SPECIFICATIONS PROVIDED.
- THE EXCAVATOR MUST COMPLY WITH ALL PROVISIONS OF ORS 757.541 TO 757.571, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND FACILITIES AT LEAST 48 HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING SEDIMENT TRANSPORT WITHIN THE PROJECT LIMITS, USING RECOGNIZED METHODS FOR EROSION CONTROL AS APPROVED BY THE CITY/COUNTY & CWS.
- THE CONTRACTOR IS TO LEAVE THE PROJECT FREE OF DEBRIS AND UNUSED MATERIALS UPON COMPLETION.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY SYSTEMS SUCH AS POWER, TELEPHONE, GAS, CABLE TV, ETC., WITH EACH INDIVIDUAL UTILITY COMPANY, PRIOR TO FINAL INSTALLATION OF THE SYSTEMS.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING PUBLIC AND PRIVATE UTILITY LINES AND OTHER PUBLIC UTILITY STRUCTURES. THE CONTRACTOR SHALL RESTORE ALL PUBLIC PROPERTY TO ITS ORIGINAL CONDITION UPON COMPLETION OF WORK.
- TEMPORARY EROSION CONTROL METHODS MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT EROSION CONTROL METHODS ARE IN PLACE AND OPERATIONAL.
- ALL AREAS TO RECEIVE FILL SHALL BE STRIPPED OF ALL VEGETATION AND OTHER DELETERIOUS MATERIALS. ALL SUCH MATERIALS SHALL BE REMOVED FROM SITE AT THE CONTRACTOR'S EXPENSE.
- ALL NONMETALLIC SANITARY AND STORM SEWER SERVICE LATERAL PIPING SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GA. GREEN COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE. LATERAL PIPES PER DETAIL #520 IN CWS EASEMENT AREA.
- NO MATERIAL SUBSTITUTIONS OR DESIGN CHANGES SHALL BE MADE WITHOUT PRIOR PERMISSION OF THE ENGINEER AND CWS.
- A FULL SET OF THE APPROVED PLANS WITH ALL CURRENT REVISIONS AND AMENDMENTS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL FILL SHALL BE PLACED IN 12" LIFTS AND SHALL BE COMPACTED TO AASHTO 95% DENSITY. THE CONTRACTOR SHALL EMPLOY A GEOTECHNICAL ENGINEER TO TEST ALL FILLED LOTS. TEST REPORTS SHALL BE SUBMITTED TO THE CITY AND TO THE ENGINEER, PER GEOTECHNICAL ENGINEERING REPORT.
- CONTRACTOR SHALL KEEP RECORDS OF ALL CONSTRUCTION THAT DIFFERS FROM THE APPROVED PLANS AND SHALL MAINTAIN "RECORD DRAWINGS" DURING THE CONSTRUCTION PERIOD. AS-BUILTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND TO CWS BY ENGINEER AT THE END OF THE PROJECT.

- OWNER**  
SAMEDY KEM  
PH: (503) 971-0552  
EMAIL: [samedy@kem-developments.com](mailto:samedy@kem-developments.com)
- ARCHITECT**  
SAMEDY KEM  
PH: (503) 971-0552  
EMAIL: [samedy@kem-developments.com](mailto:samedy@kem-developments.com)
- LAND SURVEYOR**  
RECORP, LLC  
12681 ANITA PLACE  
OREGON CITY, OREGON 97045  
503-998-2880
- CIVIL ENGINEER**  
DL CONSULTING WA, INC.  
500 WEST 8TH STREET, SUITE 45  
VANCOUVER, WA 98660  
PH: (360) 567-6466  
CONTACT: GARY DARLING, P.E.  
EMAIL: [gid@dleng.net](mailto:gid@dleng.net)

REV.	DATE	BY

PROJECT NUMBER	SAM060
Date:	09/09/2022
Scale:	AS SHOWN
Drawn By:	JEM
Designed By:	GID
Checked By:	GID

C0



**DL**  
DL CONSULTING WA INC.  
500 West 8th Street  
Suite 45  
Vancouver, WA 98660  
(360) 567-6466

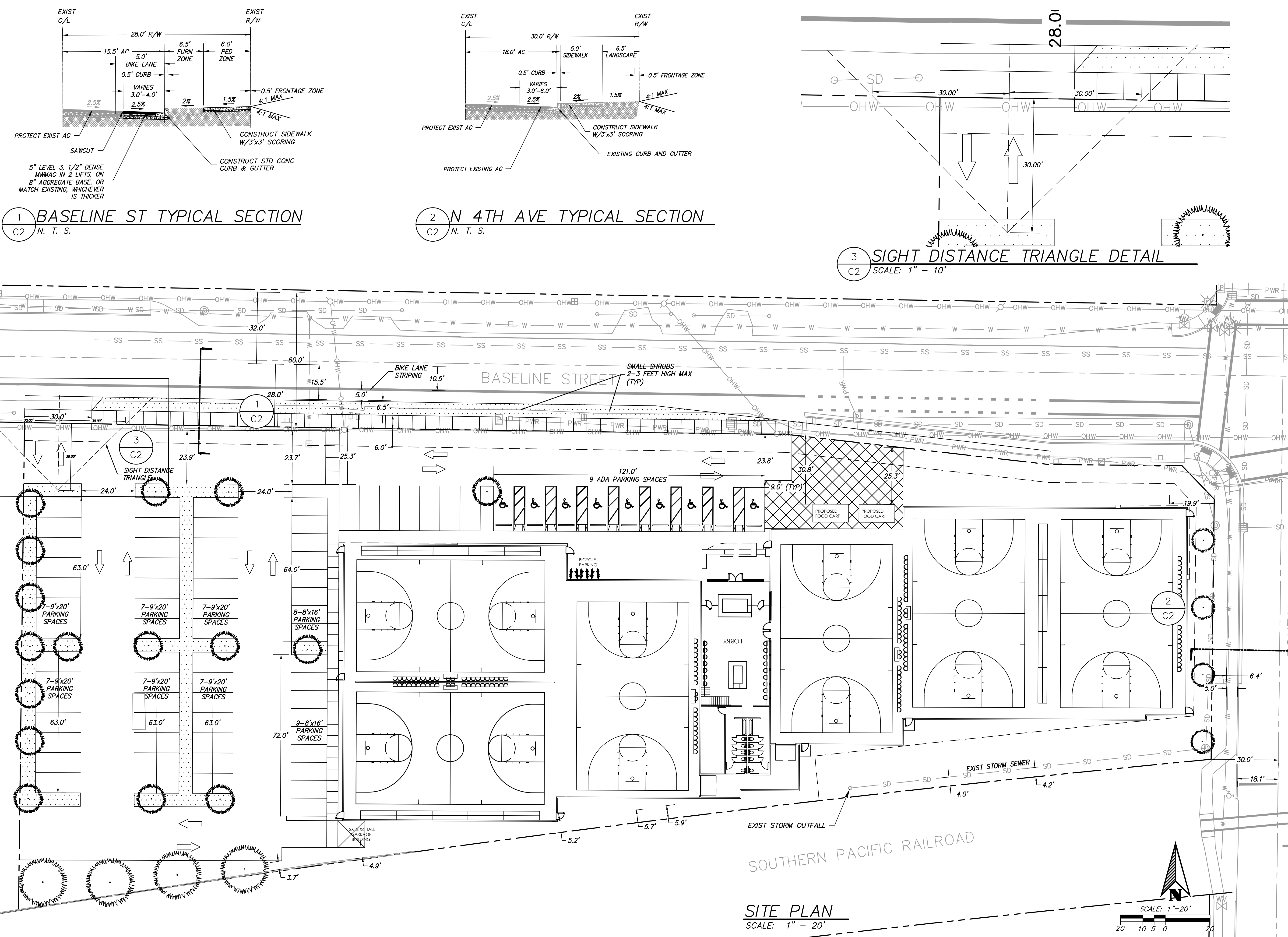
REGISTERED PROFESSIONAL ENGINEER  
19180  
OR  
JULY 15, 1997  
GARY I. DARLING  
EXPIRES 12-31-23

BASELINE BASKETBALL FACILITY  
CORNELIUS, OR  
SITE PLAN

REV.	DATE	BY

PROJECT NUMBER	SAM060
Date:	09/09/2022
Scale:	AS SHOWN
Drawn By:	JEM
Designed By:	GID
Checked By:	GID

C2

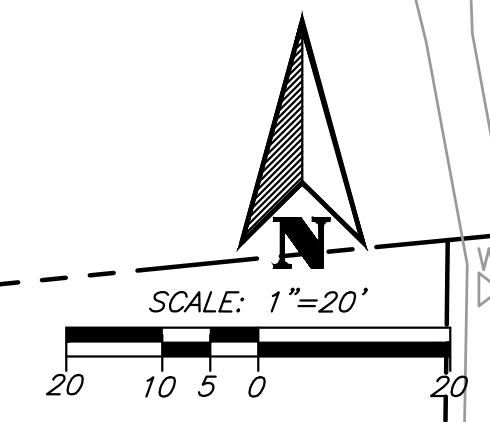


1 BASELINE ST TYPICAL SECTION  
C2 N. T. S.

2 N 4TH AVE TYPICAL SECTION  
C2 N. T. S.

3 SIGHT DISTANCE TRIANGLE DETAIL  
C2 SCALE: 1" = 10'

SITE PLAN  
SCALE: 1" = 20'

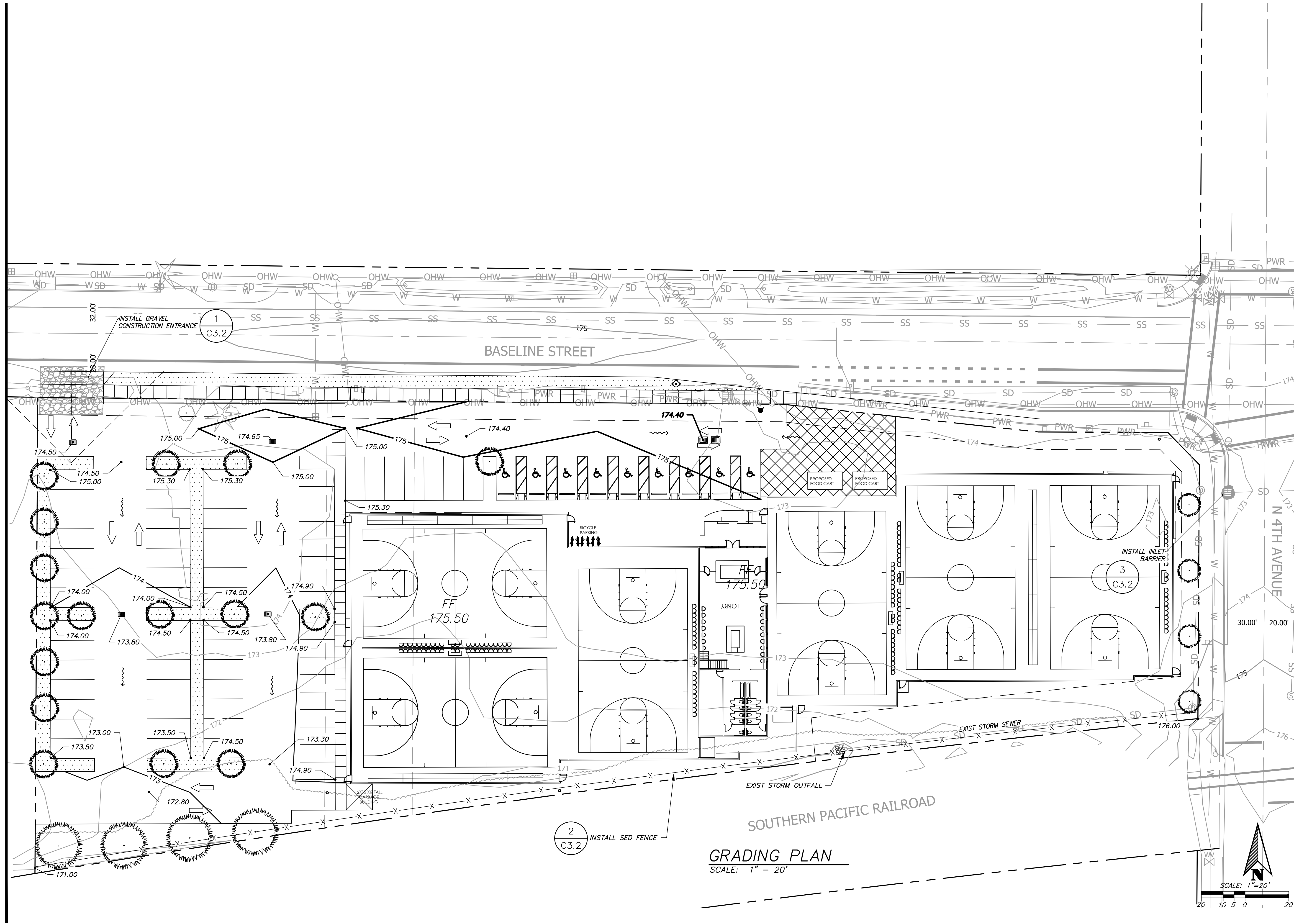


**BASELINE BASKETBALL FACILITY  
CORNELIUS, OR**  
**GRADING & EROSION CONTROL PLAN**

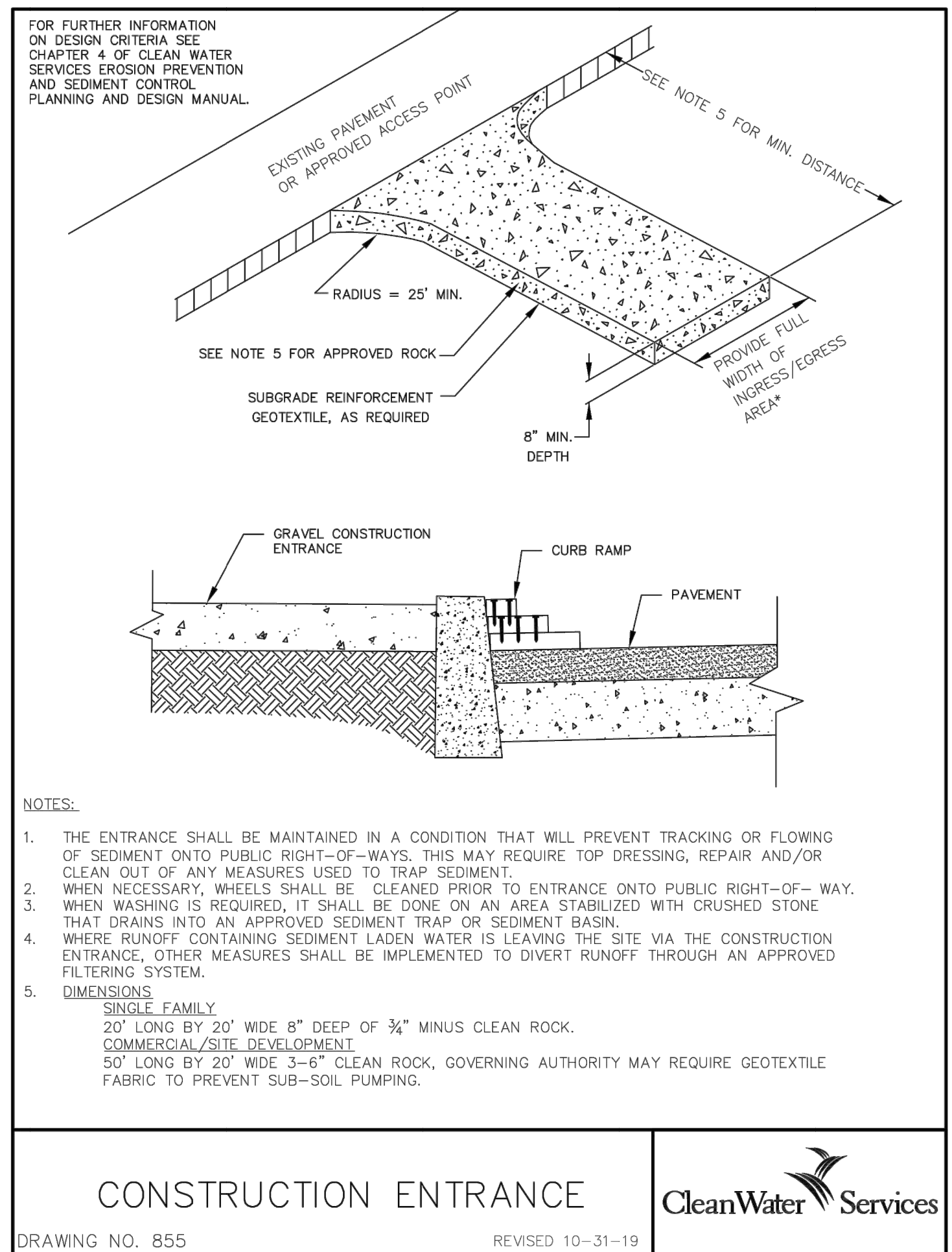
REV.	DATE	BY

PROJECT NUMBER	SAM060
Date:	09/09/2022
Scale:	AS SHOWN
Drawn By:	JEM
Designed By:	GID
Checked By:	GID

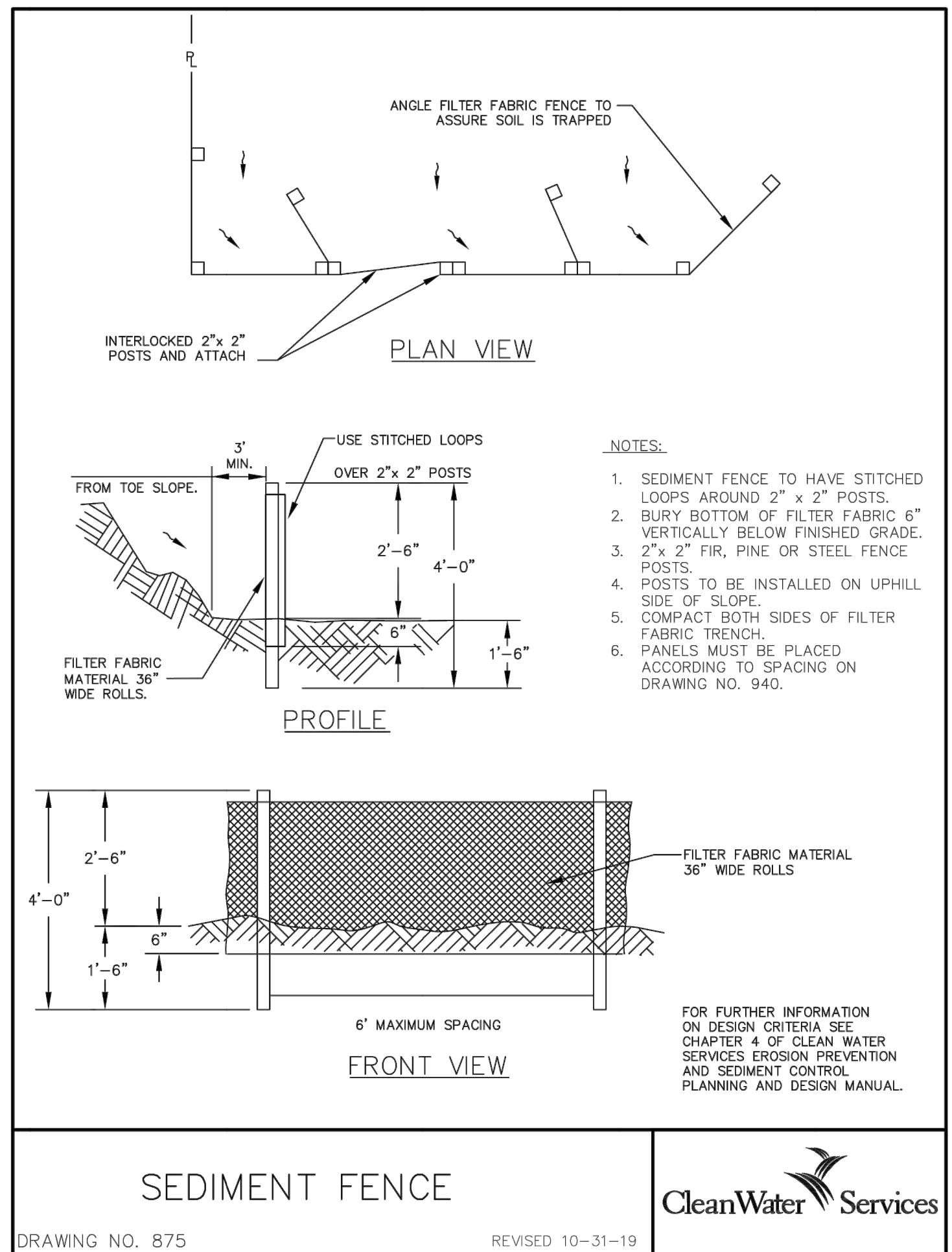
**C3.1**



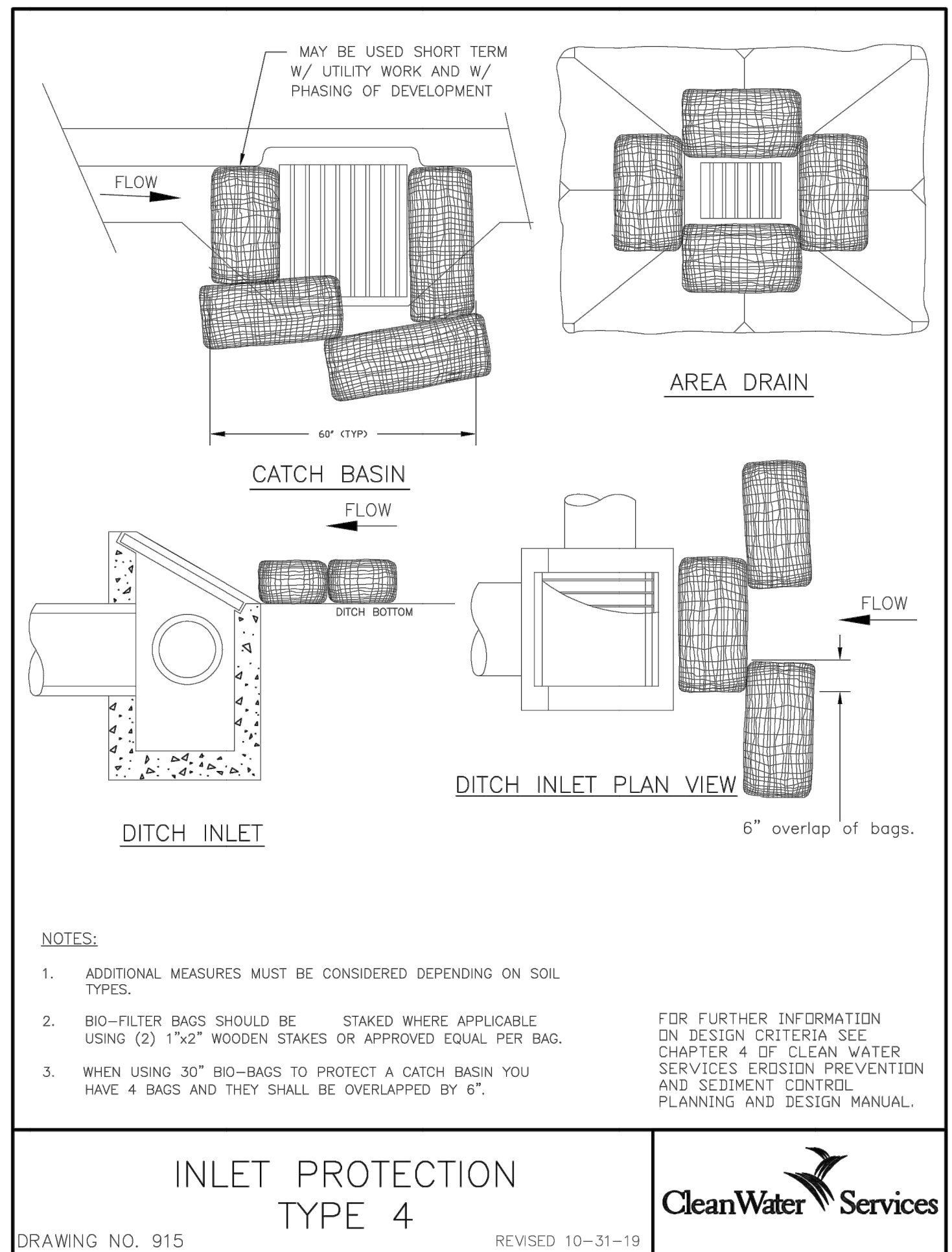
**GRADING PLAN**  
SCALE: 1" = 20'



1  
C3.2



2  
C3.2



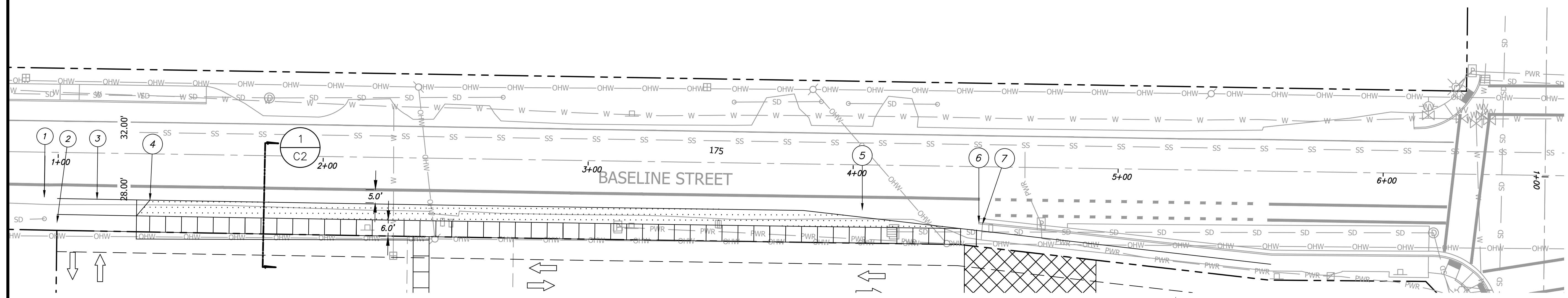
3  
C3.2

REV.	DATE	BY

PROJECT NUMBER	SAM060
Date:	09/09/2022
Scale:	AS SHOWN
Drawn By:	JEM
Designed By:	GID
Checked By:	GID

C3.2

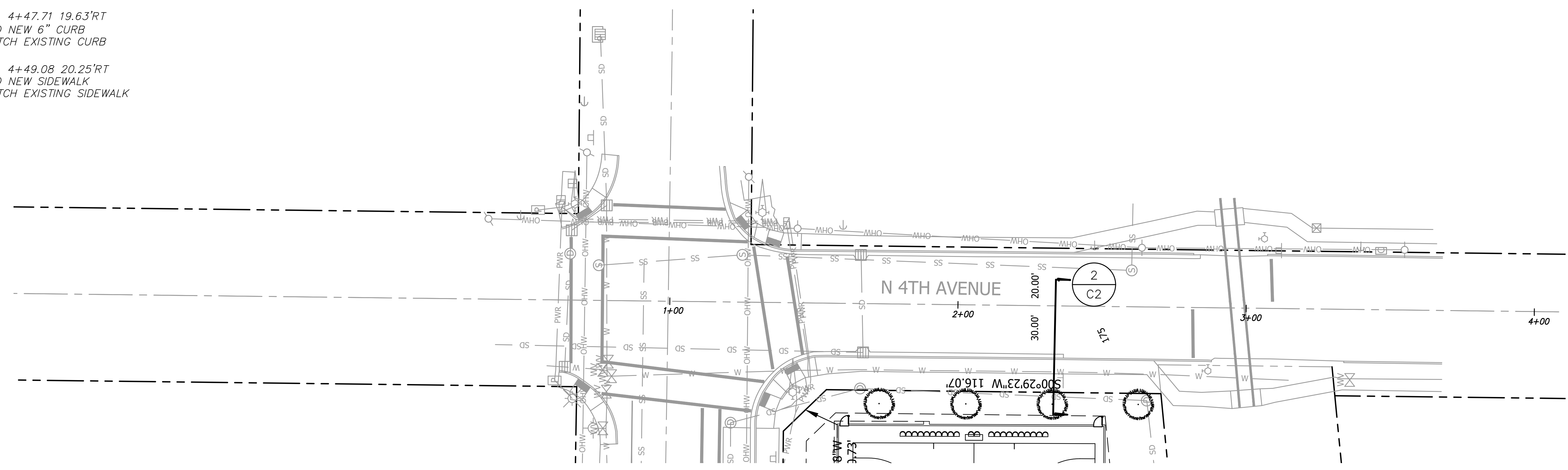
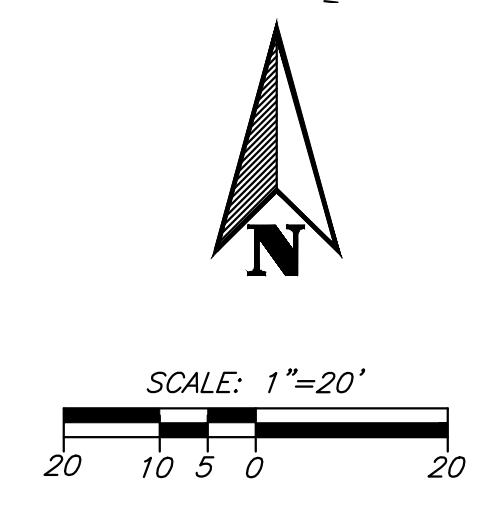




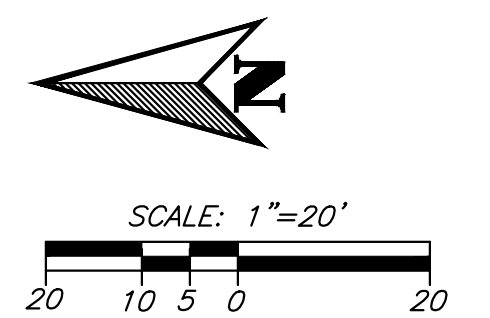
STREET CONSTRUCTION NOTES

- ① STA 0+95.00 16'RT  
BEGIN IMPROVEMENTS  
BEGIN 5' DRIVEWAY WING
- ② STA 1+00.00  
BEGIN NEW 6' SIDEWALK
- ③ STA 1+115.00 16'RT  
30' DRIVEWAY CENTERLINE
- ④ STA 1+35.00  
END 5' DRIVEWAY WING  
BEGIN NEW 6" CURB
- ⑤ STA 4+03.70 16'RT  
6" CURB ANGLE POINT
- ⑥ STA 4+47.71 19.63'RT  
END NEW 6" CURB  
MATCH EXISTING CURB
- ⑦ STA 4+49.08 20.25'RT  
END NEW SIDEWALK  
MATCH EXISTING SIDEWALK

**BASELINE ST IMPROV. PLAN**  
SCALE: 1" = 20'



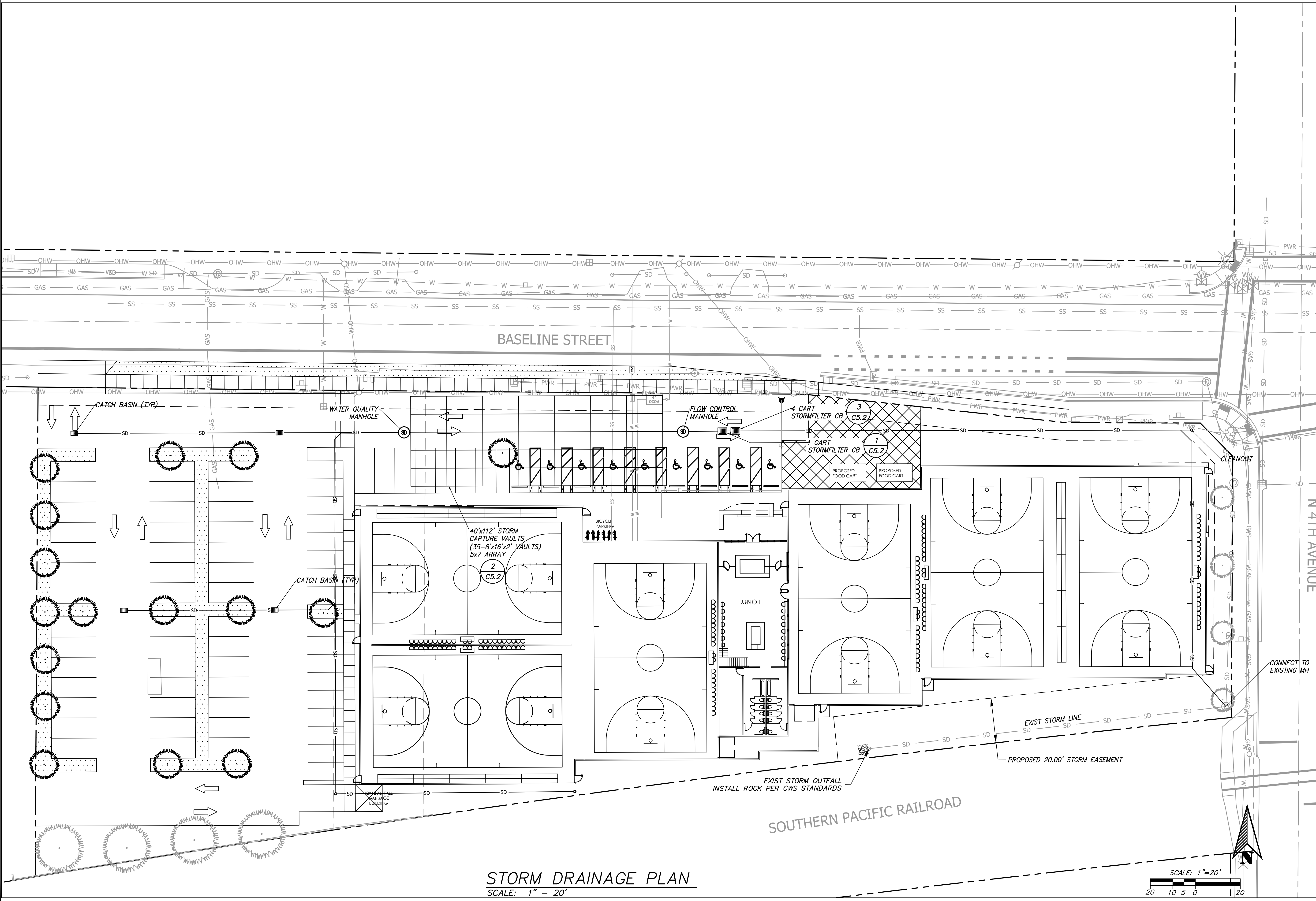
**N 4TH AVE IMPROV PLAN**  
SCALE: 1" = 20'



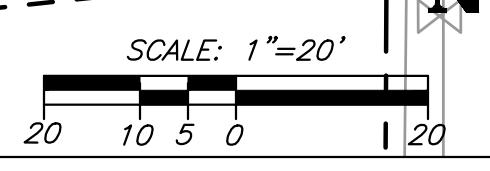
REV.	DATE	BY

PROJECT NUMBER	SAM060
Date:	09/09/2022
Scale:	AS SHOWN
Drawn By:	JEM
Designed By:	GID
Checked By:	GID

**BASELINE BASKETBALL FACILITY  
CORNELIUS, OR  
STORM DRAINAGE PLAN**



**STORM DRAINAGE PLAN**  
SCALE: 1" = 20'



REV.	DATE	BY

PROJECT NUMBER	SAM060
Date:	09/09/2022
Scale:	AS SHOWN
Drawn By:	JEM
Designed By:	GID
Checked By:	GID

**C5.1**

**GENERAL NOTES:**

THE STORM CAPTURE™ SYSTEM BY OLDCASTLE PRECAST IS PART OF THE STORMWATER MANAGEMENT SYSTEM FOR THE RESPECTIVE SITE, AS PREPARED BY THE PROJECT DESIGN ENGINEER. IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO DETERMINE DESIGN FLOW RATES, PRE-TREATMENT AND POST-TREATMENT REQUIREMENTS, STORAGE VOLUME, AND ENSURE THE FINAL DESIGN MEETS ALL CONVEYANCE AND STORAGE REQUIREMENTS. SYSTEM DESIGN AND TYPE, SOIL ANALYSIS, LOADING REQUIREMENTS, COVER HEIGHT AND MODULE SIZE DETERMINE THE FOUNDATION TYPE AND REQUIREMENTS AS STATED HEREIN. ANY VARIATIONS FOUND DURING CONSTRUCTION FROM THE SITE AND SYSTEM ANALYSIS MUST BE REPORTED TO THE PROJECT DESIGN ENGINEER. THE PROJECT DESIGN ENGINEER IS RESPONSIBLE FOR OBTAINING A GEOTECHNICAL ENGINEERING REPORT VERIFYING THE BEARING CAPACITY STATED IN DESIGN NOTES.

**DESIGN NOTES:**

- DESIGN LOADINGS:
  - AASHTO HS-20-44 W/ IMPACT.
  - DEPTH OF COVER = 4'-0".
  - ASSUMED WATER TABLE = BELOW BOTTOM.
  - EQUIVALENT FLOOR PRESSURE = 45 PSF.
  - LATERAL LIVE LOAD SURCHARGE = 80 PSF.
  - NO LATERAL SURCHARGE FROM ADJACENT STRUCTURES.
  - CONCRETE 28 DAY COMPRESSIVE STRENGTH SHALL BE 6,000 PSF.
  - STEEL REINFORCEMENT: REBAR, ASTM A-615, GRADE 60.
  - CEMENT: ASTM C-150 SPOCCATION.
  - STORM CAPTURE MODULE TYPE = DETENTION.
  - REQUIRED BASE LAYER DEPTH = 2" SAND BEDDING LAYER.
  - REQUIRED NATIVE ALLOWABLE SOIL BEARING PRESSURE = 3,000 PSF.
- REFERENCE STANDARDS:
  - ASTM C 890
  - ASTM C 891
  - ASTM C 913
  - LESS THAN 8" OR GREATER THAN 8" OF COVER REQUIRES CUSTOM STRUCTURAL DESIGN AND MAY REQUIRE THICKER SUBGRADE.

**INSTALLATION NOTES:**

- THE STORM CAPTURE™ MODULE SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH ASTM C891. INSTALLATION OF UNDERGROUND PRECAST UTILITY STRUCTURES, PROJECT PLAN AND SPECIFICATIONS MUST BE FOLLOWED ALONG WITH ANY APPLICABLE REGULATIONS.
- PLAN LINE, GRADE AND ELEVATIONS MUST BE FOLLOWED.
  - WHERE SPECIFIED, AN 8 OZ. NON-WOVEN GEOTEXTILE FABRIC MUST BE USED AS A SEPARATION LAYER AROUND THE STORM CAPTURE SYSTEM.
  - PENETRATIONS IN THE GEOTEXTILE MAY ONLY BE MADE WITH SMOOTH WALL PIPES. MAKE PENETRATIONS FOR ALL OUTLETS BEFORE MAKING PENETRATIONS FOR ANY INLETS.
  - ALL SURFACE MATERIALS IF SPECIFIED, MUST BE CLEAN, DURABLE CRUSHED AGGREGATE COMPACTED OR ROLLED TO ACHIEVE 95% STANDARD PROCTOR DENSITY. OLDCASTLE RECOMMENDS SIZE #56 OR #57 (PER ASTM C33).
  - DESIGNATED EMBEDDED LIFTERS MUST BE USED. USE PROPER RIGGING TO ASSURE ALL LIFTERS ARE EQUALLY ENGAGED WITH A MINIMUM 60 DEGREE ANGLE ON SLINGS AS NOTED AND IN ACCORDANCE WITH OLDCASTLE LIFTING PROCEDURES.
  - MODULES MUST BE PLACED AS CLOSE TOGETHER AS POSSIBLE, AND GAPS SHALL NOT BE GREATER THAN 3/4". ALL EXTERIOR SYSTEM JOINTS SHALL BE COVERED WITH A MIN. 5" JOINT WRAP ON SIDES AND TOP (CS-212 CONEAL OR EQUIVALENT) IN A CLAMSHHELL DESIGN. INSTALL ONE ROW CS-102 CONEAL (OR EQUIVALENT) BETWEEN PRECAST PIECES.
  - AUTHORIZATION SHOULD BE GIVEN BY THE PROJECT ENGINEER OR DESIGNATED PERSON PRIOR TO PLACEMENT ON BACKFILL FOR THE SYSTEM. CARE SHOULD BE TAKEN DURING PLACEMENT OF BACKFILL NOT TO DISPLACE MODULES OR JOINT WRAP. BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY OR AS SPECIFIED, AND SHOULD NOT BE COMPACTED WITHIN 6" OF MODULE.
  - CONSTRUCTION EQUIPMENT EXCEEDING DESIGN LOADS SHALL NOT BE ALLOWED ON STRUCTURE.
  - TERMS/AGENTS TO BE KNOCKED OUT AT SPECIFIED LOCATIONS IN FIELD BY OTHERS. SEE SITE LAYOUT FOR LOCATIONS.

**INLETS AND RISERS:**

ALL PIPE INLETS SHALL EXTEND INSIDE MODULE A MINIMUM OF 4". PLACE A NON-SHRINK, NON-METALLIC GROUT, MIN. 3,000 PSI IN ANNUAL SPACE TO ELIMINATE ALL VOIDS.

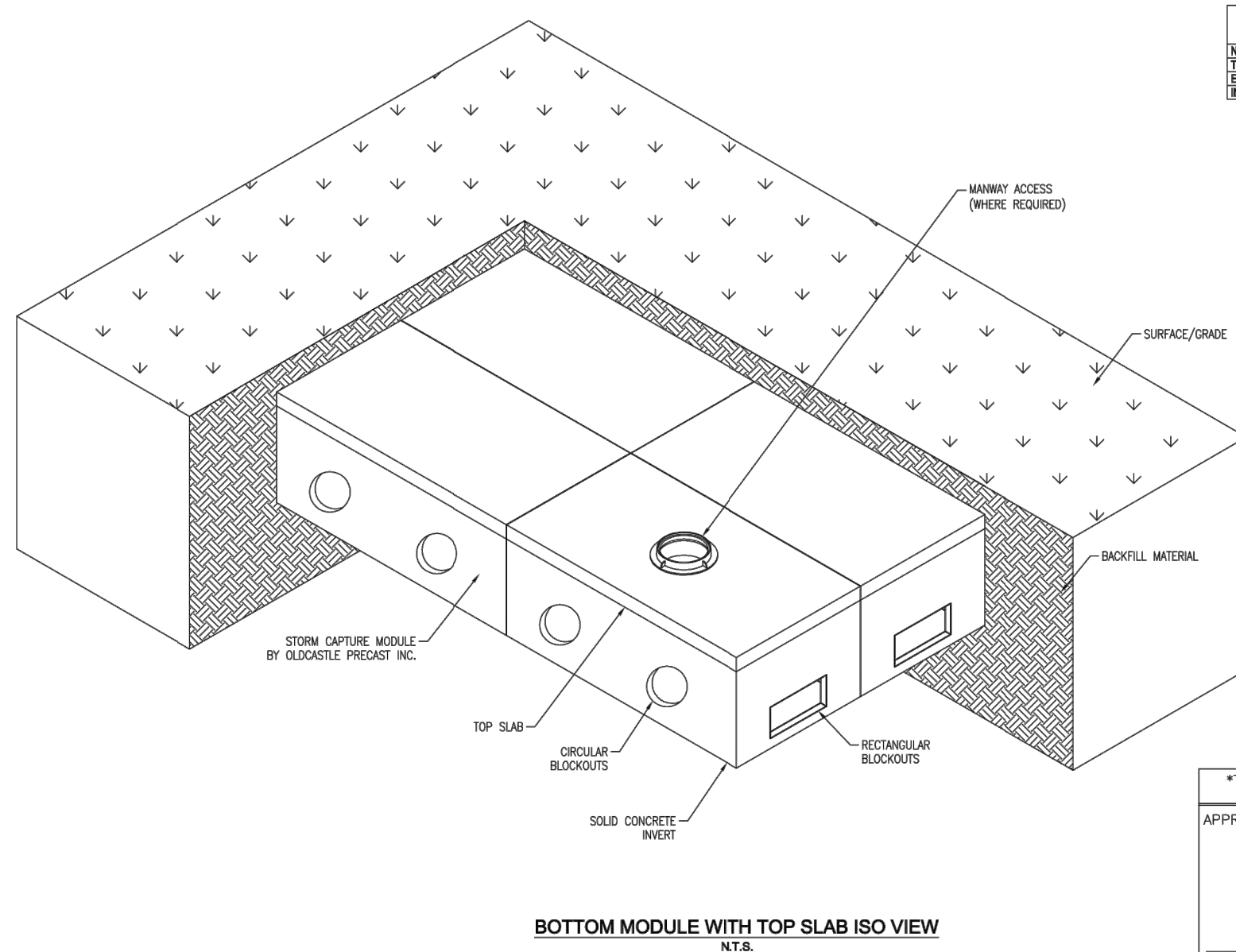
REVISIONS		
REVISION	DATE	DESCRIPTION OF REVISION

**STORMCAPTURE™**

**TABLE OF CONTENTS**

NOTES & GENERAL INFO	1
TYPICAL ELEVATION	2
EXTERIOR DETAILS	3
INTERIOR DETAILS	4

NOTE: THIS VIEW IS FOR ILLUSTRATION PURPOSES ONLY TO SHOW FEATURES OF THE SYSTEM. ACTUAL LAYOUT DIMENSIONS OF PROJECT, SEE SITE PLAN LAYOUT. ALL PERIMETER WALLS ARE SOLID.



**BOTTOM MODULE WITH TOP SLAB ISO VIEW**

\*THIS MUST BE FILLED OUT BEFORE MANUFACTURING. RECORD APPROVED W/ NO EXCEPTIONS TAKEN. APPROVED AS NOTED. REVISE AND RESUBMIT.

**- PRELIMINARY - NOT FOR CONSTRUCTION**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**Oldcastle Stormwater Solutions**  
PERMANENT POOL ELEVATION: FINISHED GRADE +0.00  
 PERMANENT POOL DEPTH: 3'-0"  
 PERMANENT POOL FLOOR: FINISHED GRADE -3'-0"  
 PERMANENT POOL WALL: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"  
 PERMANENT POOL CURB: FINISHED GRADE -3'-0"

**STORMCAPTURE**  
 NOTES & GENERAL INFO

CUSTOMER: \_\_\_\_\_

DATE	DATE	ISSUED	DATE	ISSUED	DATE	ISSUED

SC-2 8' base with top slab REV DATE 1 OF 4

1  
C5.2  
8'x16'x2'  
VAULT

**STORMFILTER STEEL CATCHBASIN DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 1 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF ONE CARTRIDGE. SYSTEM IS SHOWN WITH A 27" CARTRIDGE. AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	18" DEEP
CARTRIDGE HEIGHT	3'-6"	2'-3"	3'-3"
RECOMMENDED HYDRAULIC DROP (H)	2 gpm/sf	1.67' gpm/sf	1 gpm/sf
SPECIFIC FLOW RATE (gpm/sf)	22.5	18.75	11.25
CARTRIDGE FLOW RATE (gpm)	15	12.53	7.5
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.8
PEAK HYDRAULIC CAPACITY	1.0	1.0	2.0
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-9"	3'-9"	4'-9"

\* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY.

**GENERAL NOTES:**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
- STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
- MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "O" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SCFB.
- STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
- STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR WITH #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7 INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

**INSTALLATION NOTES:**

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

**PLAN VIEW**

**SECTION A-A**

**SECTION B-B**

**1-CARTRIDGE CATCHBASIN STORMFILTER DATA**

STRUCTURE ID	XXX
WATER QUALITY FLOW RATE (cfs)	X.XX
PEAK FLOW RATE (<1 cfs)	X.XX
RETURN PERIOD OF PEAK FLOW (yrs)	XXX
CARTRIDGE HEIGHT (27" 18" 18" DEEP)	XX
CARTRIDGE FLOW RATE (gpm)	XXXXX
MEDIA TYPE (PERLITE, ZPG, PSORB)	XXXXX
RIM ELEVATION	XXX.XX

PIPE DATA: I.E. DIAMETER

INLET STUB	XXX.XX	XX
OUTLET STUB	XXX.XX	XX

CONFIGURATION: INLET, INLET

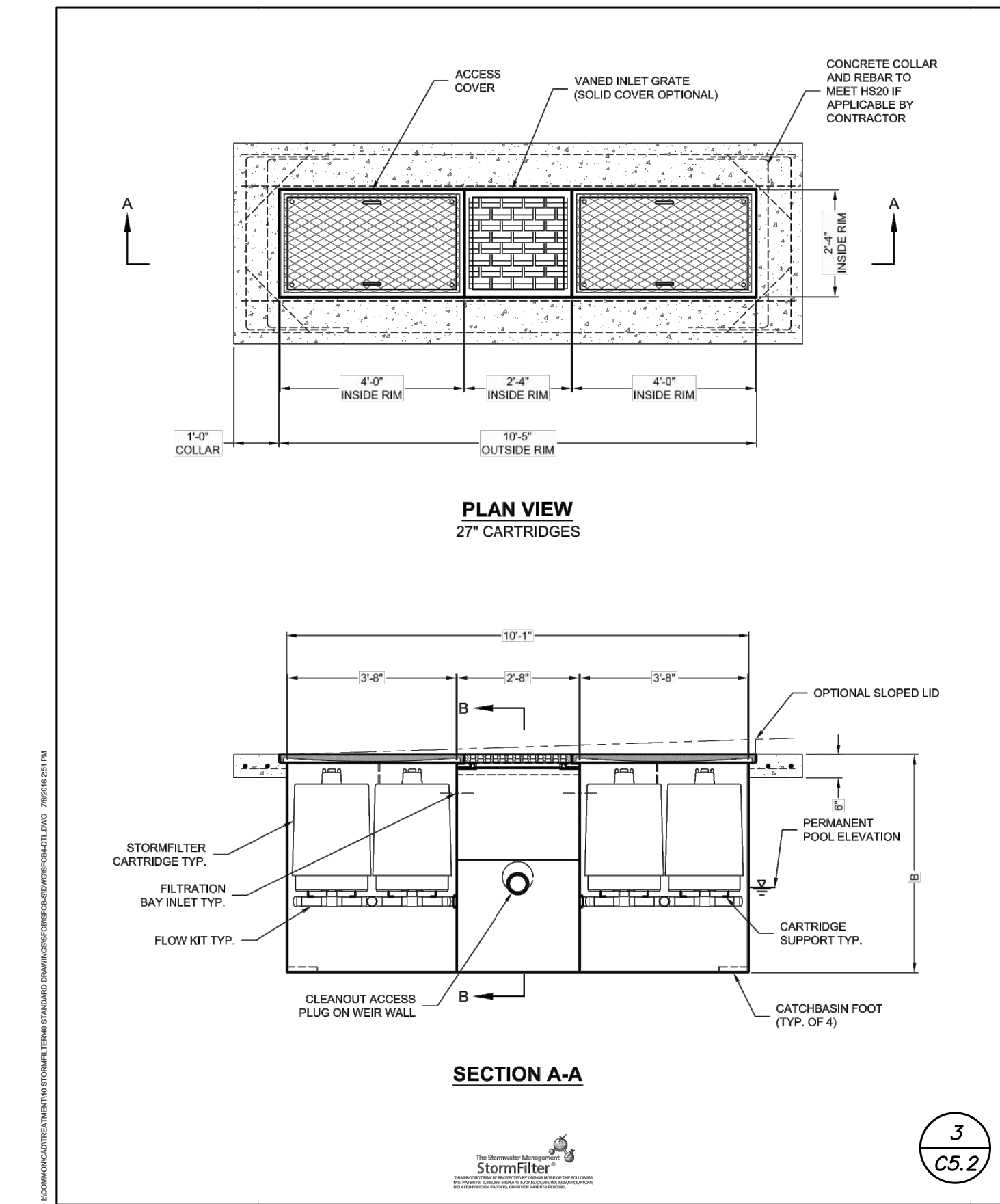
SLOPED LID	YES/NO
SOLID COVER	YES/NO

NOTES/SPECIAL REQUIREMENTS:

**CONTECH ENGINEERED SOLUTIONS LLC**

9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399  
 800-626-3999 513-645-7000 513-645-7993 FAX

**1 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL**



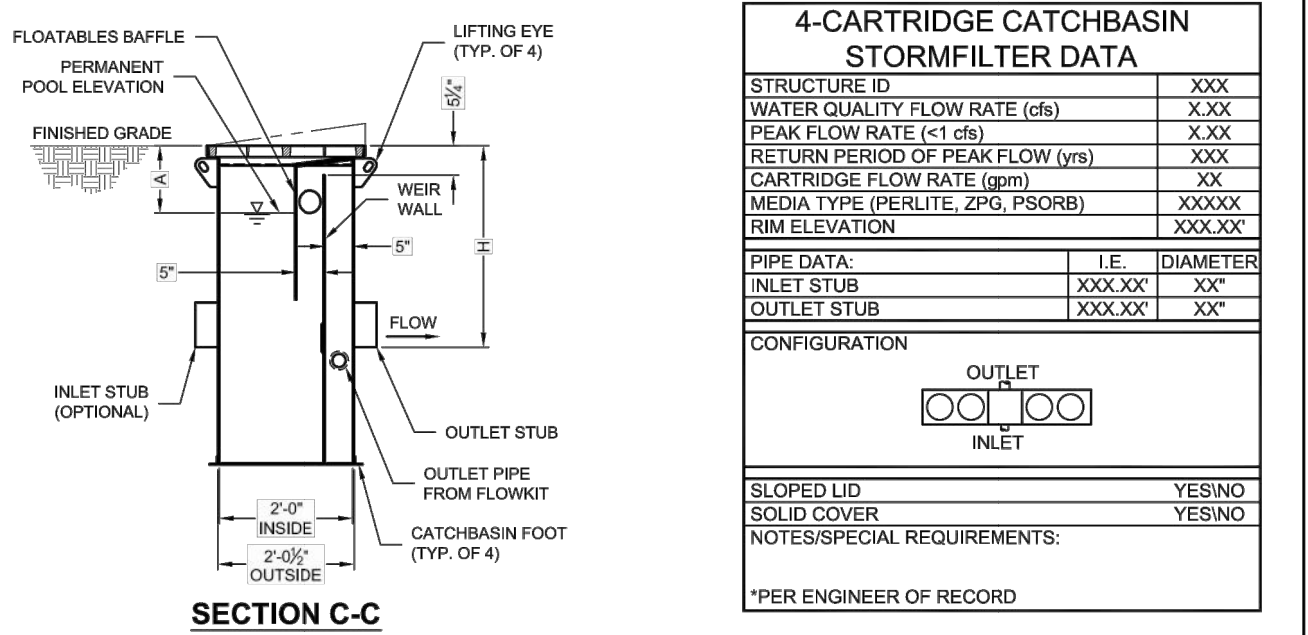
**STORMFILTER STEEL CATCHBASIN DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 4 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF FOUR CARTRIDGES. SYSTEM IS SHOWN WITH A 27" CARTRIDGE. AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	18" DEEP
CARTRIDGE HEIGHT	3'-6"	2'-3"	3'-3"
RECOMMENDED HYDRAULIC DROP (H)	2 gpm/sf	1.67' gpm/sf	1 gpm/sf
SPECIFIC FLOW RATE (gpm/sf)	22.5	18.75	11.25
CARTRIDGE FLOW RATE (gpm)	15	12.53	7.5
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.8
PEAK HYDRAULIC CAPACITY	1.0	1.0	2.0
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-9"	3'-9"	4'-9"

\* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY.

- GENERAL NOTES:**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
  - MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "O" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SCFB.
  - STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
  - STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR WITH #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
  - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7 INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
  - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).
- INSTALLATION NOTES:**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



**4-CARTRIDGE CATCHBASIN STORMFILTER DATA**

STRUCTURE ID	XXX
WATER QUALITY FLOW RATE (cfs)	X.XX
PEAK FLOW RATE (<1 cfs)	X.XX
RETURN PERIOD OF PEAK FLOW (yrs)	XXX
CARTRIDGE FLOW RATE (gpm)	XX
MEDIA TYPE (PERLITE, ZPG, PSORB)	XXXXX
RIM ELEVATION	XXX.XX

PIPE DATA: I.E. DIAMETER

INLET STUB	XXX.XX	XX
OUTLET STUB	XXX.XX	XX

CONFIGURATION: OUTLET, INLET

SLOPED LID	YES/NO
SOLID COVER	YES/NO

NOTES/SPECIAL REQUIREMENTS:

3  
C5.2

**CONTECH ENGINEERED SOLUTIONS LLC**

9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399  
 800-626-3999 513-645-7000 513-645-7993 FAX

**4 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL**

**DL CONSULTING WA INC.**

500 West 8th Street  
 Suite 45  
 Vancouver, WA 98660  
 (360) 567-6466

**REGISTERED PROFESSIONAL ENGINEER**  
 19180  
 GARY I. DARLING  
 JULY 15, 1997  
 EXPIRES 12-31-23

**BASELINE BASKETBALL FACILITY  
 CORNELIUS, OR  
 STORM DRAINAGE PLAN**

REV.	DATE	BY

**PROJECT NUMBER SAM060**

Date: 09/09/2022

Scale: AS SHOWN

Drawn By: JEM

Designed By: GID

Checked By: GID

**C5.2**

**DL**  
DL CONSULTING WA INC.  
500 West 8th Street  
Suite 45  
Vancouver, WA 98660  
(360) 567-6466

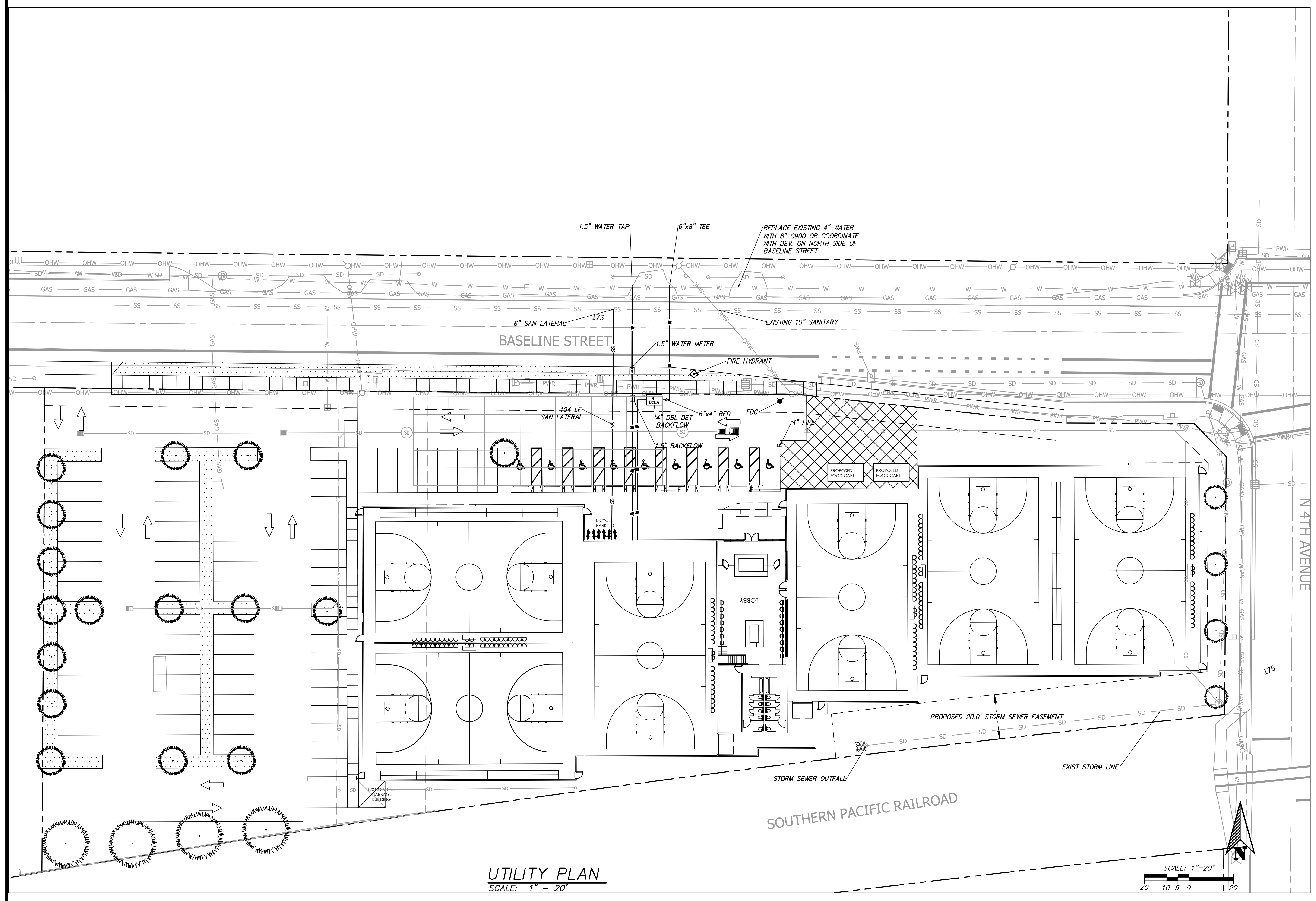
REGISTERED PROFESSIONAL ENGINEER  
19160  
ORIGON  
JULY 15, 1997  
GARY I. DARLING  
EXPIRES 12-31-23

**BASELINE BASKETBALL FACILITY  
CORNELIUS, OR  
UTILITY PLAN**

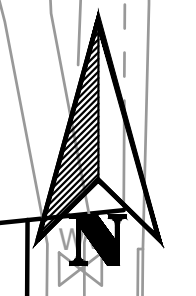
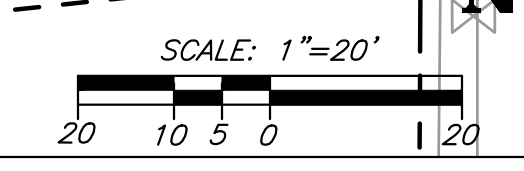
REV.	DATE	BY

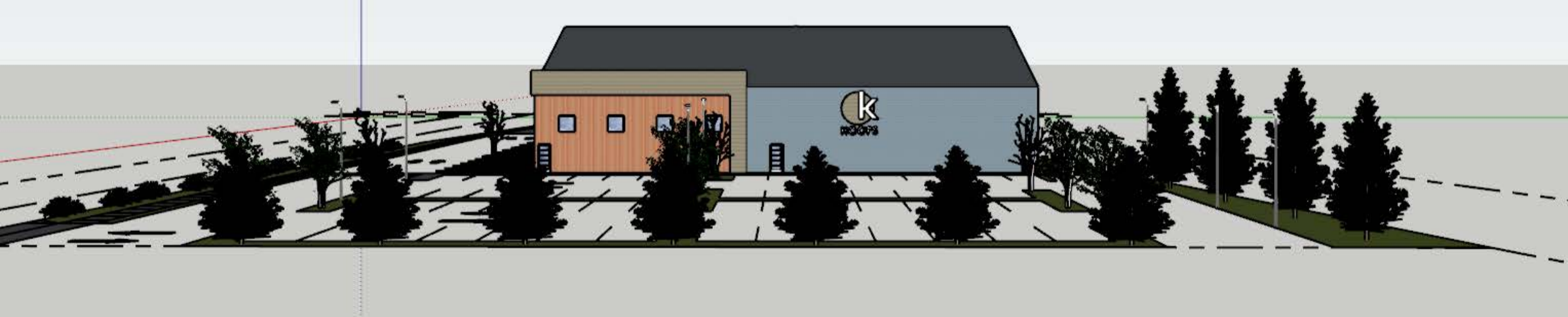
PROJECT NUMBER	SAM060
Date:	09/09/2022
Scale:	AS SHOWN
Drawn By:	SAD
Designed By:	GID
Checked By:	GID

**C6**

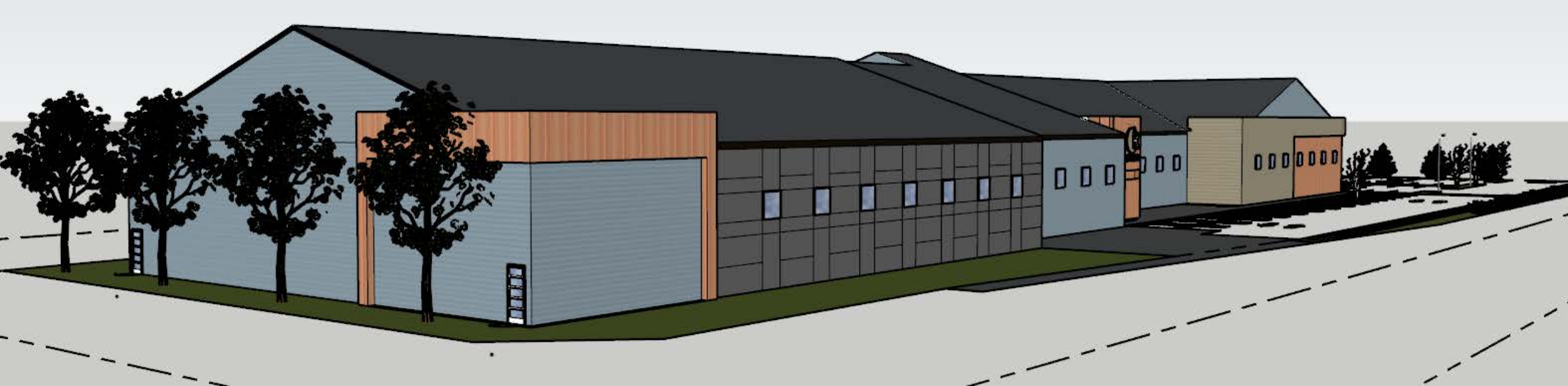


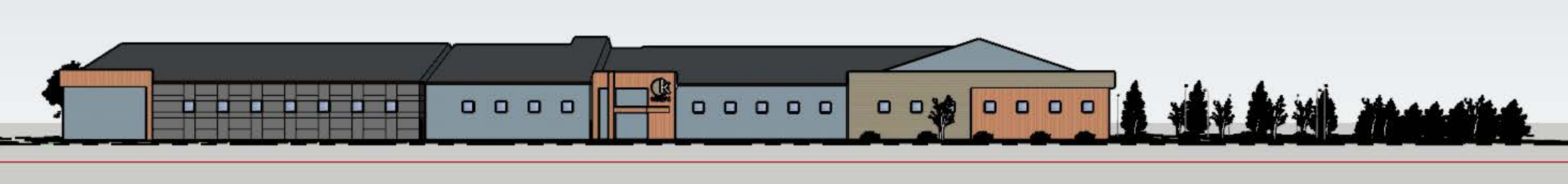
**UTILITY PLAN**  
SCALE: 1" = 20'













# Exhibit “B”

## Memo

Subject: Engineering Land Use Comments for Sports Complex on SW Corner 4<sup>th</sup> and Baseline

Date: September 26, 2022

By: Terry, Keyes, P.E., City Engineer

---

These comments are based on existing conditions on the site.

The comments are preliminary and designed to help in creating a final engineering construction drawing for approval. While the comments should not be interpreted as the final engineering comments on the development, these comments attempt to cover all major public infrastructure, erosion control, and stormwater runoff requirements related to development of this site.

Comments in **red** engineering conditions of approval.

## General

The site consists of two parcels totaling 2.10 acres at the southwest corner of Baseline and 4<sup>th</sup> Avenue.

All plans for public improvements must be designed by a registered professional engineer. Bonding for public improvements is typically required to ensure the improvements are completed in a satisfactory manner. Improvement plans for Baseline and Adair must be approved by both the City and Oregon Department of Transportation (ODOT). ODOT requires its own permits for work in their right-of-way. The timelines for ODOT review and permitting is typically longer than the city's timelines.

## Street

### *Baseline*

The frontage along Baseline is unimproved with a combination bike lane/shoulder adjacent to a road-side ditch. Street lights are mounted on PGE power poles. The overhead power lines on the south side of the street include PGE transmission lines near the top of the existing poles and PGE distribution lines midway up the poles. The poles also appear to support telecommunication lines.

Frontage improvements required by the City are similar to ODOT and include:

- Bike lane
- Concrete curb and gutter
- 6-foot parkway strip

- 6-foot concrete sidewalk
- Driveways entering Baseline shall meet the Cornelius Standard Detail for a *Commercial Driveway with a Parkway Strip (Detail S-22)* or the appropriate ODOT detail

The plans dated 9-9-22 show the above improvements.

**The applicant is also required to place cobra-head street lights on dedicated poles along the Baseline frontage.**

The applicant's plans show a new sidewalk and parkway strip along Baseline, connecting to the existing sidewalk where the right-turn lane/bus pull-out exists. The sidewalk in the right-turn lane is curb-tight, which is not optimal. However, because this sidewalk already exists, this sidewalk location is acceptable, assuming it is the minimum of 6-feet wide.

**Where any obstructions exist in the sidewalk, e.g., power poles, light poles, hydrants, etc., the applicant is required to provide a minimum sidewalk clearance around the obstruction of 4-feet.**

Normally the City requires street trees along the street frontage, however, since Baseline is a ODOT highway, ODOT prohibits trees in their right-of-way. Apparently, to ODOT, trees are a hazard to drivers, even if they offer protection from vehicles to pedestrians. To deal with ODOT's street tree prohibition, the city often requires the trees instead be placed on the property side of the sidewalk. However, along most of the Baseline frontage, no planting space exists because of the proximity of the sidewalk to the parking lot. **However, where space exists on the Baseline frontage near 4th, street trees shall be located on the south side of the sidewalk.**

**All the improvements above , except the street trees, shall be within the Baseline right-of-way. If the current right-of-way is insufficient to contain these improvements, the applicant shall dedicate the additional right-of-way needed.**

Along this stretch of Baseline are major PGE transmission lines with telecommunication lines located on the same poles. These transmission lines cannot be located underground. Since the PGE lines must remain overhead and street trees are not possible along most of the Baseline frontage, the applicant does not need to underground any of the overhead utilities along Baseline.

Finally, since Baseline is State highway, ODOT may have additional requirements for frontage improvements. If the City and ODOT requirements conflict, typically the more stringent requirement prevails.

Also, as an ODOT road, ODOT controls access to Baseline. **The applicant will need to gain permission from ODOT for the proposed access onto Baseline and any work in the Baseline right-of-way requires approval and permits from ODOT.**

The City did not require a traffic study for this development because the traffic volumes anticipated for this type of development are highly unlikely to cause any needs for mitigation measures.

#### *4<sup>th</sup> Avenue*

The frontage along 4th is improved with a concrete curb and gutter and a concrete curb-tight sidewalk. The sidewalk separates from the curb as it approaches the rail crossing.

Street lights are mounted on PGE power poles on the east side of 4th. No overhead power lines exist on the west side of the 4th. A power pole mounted light exists at the NE corner of 4<sup>th</sup> and the railroad crossing.

Street trees are required along the 4th Avenue frontage and are shown on the submitted site plan. **These trees shall meet the diversity and other requirements in the Cornelius Public Works Standards.** Also, their location should not block access to the storm sewer easement along the south edge of the parcel.

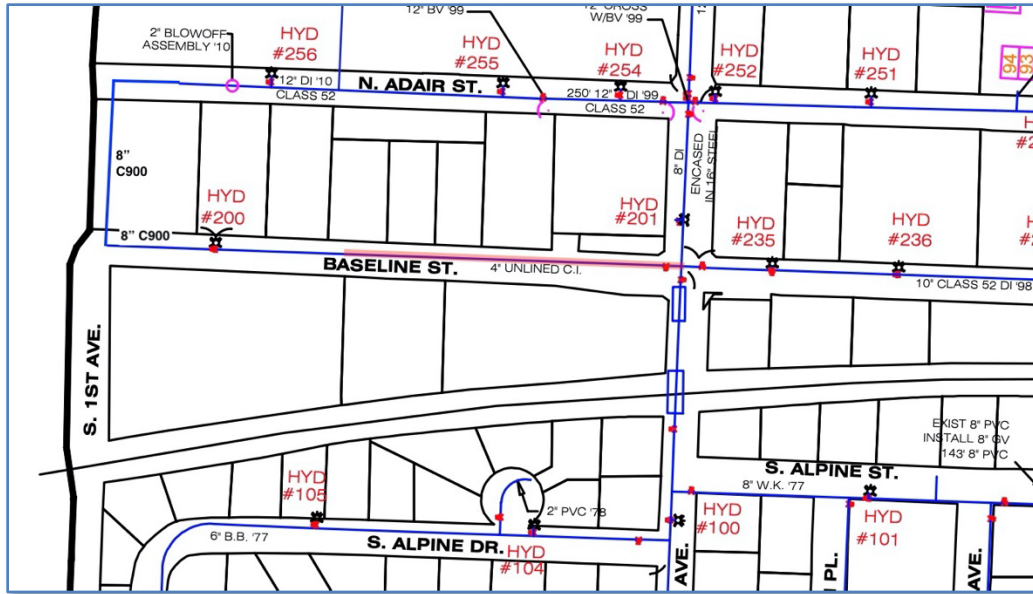
While the frontage is fully improved with curb/gutter and sidewalk, a couple of changes are required:

- **If the sidewalk on 4th is not 6-feet wide, it shall be widened to 6-feet to meet City collector standards.**
- **The portion of the sidewalk at the stormwater easement (adjacent to the railroad tracks) shall be replaced with drivable sidewalk (8" concrete on a 4" base with rebar) to allow for city maintenance vehicles that may drive on the easement.**

#### Water

An 8-inch ductile iron water main exists on 4<sup>th</sup> Avenue adjacent to the site. This main meets current standards. A 4-inch unlined cast iron water main exists along the Baseline frontage that does not meet standards.

**The applicant is required to replace the water main along the Baseline frontage with an 8" C900 pipe.** The area where this replacement is necessary is shown in the map below with red shading.



Fire hydrants exist at the northwest corner of 4<sup>th</sup> and Baseline and 160 feet west of the site on the north side of Baseline. **At least one and possibly two fire hydrants are required to be located on the south side of Baseline along the site frontage.** The Fire Department will determine the location of the hydrants.

**Sanitary Sewer**

A 10" sanitary sewer exists along the Baseline frontage. The applicant shall connect to this sanitary sewer. No public sanitary sewer improvements are required.

**Stormwater**

*Conveyance*

Stormwater on the south side of Baseline is handled by a roadside ditch. Some type of storm pipe exists on a portion of the south side of Baseline along the frontage, but this pipe is likely to be substandard and will need to be replaced.

**As part of the improvements to the Baseline frontage, the applicant is required to install catch basins and the appropriate storm sewer to handle the right-of-way runoff.**

4<sup>th</sup> contains a storm sewer along the frontage that carries runoff from the northeast. **The applicant's engineer needs to analyze the capacity of the existing pipe along the frontage. If the pipe lacks capacity to carry runoff from the basin at built-out, then the pipe shall be replaced by the applicant.**

The storm sewer on 4<sup>th</sup> turns west north of the railroad and discharges into a ditch that flows west along the south property line about 160 feet west of 4<sup>th</sup> Avenue. The applicant proposes a 20-foot storm easement adjacent to the railroad right-of-way.

While a maintenance access road is not required in this easement, the sidewalk that crosses the easement on 4th shall be reconstructed, as noted above, so that it can support maintenance vehicles.

*Treatment, Detention, and LIDA*

Stormwater runoff from all new development in urban Washington County must be treated and detained in accordance with Clean Water Services (CWS) Standards. The CWS requirements consist of three parts.

- 1) *Treatment* - All runoff from new impervious surfaces must be treated before release into the public storm system. Treatment for commercial sites like this typically entails use of biofiltration swales, rain gardens, or stormwater filters
- 2) *Hydromodification or Detention* - This requirement is based on a series of factors. These factors and their ratings for this site are:

Risk - low

Development Class - developed area

Project Size - large (over 80,000 sq.ft.)

These criteria place the project in CWS's *Category 2*. Category 2 projects require significant detention as spelled out in the CWS Design and Construction Standards. Detention is typically provided by underground pipes or ponds.

- 3) *Low Impact Development Approach (LIDA)* - Projects must also incorporate some type of LIDA or green approach to stormwater control. Surface stormwater facilities such as swales and detention ponds meet the LIDA requirement. Other approaches that meet LIDA include: pervious pavement and green roofs.

**Therefore, the project will need to meet the CWS requirements for treatment, hydromodification, and LIDA.**

The applicant proposes to use underground detention and treatment structures, that are allowed. The City Engineer will review these in more detail when reviewing the final engineering plans and stormwater report.

**The preliminary plans do not appear to show the LIDA requirement above being addressed. The final engineering plan must meet the LIDA requirement.**

**Service Provider Letter**

The applicant has a *Service Provide Letter* (SPL) from Clean Water Services and thus meets the requirement for an SPL.

**Erosion Control**

**An erosion control plan is required for this project.** Since 1 acre or more of land will be disturbed, the erosion control plan will need to meet the requirements for a 1200-CN permit.

**From:** [Dave Nemeyer](#)  
**To:** [Tim Franz](#)  
**Subject:** RE: Sam Kem Sports Court application  
**Date:** Friday, August 26, 2022 11:49:36 AM

---

Ok, I am really torn on this one....as anything over 30 feet requires a 26 foot wide fire lane on one side of the building, and I just don't see where that's possible.

With that in mind, I have the following comments for this project:

1. Fire Department Connection (FDC) shall be a 4 inch storz thread type, and mounted on a 30 degree elbow turned downward.
2. Address posting shall be clearly visible from Baseline Street, with street numbers minimum 8 inches high for this type of building.
3. Approved signage indicating no parking – fire lane shall be posted along the north vehicle access area, as well as that which is in the southwest corner of the parking lot. These areas shall be posted on both sides as fire lanes.
4. Turning radius shall be 28' inside – 48' outside for the parking areas, as this ensures adequate turn arounds for fire and emergency vehicles
5. Provide fire extinguishers that meet or exceed the minimum 2A 10B C rating in approved locations throughout the interior of the complex.
6. Provide the fire department with a PDF file of the floor and site plans of this facility. This shall show all utility controls, fire protection equipment locations, and doors, as well as any appropriate room or location identifiers. We will use this for our pre-emergency planning purposes and mapping systems.

***David Nemeyer***

*Division Chief – Fire & Life Safety*

*Forest Grove Fire & Rescue*

*1919 Ash Street*

*Forest Grove, Oregon 97116*

*Desk: 503.992.3177*

---

**From:** Tim Franz <Tim.Franz@corneliusor.gov>  
**Sent:** Friday, August 26, 2022 10:23 AM  
**To:** Dave Nemeyer <dnemeyer@forestgrove-or.gov>  
**Subject:** RE: Sam Kem Sports Court application

Hi Dave,

Sam is proposing the building to be approximately 38'2" high. It may ultimately be a little taller as he also has talked about placing solar panels on top of it.

*Tim Franz, Senior Planner*  
*City of Cornelius*



*Community Development  
1300 S. Kodiak Circle  
Mailing: 1355 N. Barlow Street  
Cornelius, OR 97113*

*Phone: (503) 357-3011*

---

**From:** Dave Nemeyer <[dnemeyer@forestgrove-or.gov](mailto:dnemeyer@forestgrove-or.gov)>  
**Sent:** Friday, August 26, 2022 10:19 AM  
**To:** Tim Franz <[Tim.Franz@corneliusor.gov](mailto:Tim.Franz@corneliusor.gov)>  
**Subject:** RE: Sam Kem Sports Court application

Hi Tim,

Did they settle on a building height for this project? We have some issues with their fire lanes if that place exceeds 30 feet to the top of a parapet.

Thanks!

Dave

***David Nemeyer***  
*Division Chief – Fire & Life Safety  
Forest Grove Fire & Rescue  
1919 Ash Street  
Forest Grove, Oregon 97116  
Desk: 503.992.3177*

---

**From:** Tim Franz <[Tim.Franz@corneliusor.gov](mailto:Tim.Franz@corneliusor.gov)>  
**Sent:** Monday, August 22, 2022 1:46 PM  
**To:** Rob Drake <[rob.drake@corneliusor.gov](mailto:rob.drake@corneliusor.gov)>; Barbara Fryer <[Barbara.Fryer@corneliusor.gov](mailto:Barbara.Fryer@corneliusor.gov)>; Terry Keyes <[terry.keyes@corneliusor.gov](mailto:terry.keyes@corneliusor.gov)>; Mark Crowell <[mark.crowell@corneliusor.gov](mailto:mark.crowell@corneliusor.gov)>; Rich Mead <[rmead@forestgrove-or.gov](mailto:rmead@forestgrove-or.gov)>; Susan Rush <[Susan.Rush@corneliusor.gov](mailto:Susan.Rush@corneliusor.gov)>; Dave Nemeyer <[dnemeyer@forestgrove-or.gov](mailto:dnemeyer@forestgrove-or.gov)>; 'Bob Ray' <[Bob\\_Ray@co.washington.or.us](mailto:Bob_Ray@co.washington.or.us)>  
**Subject:** Sam Kem Sports Court application

Good afternoon,

On September 27<sup>th</sup> the Planning Commission will be considering Sam's proposed project located at the corner of S 4<sup>th</sup> Ave and Baseline Street. Attached is a plan set for your review. There are other plans and information, so if you don't see what you are looking for, please let me know and try to get those to you.

He is proposing a Type III Site Design Review (DR-129-22), Type II Preliminary Land Partition Plat for the consolidation of the two lots into one new legal lot (LP-03-22) and a Type III Conditional Use Permit (CUP-04-22) to exceed the 35' building height limitation by 3'2".

If you have any comments for the staff report/record, please send them to me by September 12<sup>th</sup>.

Thanks,

*Tim Franz, Senior Planner  
City of Cornelius  
Community Development  
1300 S. Kodiak Circle  
Mailing: 1355 N. Barlow Street  
Cornelius, OR 97113*

*Phone: (503) 357-3011*

If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.

**If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.**

If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.

**If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.**

**From:** [Dave Nemeyer](#)  
**To:** [Tim Franz](#)  
**Subject:** RE: Sam Kem Sports Court application  
**Date:** Friday, August 26, 2022 1:26:36 PM

---

Also, can we add:

7. Provide a Knox brand key box near what is identified as the front/main entrance for this building.

***David Nemeyer***

*Division Chief – Fire & Life Safety*

*Forest Grove Fire & Rescue*

*1919 Ash Street*

*Forest Grove, Oregon 97116*

*Desk: 503.992.3177*

---

**From:** Tim Franz <Tim.Franz@corneliusor.gov>  
**Sent:** Friday, August 26, 2022 12:04 PM  
**To:** Dave Nemeyer <dnemeyer@forestgrove-or.gov>  
**Cc:** Barbara Fryer <Barbara.Fryer@corneliusor.gov>  
**Subject:** RE: Sam Kem Sports Court application

Thank you Dave.

We'll make these conditions of approval.

*Tim Franz, Senior Planner  
City of Cornelius  
Community Development  
1300 S. Kodiak Circle  
Mailing: 1355 N. Barlow Street  
Cornelius, OR 97113*

*Phone: (503) 357-3011*

---

**From:** Dave Nemeyer <[dnemeyer@forestgrove-or.gov](mailto:dnemeyer@forestgrove-or.gov)>  
**Sent:** Friday, August 26, 2022 11:49 AM  
**To:** Tim Franz <[Tim.Franz@corneliusor.gov](mailto:Tim.Franz@corneliusor.gov)>  
**Subject:** RE: Sam Kem Sports Court application

Ok, I am really torn on this one....as anything over 30 feet requires a 26 foot wide fire lane on one side of the building, and I just don't see where that's possible.

With that in mind, I have the following comments for this project:

1. Fire Department Connection (FDC) shall be a 4 inch storz thread type, and mounted on a 30 degree elbow turned downward.
2. Address posting shall be clearly visible from Baseline Street, with street numbers minimum 8 inches high for this type of building.
3. Approved signage indicating no parking – fire lane shall be posted along the north vehicle access area, as well as that which is in the southwest corner of the parking lot. These areas shall be posted on both sides as fire lanes.
4. Turning radius shall be 28’ inside – 48’ outside for the parking areas, as this ensures adequate turn arounds for fire and emergency vehicles
5. Provide fire extinguishers that meet or exceed the minimum 2A 10B C rating in approved locations throughout the interior of the complex.
6. Provide the fire department with a PDF file of the floor and site plans of this facility. This shall show all utility controls, fire protection equipment locations, and doors, as well as any appropriate room or location identifiers. We will use this for our pre-emergency planning purposes and mapping systems.

***David Nemeyer***

*Division Chief – Fire & Life Safety*

*Forest Grove Fire & Rescue*

*1919 Ash Street*

*Forest Grove, Oregon 97116*

*Desk: 503.992.3177*

---

**From:** Tim Franz <[Tim.Franz@corneliusor.gov](mailto:Tim.Franz@corneliusor.gov)>

**Sent:** Friday, August 26, 2022 10:23 AM

**To:** Dave Nemeyer <[dnemeyer@forestgrove-or.gov](mailto:dnemeyer@forestgrove-or.gov)>

**Subject:** RE: Sam Kem Sports Court application

Hi Dave,

Sam is proposing the building to be approximately 38’2” high. It may ultimately be a little taller as he also has talked about placing solar panels on top of it.

*Tim Franz, Senior Planner*

*City of Cornelius*

*Community Development*

*1300 S. Kodiak Circle*

*Mailing: 1355 N. Barlow Street*

*Cornelius, OR 97113*

*Phone: (503) 357-3011*

---

**From:** Dave Nemeyer <[dnemeyer@forestgrove-or.gov](mailto:dnemeyer@forestgrove-or.gov)>  
**Sent:** Friday, August 26, 2022 10:19 AM  
**To:** Tim Franz <[Tim.Franz@corneliusor.gov](mailto:Tim.Franz@corneliusor.gov)>  
**Subject:** RE: Sam Kem Sports Court application

Hi Tim,

Did they settle on a building height for this project? We have some issues with their fire lanes if that place exceeds 30 feet to the top of a parapet.

Thanks!

Dave

**David Nemeyer**  
*Division Chief – Fire & Life Safety*  
*Forest Grove Fire & Rescue*  
*1919 Ash Street*  
*Forest Grove, Oregon 97116*  
*Desk: 503.992.3177*

---

**From:** Tim Franz <[Tim.Franz@corneliusor.gov](mailto:Tim.Franz@corneliusor.gov)>  
**Sent:** Monday, August 22, 2022 1:46 PM  
**To:** Rob Drake <[rob.drake@corneliusor.gov](mailto:rob.drake@corneliusor.gov)>; Barbara Fryer <[Barbara.Fryer@corneliusor.gov](mailto:Barbara.Fryer@corneliusor.gov)>; Terry Keyes <[terry.keyes@corneliusor.gov](mailto:terry.keyes@corneliusor.gov)>; Mark Crowell <[mark.crowell@corneliusor.gov](mailto:mark.crowell@corneliusor.gov)>; Rich Mead <[rmead@forestgrove-or.gov](mailto:rmead@forestgrove-or.gov)>; Susan Rush <[Susan.Rush@corneliusor.gov](mailto:Susan.Rush@corneliusor.gov)>; Dave Nemeyer <[dnemeyer@forestgrove-or.gov](mailto:dnemeyer@forestgrove-or.gov)>; 'Bob Ray' <[Bob\\_Ray@co.washington.or.us](mailto:Bob_Ray@co.washington.or.us)>  
**Subject:** Sam Kem Sports Court application

Good afternoon,

On September 27<sup>th</sup> the Planning Commission will be considering Sam's proposed project located at the corner of S 4<sup>th</sup> Ave and Baseline Street. Attached is a plan set for your review. There are other plans and information, so if you don't see what you are looking for, please let me know and try to get those to you.

He is proposing a Type III Site Design Review (DR-129-22), Type II Preliminary Land Partition Plat for the consolidation of the two lots into one new legal lot (LP-03-22) and a Type III Conditional Use Permit (CUP-04-22) to exceed the 35' building height limitation by 3'2".

If you have any comments for the staff report/record, please send them to me by September 12<sup>th</sup>.

Thanks,

*Tim Franz, Senior Planner  
City of Cornelius  
Community Development  
1300 S. Kodiak Circle  
Mailing: 1355 N. Barlow Street  
Cornelius, OR 97113*

*Phone: (503) 357-3011*

If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.

**If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.**

If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.

**If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.**

If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.

**If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.**

# Exhibit “C”

# Pamplin MediaGroup

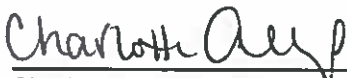
6605 SE Lake Road, Portland, OR 97222  
PO Box 22109 Portland, OR 97269-2169  
Phone: 503-684-0360 Fax: 503-620-3433  
E-mail: [legals@commnewspapers.com](mailto:legals@commnewspapers.com)

## AFFIDAVIT OF PUBLICATION

State of Oregon, County of Washington, Clackamas, SS I, Charlotte Allsop, being the first duly sworn, depose and say that I am the Accounting Manager of the **News Times, Hillsboro Tribune**, a newspaper of general circulation, serving Forest Grove, Hillsboro in the aforesaid county and state, as defined by ORS 193.010 and 193.020, that

**City of Cornelius**  
**NOTICE IS HEREBY GIVEN**  
**Ad#: 254154**

A copy of which is hereto annexed, was published in the entire issue of said newspaper(s) for 1 week(s) in the following issue(s):  
**09/01/2022**



Charlotte Allsop (Accounting Manager)

Subscribed and sworn to before me this  
09/01/2022.



NOTARY PUBLIC FOR OREGON

Acct #: 117756  
Attn: Tim Franz  
CORNELIUS, CITY OF  
1355 N BARLOW ST  
CORNELIUS, OR 97113



Received

SEP 12 2022

Administration  
City of Cornelius

RECEIVED

SEP 12 2022

CORNELIUS  
PUBLIC WORKS

**NOTICE IS HEREBY GIVEN** that a Public Hearing will be held before the City of Cornelius Planning Commission on Tuesday, **September 27, 2022 at 7:00 pm** in-person at 1355 N. Barlow St. in the Cornelius Council Chambers and online via the Zoom meeting platform at <https://zoom.us/j/88657023542>. Participants may also join by phone by calling +1 253 215 8782 US (Tacoma) and using meeting ID 886 5702 3542.

**Request:** A Type III Site Design Review (DR-129-22) for a new indoor recreational facility that will consist of six full sized tournament courts; a Type II 'One-Lot' Preliminary Land Partition (LP-03-22) to legally combine two tax lots into one new lot and a Type III Conditional Use Permit (CUP-04-22) to exceed the maximum 35-foot height of the zone by 3 feet 2 inches. The site is within the Highway Commercial (C-2) Zoning District. The project includes roadway improvements for Baseline Street, interior spaces for two mobile food vendors, on-site parking and landscaping.

**Applicant:** Samedy Kem  
**Property Owner:** Russell Resources, LLC  
**Location:** 271 Baseline Street, Cornelius OR 97113  
**Map:** Map 1S304BB, Tax Lots #100 & #200  
**Zone:** Highway Commercial (C-2)

**Applicable Criteria:** CMC Title 17: Subdivisions: Chapter 17.05 Land Divisions, CMC Title 18 Zoning: Chapter 18.45 Highway-Commercial (C-2), Chapter 18.100 Site Design Review, Chapter 18.105 Conditional Use Permit, Chapter 18.145 Off-Street Parking and Loading, Chapter 18.143 Transportation Facilities, and Chapter 18.155 Solar Access for New Development.

At the time and place listed above all persons will be given a reasonable opportunity to give testimony either for or against the proposal. Testimony may be either in oral or written form and must be relevant to the criteria listed above on which the proposal will be evaluated. At the public hearing, the Chair will open the public hearing, a staff report will be presented, the applicant may provide additional information on their proposal interested persons will be allowed to speak for or against the proposal or to ask questions, Planning Commission members will ask any general questions, and the public hearing will be closed.

In order for an issue to be considered for appeal to the City Council, it must be raised before the close of the record of the public hearing before the Planning Commission. Such issue must be raised with sufficient specificity so as to afford the hearing body and the parties an adequate opportunity to respond to each issue.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for review at the Community Development Department, 1300 S Kodiak Circle during regular business hours. A Staff Report will be available at least seven (7) days prior to the scheduled public hearing. Copies may also be purchased at a reasonable cost of 25 cents per page. If you have questions regarding the application or would like to submit written comments you may contact Tim Franz, Senior Planner at (503) 357-3011 or [tim\\_franz@corneliusor.gov](mailto:tim_franz@corneliusor.gov), or Barbara Fryer, Community Development Director at (503) 357-3011 or [barbara.fryer@corneliusor.gov](mailto:barbara.fryer@corneliusor.gov).

Publish Sept 1, 2022

FGNT25415



**AFFIDAVIT OF MAILING**

State of Oregon        )  
                                  )    ss  
County of Washington)

I, Rachael Patterson, being first duly sworn, depose and say:

That I served upon the following named persons a Notice of Public Hearing  
Copy of which is marked Exhibit A, attached hereto and by this reference incorporated herein,  
by mailing to them a true and correct copy thereof on the 1 day of September, 22.  
I further certify that said copies were then placed in a sealed envelope addressed as follows:

See Exhibit B attached hereto and by the reference incorporated herein,

Said envelope(s) were then placed in the United States Post Office at Cornelius, Oregon, with  
postage thereon fully prepaid.

Signed: Rachael Patten

# Cornelius

Oregon's Family Town

**NOTICE IS HEREBY GIVEN** that a Public Hearing will be held before the City of Cornelius Planning Commission on Tuesday, **September 27, 2022 at 7:00 pm** in-person at 1355 N. Barlow St. in the Cornelius Council Chambers and online via the Zoom meeting platform at <https://zoom.us/j/88657023542>. Participants may also join by phone by calling +1 253 215 8782 US (Tacoma) and using meeting ID 886 5702 3542.

**Request:** A Type III Site Design Review (DR-129-22) for a new indoor recreational facility that will consist of six full sized tournament courts; a Type II 'One-Lot' Preliminary Land Partition (LP-03-22) to legally combine two tax lots into one new lot and a Type III Conditional Use Permit (CUP-04-22) to exceed the maximum 35-foot height of the zone by 3 feet 2 inches. The site is within the Highway Commercial (C-2) Zoning District. The project includes roadway improvements for Baseline Street, interior spaces for two mobile food vendors, on-site parking and landscaping.

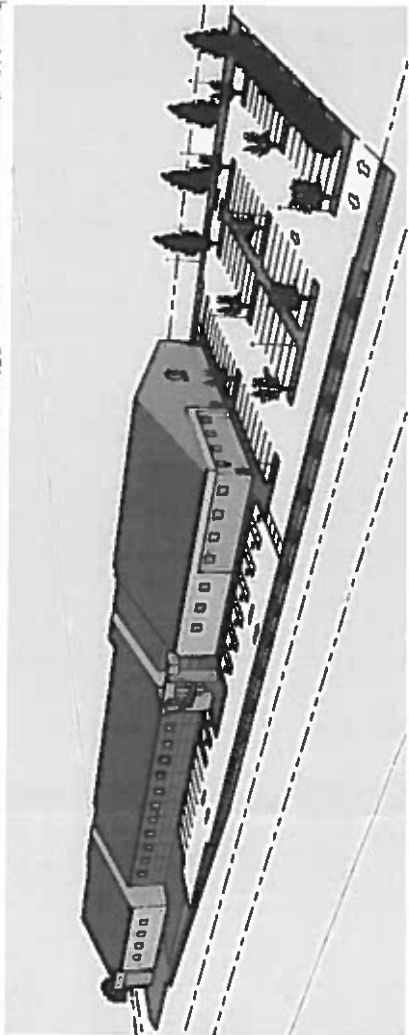
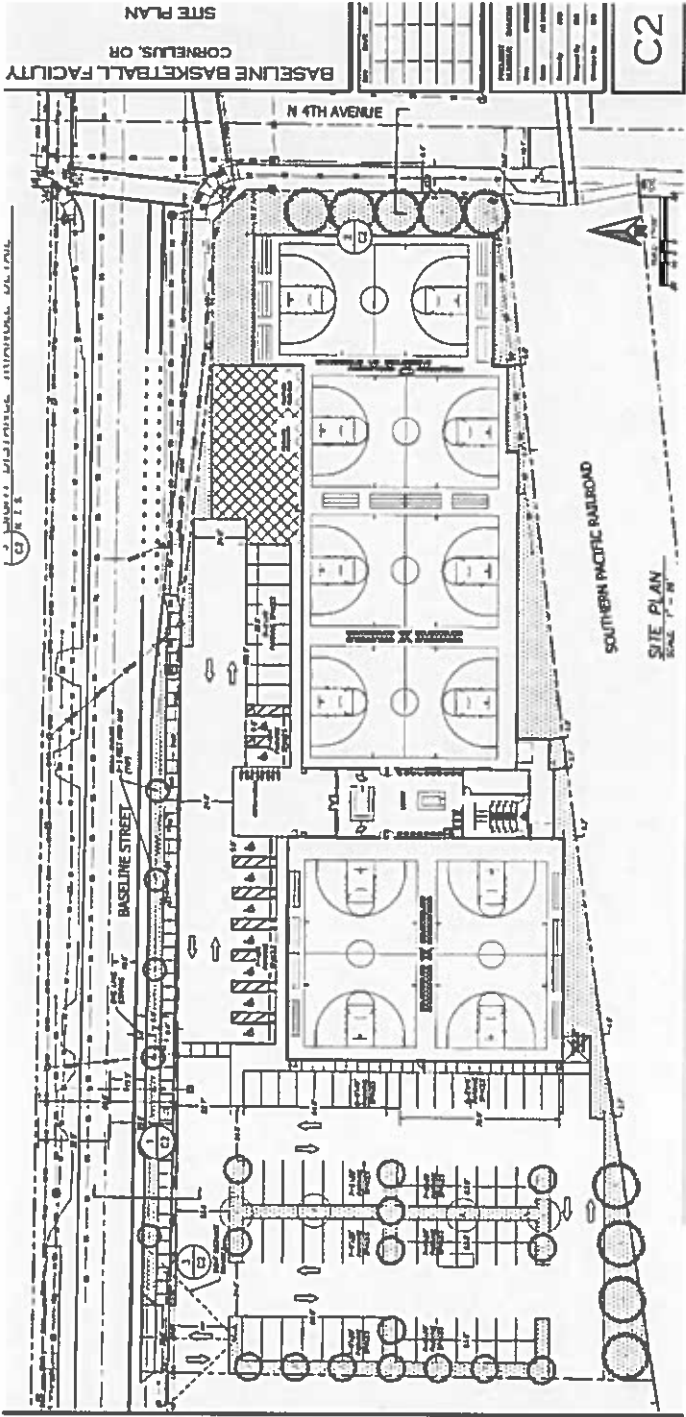
**Applicant:** Samedy Kem  
**Property Owner:** Russell Resources, LLC  
**Location:** 271 Baseline Street, Cornelius OR 97113  
**Map:** Map 1S304BB, Tax Lots #100 & #200  
**Zone:** Highway Commercial (C-2)

**Applicable Criteria:** CMC Title 17: Subdivisions: Chapter 17.05 Land Divisions, CMC Title 18 Zoning: Chapter 18.45 Highway Commercial (C-2), Chapter 18.100 Site Design Review, Chapter 18.105 Conditional Use Permit, Chapter 18.145 Off-Street Parking and Loading, Chapter 18.143 Transportation Facilities, and Chapter 18.155 Solar Access for New Development.

At the time and place listed above all persons will be given a reasonable opportunity to give testimony either for or against the proposal. Testimony may be either in oral or written form and must be relevant to the criteria listed above on which the proposal will be evaluated. At the public hearing, the Chair will open the public hearing, a staff report will be presented, the applicant may provide additional information on their proposal, interested persons will be allowed to speak for or against the proposal or to ask questions, Planning Commission members will ask any general questions, and the public hearing will be closed.

In order for an issue to be considered for appeal to the City Council, it must be raised before the close of the record of the public hearing before the Planning Commission. Such issues must be raised with sufficient specificity so as to afford the hearing body and the parties an adequate opportunity to respond to each issue.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for review at the Community Development Department, 1300 S. Kodiak Circle during regular business hours. A Staff Report will be available at least seven (7) days prior to the scheduled public hearing. Copies may also be purchased at a reasonable cost of 25 cents per page. If you have questions regarding the application or would like to submit written comments you may contact Tim Franz, Senior Planner at (503) 357-3011 or [tim.franz@corneliusor.gov](mailto:tim.franz@corneliusor.gov), or Barbara Fryer, Community Development Director at (503) 357-3011 or [barbara.fryer@corneliusor.gov](mailto:barbara.fryer@corneliusor.gov).



# Exhibit B

TUNO	ACCOUNT	OWNER/SORT	OWNER/NAME	OWNER/ADDR	OWNER/ADDR2	OWNER/ADDR3	OWNER/CITY	OWNER/F DOWNER/ZIP
1N333CCD2400	R751859	HBI E	HBI EQUITY LLC	5420 NW SEWELL RD			HILLSBORO	OR 97124
1N333CCD2500	R751868	HBI E	HBI EQUITY LLC	5420 NW SEWELL RD			HILLSBORO	OR 97124
1N333CCD2600	R751877	HBI E	HBI EQUITY LLC	5420 NW SEWELL RD			HILLSBORO	OR 97124
1N333CCD2700	R751886	HBI E	HBI EQUITY LLC	5420 NW SEWELL RD			HILLSBORO	OR 97124
1N333CCD2800	R751895	AUS E	AUS ENTERPRISES LLC	17104 SW GREEN HERON DR			SHERWOOD	OR 97140
1N333CCD2900	R751902	KUNTZ	KUNTZ ENTERPRISES LLC	PO BOX 329			CORNELIUS	OR 97113
1N333CCD3100	R751939	F DAV	F DAVIS PROPERTIES LLC	6950 NW KANSAS CITY RD			FOREST GROVE	OR 97116
1N333CCD3200	R751948	F DAV	F DAVIS PROPERTIES LLC	6950 NW KANSAS CITY RD			FOREST GROVE	OR 97116
1N333CCD3600	R751494	HBI E	HBI EQUITY LLC	5420 NW SEWELL RD			HILLSBORO	OR 97124
1N333CCD04400	R751519	WHEEL	WHEELER, PATRICIA & JOHN REVOCABLE TRUST	12705 SE RIVER RD #303C			PORTLAND	OR 97222
1S304BA0D500	R409427	ANRES	ANRES, MARVIN V ESTATE OF	% SCHOEN, MICHAEL J & PAMELIA A		PO BOX 153	CORNELIUS	OR 97113
1S304BA0D600	R409436	SCHOE	SCHOEN, MICHAEL J & PAMELIA A	PO BOX 153			CORNELIUS	OR 97113
1S304BA0D700	R409445	DEACO	CORNELIUS, CITY OF	1355 N BARLOW ST		2299 S GINGER ST	CORNELIUS	OR 97113
1S304BA0D7100	R409588	CHAVE	DEACOSTA, LUCIA CAZARES	CAZARES, RODOLFO ACCOSTA			CORNELIUS	OR 97113
1S304BA0D7200	R409597	MOREN	CHAVEZ, JAVIER MIRANDA	400 S ALPINE ST			CORNELIUS	OR 97113
1S304BB0D100	R409944	RUSSE	MORENO, ROBERTO S	440 S ALPINE ST			CORNELIUS	OR 97113
1S304BB0D200	R409953	RUSSE	RUSSELL RESOURCES LLC	PO BOX 367			CORNELIUS	OR 97113
1S304BB0D300	R409962	TILDE	RUSSELL RESOURCES LLC	PO BOX 367			CORNELIUS	OR 97113
1S304BB0D800	R410013	ROSAL	TILDE, RICHARD H REVOCABLE TRUST	TILDE, AVN SWODER REVOCABLE TRUST		PO BOX 25404	CORNELIUS	OR 97113
1S304BB0D900	R410022	GOMIEZ	ROSATES, JOSE SAUL	188 S ALPINE ST			CORNELIUS	OR 97113
1S304BB01000	R410031	OLVER	GOMIEZ, MARIA DE LOURDES DURAN	GAONA, JESUS SAUCEDO		198 S ALPINE DR	CORNELIUS	OR 97113
1S304BB01100	R410040	LOPEZ	OLVERA, MAX & MARIA TERESA	214 S ALPINE DR			CORNELIUS	OR 97113
1S304BB01200	R410059	BAUTJ	LOPEZ, IVAN	224 S ALPINE DR			CORNELIUS	OR 97113
1S304BB01300	R410068	CAIDE	BAUTISTA, SALVADOR	MIRAMONTES, GUADALUPE MARY		250 S ALPINE DR	CORNELIUS	OR 97113
1S304BB01400	R410077	ORTIZ	CAUDRON, JAIMÉ ORTIZ	DEORTIZ, EVELIA JIMENEZ		274, 282 S ALPINE DR	CORNELIUS	OR 97113
1S304BB01500	R410086	GARCI	ORTIZ, JOSE SANCHEZ	ORTIZ, EFRÉN SANCHEZ		300 S ALPINE DR	CORNELIUS	OR 97113
1S304BB01600	R410095	BUSTA	GARCIA, MIGUEL LOPEZA	REVES ORTIZ, MARIA		336 S ALPINE DR	CORNELIUS	OR 97113
1S304BB01700	R410102	CHAVE	BUSTAMANTE, LUCILA	1349 S ALPINE ST			CORNELIUS	OR 97113
1S304BB04800	R410415	GALLE	CHAVEZ, MARIA DEESUS	368 S ALPINE DR			CORNELIUS	OR 97113
1S304BB04801	R972594	DRISC	GALLEGOS, GRISEL	123 & 139 S 4TH AVE			CORNELIUS	OR 97113
			DRISCOLL, GREG C	1315 NE 5TH DR			HILLSBORO	OR 97124
			KEM, SAMEDIY	17891 SW PHEASANT LN			ALOHA	OR 97003

## Office\_Address\_List

	A	B	C	D	E	F	G
	Company Name	Department	Name	Address Line 1	City	State	ZIP Code
1							
2	City of Cornelius			1355 N Barlow St	Cornelius	OR	97113
3	City of Forest Grove		Attn: James Reitz	PO Box 326	Forest Grove	OR	97116
4	City of Hillsboro			123 W Main Street	Hillsboro	OR	97123
5	Clean Water Services	Development Services Department	Attn: Jackie Humphreys	2550 SW Hillsboro Hwy.	Hillsboro	OR	97124
6	Comcast Cable Communications			14200 SW Brigadoon Court	Beaverton	OR	97005
7	Cornelius Rural Fire Protection Dist.			1355 N Barlow St	Cornelius	OR	97113
8	CPO 12C		c/o Joseph Auth	325 NW 334th Ave.	Hillsboro	OR	97124
9	CPO Coordinators	Oregon State Univ. Extension	Carol Renaud	245 N First Ave, MS20	Hillsboro	OR	97124
10	Department of Economic Development			775 Summer St, NE	Salem	OR	97301
11	Department of Energy			550 Capitol St NE FL 1	Salem	OR	97301
12	DEQ			700 NE Multnomah St Ste. 600	Portland	OR	97232
13	Dept of Land Conservation and Development		Attn: Anne Debbaut	635 Capitol Street NE, Suite 150	Salem	OR	97301
14	Dept of Land Use & Transportation	County Surveyors Office	Attn: Scott Young	155 N 1st Ave, Ste #350-15	Hillsboro	OR	97124
15	District 18 Watermaster			1400 SW Walnut St. #240, MS 49	Hillsboro	OR	97124
16	Evergreen Disposal & Recycling			PO Box 5069	Aloha	OR	97006
17	Forest Grove School District			1728 Main St	Forest Grove	OR	97116
18	Hillsboro School District		Attn: Casey Walelich	3083 NE 49th Place	Hillsboro	OR	97124
19	Home Builders Association		Attn: Justin Wood	15555 SW Barnegay Road Suite 301	Lake Oswego	OR	97035
20	METRO Parks			600 NE Grand Ave	Portland	OR	97232
21	Metro Regional Services	Compliance Coordinator		600 NE Grand Ave.	Portland	OR	97232
22	Metro Regional Services	Senior Transportation Planner	Attn: Caleb Wintler	600 NE Grand Ave.	Portland	OR	97232
23	NW Natural Gas Company			250 SW Taylor St.	Portland	OR	97204
24	ODOT Rail Division			555 13th St. NE Suite 3	Salem	OR	97301
25	ODOT Region 1	Development Review Program		123 NW Flanders	Portland	OR	97209
26	Oregon State Dept of Fish & Wildlife			4034 Fairview Industrial Dr SE	Salem	OR	97302
27	Oregon State Division of State Lands			775 Summer Street NE	Salem	OR	97301
28	Port of Portland			P. O. Box 3529	Portland	OR	97208
29	Portland & Western Railroad, Inc.			3220 State St Ste 200	Salem	OR	97301
30	Portland General Electric			121 SW Salmon St	Portland	OR	97204
31	Tri-Met			4012 SE 17th Ave	Portland	OR	97202
32	Tualatin Soil and Water Conservation District			7175 NE Evergreen Pkwy, #400	Hillsboro	OR	97124
33	Tualatin Valley Irrigation Dist			2330 Elm St	Forest Grove	OR	97116
34	US Army Corps of Engineers			P. O. Box 2946	Portland	OR	97208
35	USPS		Attn: Post Master	1330 SW Walnut Street	Hillsboro	OR	97123
36	Washington County Assessment and Taxation Dept			155 N 1st Ave	Hillsboro	OR	97124
37	Washington County Enhanced Sheriffs Patrol Dist.			215 SW Adams Ave., MS-32	Hillsboro	OR	97123
38	Washington County Health & Human Services			155 N 1st Ave, Ste. 170 MS-23	Hillsboro	OR	97124
39	Washington County Housing Authority			111 NE Lincoln Street Suite 200-L	Hillsboro	OR	97124
40	Washington County Land Use & Transportation	Planning Division	Attn: Paul Schaeffer, Senior Planner	155 N 1st Ave, Ste#350 MS 14	Hillsboro	OR	97124
41	Washington County Land Use & Transportation	Planning & Development Services	Attn: Principal Planner	155 N 1st Ave, Ste. 350, MS 14	Hillsboro	OR	97124
42	WCCCA 9-1-1	Data Services	Attn: Ian Crawford	17911 NW Evergreen Pl	Beaverton	OR	97006

# Exhibit “D”

**From:** [Tim Franz](#)  
**To:** [MANN Prescott E](#)  
**Cc:** [Barbara Fryer](#)  
**Subject:** RE: Site Design Review (DR-129-22) at 271 Baseline Street  
**Date:** Monday, September 12, 2022 9:35:00 AM

---

Good morning Prescott,

Thank you for your comments. We are having difficulty opening your attached picture. Can you try resending it another format?

Thanks,

*Tim Franz, Senior Planner  
City of Cornelius  
Community Development  
1300 S. Kodiak Circle  
Mailing: 1355 N. Barlow Street  
Cornelius, OR 97113*

*Phone: (503) 357-3011*

---

**From:** MANN Prescott E <Prescott.E.MANN@odot.oregon.gov>  
**Sent:** Wednesday, September 7, 2022 9:41 AM  
**To:** Tim Franz <Tim.Franz@corneliusor.gov>; Barbara Fryer <Barbara.Fryer@corneliusor.gov>  
**Cc:** GOODMAN Cary <Cary.GOODMAN@odot.oregon.gov>; PRICE Ruth E <Ruth.E.PRICE@odot.oregon.gov>; MALM Christopher S <Christopher.S.MALM@odot.oregon.gov>  
**Subject:** Site Design Review (DR-129-22) at 271 Baseline Street

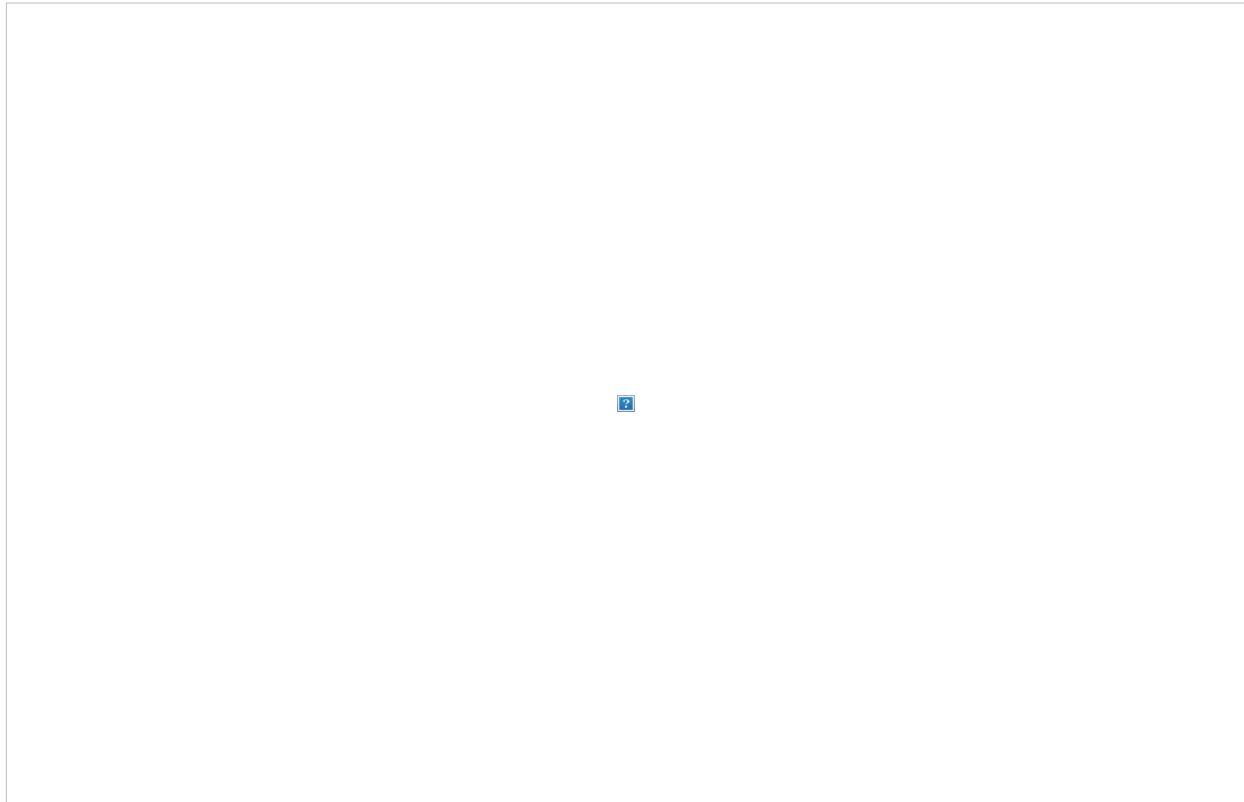
Good morning Tim and Barbara, I responding to the TYPE III Site Design Review (DR-129-22). I have the following a comment.

South 1<sup>st</sup> was closed and barricaded in the past but as shown circled in the pic below, there is apparent trespassing coming from the adjacent neighborhood which could be increased by the proposed development. I would recommend the city consider trespassing mitigation along the rail corridor to stop this trespassing. Alternatively if there is public need for pedestrian traffic at this location, the City could apply for a pedestrian rail crossing.

If you would like a rail crossing representative to attend the meeting on the 27<sup>th</sup> we can accommodate. Otherwise, please accept this as comment regarding this proposal.

Thanks you.

Prescott Mann



If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.

**From:** [DEBLASI Michael \\* DSL](#)  
**To:** [Tim Franz](#); [Barbara Fryer](#)  
**Cc:** [BROWN Jevra \\* DSL](#)  
**Subject:** 271 Baseline Street, Cornelius OR (DR-129-22)  
**Date:** Thursday, September 8, 2022 2:58:05 PM

---

The properties under review (1S304BB, Tax Lots 100 & 200) have a wetland identified in the City of Cornelius' Local Wetland [Inventory](#). This triggers the requirement of submitting a Wetland Land Use Notification to the Department of State Lands. NOTE: This form is to be used only by local governments, not by landowners or agents.

The form and additional information can be found on our website (<https://www.oregon.gov/dsl/WW/Pages/WetlandConservation.aspx>).

If you have questions about the Wetland Land Use Notice process, you may contact Jevra Brown. Removal-fill permitting questions can be sent to me.

*Thank you,*  
Michael De Blasi  
***Aquatic Resources Coordinator  
Washington County***

Oregon Department of State Lands  
775 Summer St NE, Suite 100  
Salem, Ore 97303  
503.986.5226  
<http://www.oregon.gov/DSL/Pages/index.aspx>

**NOTE NEW EMAIL ADDRESS:** [michael.deblasi@DSL.Oregon.gov](mailto:michael.deblasi@DSL.Oregon.gov)

**Confidentiality Notice:** The information contained in this e-mail is intended only for the recipient(s) to whom it is addressed.

Its contents, including any attachments, may contain confidential and/or privileged information.

If you are not an intended recipient you must not use, disclose, disseminate, copy or print its contents.

If you receive this e-mail in error, please notify the sender by reply e-mail and delete and destroy the message.

If you believe you have received this email by mistake, please inform us by an email reply and then delete the message. Also, the integrity and security of this email cannot be guaranteed over the Internet.



# Exhibit “E”

**WAIVER OR EXTENSION OF 120 DAY RULE AT APPLICANT'S REQUEST**

State law requires the City to issue a final decision on land use reviews within 120 days of receiving a complete application. State law also allows an applicant to request in writing an extension of the 120-day review period for up to an additional 245 days.

When extensions are requested, it is important to ensure that there is adequate time to accommodate the required public review, drafting the decision, and any required hearings (including appeals) within the extended review period.

To request an extension of the 120-day review period, submit this form to the Community Development Department.

Applicant: Samedy Kem

Application Case Number: DR-130-22

Date of Complete Application: August 12, 2022

Date of 120 Day Period December 10, 2022

Pursuant to ORS 227.178\*, the Applicant requests to (check one):


- Extend the 120-day period for an additional 30 days to date of January 9, 2023.
- Extends the 120-day period to the maximum extension of 245 days to date of August 12, 2023. Note: The total number of extension requests may not exceed 245 days.

**\* 227.178 final action on certain applications required within 120 days; procedure; exceptions; refund of fees.**  
(1) Except as provided in subsections (3) and (4) of this section, the governing body of a city or its designee shall take final action on an application for a permit, limited land use decision or zone change, including resolution of all appeals under ORS 227.180, within 120 days after the application is deemed complete.

(4) The 120-day period set in subsection (1) of this section may be extended for a reasonable period of time at the request of the applicant.

(9) A city may not compel an applicant to waive the 120-day period set in subsection (1) of this section or to waive the provisions of subsection (7) of this section or ORS 227.179 as a condition for taking any action on an application for a permit, limited land use decision or zone change except when such applications are filed concurrently and considered jointly with a plan amendment.

By signing this form, the applicant acknowledges that the 120-day review period for this land use review application will be extended for the number of days specified.

  
\_\_\_\_\_  
Applicant signature

9/6/2022  
\_\_\_\_\_  
Date

Name: Samedy Kem

Address: 20449 SW Tualatin Valley Hwy #325 Aloha, Oregon 97003

Phone: 971.563.0552 email: samedy@kem-consultant.com

# Exhibit “F”



# Wetland Land Use Notification

## OREGON DEPARTMENT OF STATE LANDS

775 Summer Street NE, Suite 100, Salem, OR 97301-1279

Phone: (503) 986-5200

This form is to be completed by planning department staff for mapped wetlands and waterways.

\* Required Field (?) Tool Tips

## Responsible Jurisdiction

\*  City of  County of Municipality\* Date\*  
Cornelius 9/9/2022

## Staff Contact

First Name\* Last Name\*  
Barbara Fryer  
Phone\* Email\*  
5037133778 barbara.fryer@corneliusor.gov

## Applicant

First Name\* Last Name\*  
Samedy Kem  
Applicant Organization Name  
(if applicable)  
Kem Development INC  
Mailing Address\*  
Street Address  
20449 SW TV Highway #325  
Address Line 2  
City State  
Aloha Or  
Postal / Zip Code Country  
97003 USA  
Phone Email (?)  
971 205 2603 info@kem-development.inc

Is the Property Owner name and address the same as the Applicant? \*

No  Yes

## Property Owner

First Name\* Last Name\*  
Brenda Ineson

### Property Owner Organization Name

(if applicable)

Russell Resources, LLC

### Mailing Address (If different than Applicant Address)

Street Address

PO Box 367

Address Line 2

City

Cornelius

Postal / Zip Code

97113-0367

State

Or

Country

USA

### Phone

5038201110

### Email (?)

rresourcesLLC@gmail.com

## Activity Location



### Township\* (?)

01S

### Range\* (?)

03W

### Section\* (?)

04

### Quarter-quarter Section (?)

BB

### Tax Lot(s)\*

100,200

You can enter multiple tax lot numbers within this field. i.e. 100, 200, 300, etc.

To add additional tax map and lot information, please click the "add" button below.

### Address

Street Address

271 Baseline

Address Line 2

City

Cornelius

Postal / Zip Code

97113

State

Or

Country

USA

### County\*

Washington

### Adjacent Waterbody

## Proposed Activity



Prior to submitting, please ensure proposed activity will involve physical alterations to the land and/or new construction or expansion of footprint of existing structures.

### Local Case File #\* (?)

DR-129-22, LP-03-22, CUP-

### Zoning

Highway Commercial C-2

### Proposed

Building Permit (new structures)

Grading Permit

Site Plan Approval

Other (please describe)

Lot Consolidation

Conditional use Permit

Planned Unit Development

Subdivision

**Applicant's Project Description and Planner's Comments: \***

A Type III Site Design Review (DR-129-22) for a new indoor recreational facility that will consist of six full sized tournament courts; a Type II 'One-Lot' Preliminary Land Partition (LP-03-22) to legally combine two tax lots into one new lot and a Type III Conditional Use Permit (CUP-04-22) to exceed the maximum 35-foot height of the zone by 3 feet 2 inches. The site is within the Highway Commercial (C-2) Zoning District. The project includes roadway improvements for Baseline Street, interior spaces for two mobile food vendors, on-site parking and landscaping

---

**Required attachments with site marked: Tax map and legible, scaled site plan map. (?)**

---

**Additional Attachments**

**Date**

**CITY OF CORNELIUS LWI COVER SHEET**

<b>Wetland Identification:</b> TD-3	<b>Date of Field Verification:</b> May 8, 2002
<b>Investigators:</b> KV, JG (DSL)	<b>Size (acres):</b> @ 0.30
<b>Data Sheet:</b> TD-3-1	<b>Cowardin Classification:</b> PEM
	<b>HGM Classification:</b> Atypical Wetland

**LOCATION**

Map # 1S3-04BB Tax Lot # 100, 200, 300

**Other:** North of Union Pacific Railroad tracks; east of S. 1<sup>st</sup> Avenue

**Basin:** Tualatin River

**QUALITY**

OAR 141-086-0185 states that a wetland function and condition assessment using the *Oregon Freshwater Wetland Assessment Methodology (OFWAM)* shall be conducted to determine the quality and significance of the wetland. *OFWAM* results for TD-3 indicate it does not satisfies the Locally Significant Wetland Criteria identified in OAR 141-86-350.

**Soils:** Mapped Series: Verboort Silty Clay Loam

**Hydrology:** Hydrologic Source: Surface Flow

**Dominant Wetland Vegetation**

TREES	SHRUBS	VINES	HERBS
	<i>Salix sitchensis</i>		<i>Juncus effusus</i>
	<i>Salix lasiandra</i>		<i>Phalaris arundinacea</i>
	<i>Rubus discolor</i>		<i>Carex densa</i>

**QUANTITY**

The drainage originates in the City of Forest Grove and is immediately altered by road and railroad track construction as it enters the City of Cornelius. This isolated wetland area is less than five (5) acres in size and does not appear to connect to another water body or wetland.

**COMMENTS**

The source of this drainage ditch is in the City of Forest Grove. The drainage ditch flows southwest into Cornelius and follows along the north side of the Union Pacific railroad tracks.

**Wetland Classifications Codes:**

PEM – Palustrine Emergent PFO – Palustrine Forested PSS – Palustrine Scrub-Shrub  
 PUB – Palustrine Unconsolidated Bottom

**CITY OF CORNELIUS  
WETLAND DETERMINATION FORM**

Project: City of Cornelius	Site: TD-3	Plot: TD-3-1
Investigators: KV, JG (DSL)	Watershed: Tualatin River	Date: May 8, 2002
County: Washington	Township/Range: 1S 3W	Section: 04BB

**VEGETATION** **Criteria Met: YES**

**Dominant Species**

Tree Stratum	Shrub Stratum	Herbaceous Stratum
	<i>Salix sitchensis</i> FACW 30%	<i>Juncus effuses</i> FACW 40%
	<i>Salix lasiandra</i> FACW+ 30%	<i>Phalaris arundinace</i> FACW 60%
	<i>Rubus discolor</i> FACU 30%	<i>Carex densa</i> OBL Trace

Percent of dominant species FAC, FACW, or OBL: 4/4 100%

**SOILS** **Criteria Met: YES**

Mapped Series: Verboort Silty Clay Loam      Hydric Soil List: Yes  
 Classification: Fine, mixed, mesic, typic Argialbolls      Drainage Class: Poorly drained

Depth (In.)	Matrix Color	Redox Concentrations	Redox Depletions	Texture*/Structure
0-5	10YR 3/2			
5-12	10YR 3/1	7.5YR 4/6	c/f/p	

**Hydric Soil Indicators:**

Redox feature w/10"  
 Gleyed/Low Chroma

**Field Data:**

Depth of Inundation: 6 inches      Depth of Saturation: surface      Depth of Free Water:

**HYDROLOGY** **Criteria Met: YES**

**Primary Indicators**

Inundated: Yes  
 Drainage Patterns: Yes  
 Saturated in Upper 12 Inches: Yes  
 Water Marks:  
 Drift Lines  
 Sediment Deposits:

**Secondary Indicators**

Oxidized Root Channels:  
 FAC-Neutral Test:

**COMMENTS:** Drainage ditch has been modified by a local street and the railroad tracks. Rubus was rooted on the bank.



DIVISION OF STATE LANDS - WETLAND DETERMINATION DATA FORM

County: Washington Date: 5/8/02 File # TD-3  
 Project/Contact: \_\_\_\_\_ Det. by: KU, JG  
 Plant Community: \_\_\_\_\_ Plot # \_\_\_\_\_  
 Plot location: DOORWAY DITCH NORTH OF IRR LINE  
 Do normal environ. conditions exist? Y  N  Explain: \_\_\_\_\_  
 Has Veg.  Soil  Hydrology  been significantly disturbed?  
 Explain: \_\_\_\_\_

VEGETATION

Dominant Species	Status	% Cover	Dominant Species	Status	% Cover
<u>Tree Stratum</u>			<u>Herb Stratum</u>		
Total Cover: _____			Total Cover: <u>40%</u>		
1. _____			1. <u>Juncus effusus</u>	<u>FACW</u>	<u>40</u>
2. _____			2. <u>Phalaris arundinacea</u>	<u>FACW</u>	<u>60</u>
3. _____			3. <u>Carex diandra</u>	<u>OBL</u>	<u>11</u>
4. _____			4. _____		
<u>Sapling/Shrub Stratum</u>					
Total Cover: <u>10%</u>					
1. <u>Salix vitifolia</u>	<u>FACW</u>	<u>30</u>			
2. <u>Salix lasioandra</u>	<u>FACW</u>	<u>30</u>			
3. <u>Rubus discolor</u>	<u>FACU</u>	<u>30</u>			
4. _____					
5. _____					

Percent of Dominant Species that are OBL, FACW, FAC (not FAC-): 4/4 100%  
 Other Notable Species: Rubus noted on banks  
 Criteria Met? YES  NO

SOILS

Map Unit Name: Verboort Silty Clay Loam Drainage Class: partly drained  
 Taxonomy: Fine, mixed, mollic Typic Argioboll On Hydric Soils List? Y  N

Depth	Horizon	Matrix Color	Redox Concentrations*	Redox Depletions*	Texture	Structure
<u>0-5</u>		<u>10YR 3/2</u>				
<u>5-16</u>		<u>10YR 3/1</u>	<u>7.5YR 4/4</u>	<u>c/f/p</u>		

Hydric Soil Indicators:  
 Histosol  
 Histic Epipedon  
 Sulfidic Odor  
 Reducing Conditions (tests positive)  
 Gleyed / low chroma  
 Redox. features (w/in 10")  
 Criteria Met? YES  NO   
 Concretions/Nodules (w/in 3"; > 2mm)  
 High organic content in surface (in Sandy Soils)  
 Organic streaking (in Sandy Soils)  
 Organic pan (in Sandy Soils)  
 Listed on Hydric Soils List  
 Other: \_\_\_\_\_  
 \* abund./size/contrast/color/location (matrix or pores/peds)

HYDROLOGY

Recorded Data  
 Recorded Data Available: \_\_\_\_\_ Aerial Photos  Stream gauge  Other \_\_\_\_\_  
 No Recorded Data Available  
 Field Data  
 Depth of inundation: 6" Depth to Saturation: unfrozen Depth to free water: \_\_\_\_\_  
 Primary Hydrology Indicators:  
 Inundated  
 Saturated in upper 12 inches  
 Water Marks  
 Drift Lines  
 Sediment Deposits  
 Drainage Patterns  
 Criteria Met? YES  NO   
 Secondary Hydrology Indicators (2 or more required):  
 Oxidized Root Channels (upper 12")  
 Water-stained Leaves  
 Local Soil Survey Data  
 FAC-Neutral Test  
 Other: \_\_\_\_\_

DETERMINATION

WETLAND? YES  NO  Comments: \_\_\_\_\_

**CITY OF CORNELIUS**

**OREGON FRESHWATER WETLAND ASSESSMENT METHODOLOGY**

Date: May 8, 2002

Wetland Identification: TD-3

Investigators: KV, JG (DSL)

Wildlife Habitat	Fish Habitat - Streams	Fish Habitat - Lakes/Ponds	Water Quality	Hydrologic Control
Q1 - C	Q1 - C		Q1 - A	Q1 - B
Q2 - C	Q2 - C		Q2 - C	Q2 - C
Q3 - C	Q3 - C		Q3 - A	Q3 - B
Q4 - C	Q4 - A		Q4 - B	Q4 - A
Q5 - B	Q5 - C		Q5 - A	Q5 - C
Q6 - B	Q6 - C		Q6 - C	Q6 - A
Q7 - A				Q7 - A
Q8 - C				
Q9 - C				

Sensitivity to Impact	Enhancement Potential	Education	Recreation	Aesthetic Quality
Q1 - A	Q1 - A	Q1 - B	Q1 - A	Q1 - C
Q2 - B	Q2 - A	Q2 - A	Q2 - C	Q2 - A
Q3 - C	Q3 - B	Q3 - B	Q3 - A	Q3 - A
Q4 - A	Q4 - B	Q4 - C	Q4 - B	Q4 - B
Q5 - A	Q5 - C	Q5 - A	Q5 - B	Q5 - B
Q6 - B	Q6 - B	Q6 - A	Q6 - B	Q6 - B

<b>Wildlife Habitat</b>	The wetland provides some wildlife habitat.
<b>Fish Habitat - Streams</b>	The wetland's fish habitat function is impacted.
<b>Fish Habitat - Lakes/Ponds</b>	
<b>Water Quality</b>	The wetland's water quality function is impacted/degraded.
<b>Hydrologic Control</b>	The wetland's hydrologic control function is impacted/degraded.
<b>Sensitivity to Impact</b>	The wetland is potentially sensitive to future impacts.
<b>Enhancement Potential</b>	The wetland has moderate potential for enhancement.
<b>Education</b>	The wetland has potential for educational use.
<b>Recreation</b>	The wetland does provide recreation opportunities.
<b>Aesthetic Quality</b>	The wetland is considered moderately pleasing.

## City of Cornelius Wetland Inventory Summary Sheet

Wetland Site: TD-3, UP Railroad Ditch

<u>Function</u>	<u>Evaluation Descriptor</u>	<u>Rationale</u>
<b>Wildlife Habitat</b>	Provides some habitat for wildlife.	One Cowardin class present; emergent vegetation is the dominant cover; wetland is connected to what may be a perennial stream; developed uses in the form of a railroad track abut on the wetland on the south.
<b>Fish Habitat</b>	Fish habitat impacted.	Stream flows north to south; very little stream-side shade; dominant use at wetlands edge is RR Track; no fish present. This is not a fish habitat/
<b>Water Quality</b>	Water quality is impacted or degraded.	Primary source of water is surface flow; no evidence of ponding during growing season; over 60% of the wetland has vegetation cover; wetland is between 0.5 and 5 acres
<b>Hydrologic Control</b>	Hydrology is impacted or degraded.	None of the wetland is located in the 100 yr floodplain; No evidence of flooding during the growing season; wetland area 0.5 - 5 acres; emergent/wet meadow vegetation is dominant cover; dominant downstream uses are urban; dominant upstream use is urban.
<b>Sensitivity to Future Impacts</b>	Potentially sensitive to future impacts.	The adjacent stream bank has been modified by human activities; water is not being taken out upstream; no upstream/adjacent reaches are listed as water quality limited; Commercial development, a state highway and a railroad line are within 500 feet of wetland; emergent vegetation is the dominant vegetation cover.
<b>Enhancement Potential</b>	Moderate potential for enhancement	One or more of the functions is impacted or degraded; surface flow ditch is the primary source of water; a local street w/culvert has restricted the

		flow into the wetland; wetland area is between 0.5 and 5 acres ins size; less than 10% of the wetland's edge is bordered by a vegetative buffer 25 feet or more in width.
<b>Education</b>	Wetland has potential for educational use.	The wetland is not open for direct access, but observation is possible form a public sidewalk; no visible safety hazards exist; the wetland does not meet the criteria for provision of diverse fish & wildlife habitat;
<b>Recreation</b>	Wetland proivdes recreational opportunities	No access point, trails or boat launching areas exist; some wildlife habitat does exist; fishing is not an applicable activity for this area.
<b>Aesthetic Quality</b>	Wetland is not considered pleasing.	One Cowardin class is visible; over 50% of the wetland is visible from private property or public right-of-way; Visual detractors exist (highway, commercial development, RR tracks) and cannot be easily removed; the visual character of the surrounding area has been landscaped or manipulated by people; Unpleasant odors and audible noise from automobile traffic on the highway is present.

**Narrative Description of Overall Wetland Functions and Conditions**

This small wetland area has been modified by human activity through construction of a railroad track on the south. The water quality, wildlife habitat and hydrology functions are impacted/degraded and fish habitat is not present.

**CITY OF CORNELIUS  
LOCAL SIGNIFICANT WETLAND (LSW) CRITERIA CHECKLIST**

**Wetland Identification: TD-3**

**A. "OUT" Test**

Y	N	Wetlands that score "Yes" in any of the following categories do not proceed to Section B.
	X	Wetlands artificially created entirely from upland that is: <ul style="list-style-type: none"> <li>a. created for the purpose of controlling, storing, or maintaining stormwater;</li> <li>b. active surface mining ponds;</li> <li>c. ditches without free and open connection to waters of the state and without fish;</li> <li>d. &lt; 1 acre and unintentionally created from irrigation leak or construction activity;</li> <li>e. of any size and created for the purpose of wastewater treatment, shock watering, settling of sediment, cooling industrial water, or as a golf course hazard.</li> </ul>
	X	Documented as being contaminated by hazardous substances, materials or wastes ("Hazmat sites").

**B. "IN" Test**

Y	N	Wetlands that meet ONE OR MORE of the following criteria are LSWs.
	X	Wetlands that score the highest rank (stated in italics below) for any of the four ecological functions addressed by OFWAM or equivalent methodology: <ul style="list-style-type: none"> <li>___ <i>diverse</i> wildlife habitat</li> <li>___ <i>intact</i> fish habitat</li> <li>___ <i>intact</i> water quality</li> <li>___ <i>intact</i> hydrologic control</li> </ul>
	X	Wetlands that are rated in the second highest functional category for water quality (called <i>impacted or degraded</i> in OFWAM), <u>AND</u> that occur within 1/4 mile of a water quality-limited stream listed by DEQ.
	X	Contain one or more rare/uncommon wetland plant communities in Oregon. (most concise list is found as Appendix G in OFWAM)
	X	Inhabited by any species listed by the federal or state government as a sensitive, threatened or endangered species in Oregon (unless consultation w/appropriate agency deems the site not important for the maintenance of the species).
	X	Wetland rates in the second highest functional category for fish habitat (called <i>impacted or degraded</i> in OFWAM), and has a surface water connection to stream segment that is mapped by ODFW as habitat for "indigenous anadromous salmonids".
	X	OPTIONAL CRITERION (at discretion of local government): Wetland represents a <b>LOCALLY</b> unique plant community.
	X	OPTIONAL CRITERION (at discretion of local government): Wetland rates highest rank for education potential and there is documented use for educational purposes by a school or organization

\* Wetland does not meet the criteria in Section B, "IN" Test for significance.



T1S R3W SECTION 04

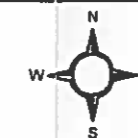
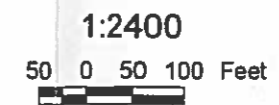
City of Cornelius  
Local  
Wetland Inventory

Wetland Site: TD-3

**Legend**

- X Sample Plot
- ∩ Railroad
- ∩ Streets
- ∩ Drainage Ditch
- ∩ Stream
- Wetland
- ▨ Adjacent Parcels
- Tax Lots

Information shown on this map is for planning purposes only and wetland information is subject to change. There may be unmapped wetlands subject to regulation and all wetland boundary mapping is approximate. In all cases, actual field conditions determine wetland boundaries. You are advised to contact the Oregon Division of State Lands and the U.S. Army Corps of Engineers with any regulatory questions.



Information Current as of:  
**November 2002**