

PROJECT DATA
ZONING: GMU
SITE AREA: 15.6 ACRES
BLDG USES: MULTIFAMILY RESIDENTIAL LIVE / WORK RES / OFFICE LEASING OFFICE RETAIL
BLDG. CODE: 2019 OSSC

CORNELIUS MULTIFAMILY
021112

2200 BASELINE ST
CORNELIUS, OR 97113

ZONING
FRONT SETBACK: MINIMUM ZERO, MAX 10'
SIDE SETBACK: MIN ZERO
REAR SETBACK: MIN ZERO
REFER TO SITE PLAN FOR PROVIDED BUILDING SETBACKS
HEIGHT: MAX 45' OR 3 STOREYS
PROVIDED: MAX -39', 3-STOREY
LOT COVERAGE: MIN 10% LANDSCAPED AND FREE OF IMPERMEABLE COVER
REF LANDSCAPE FOR COMPLIANCE
18.75.060 - APPLIES TO BUILDING #1
(A) BUILDING FRONTAGE ON DAVIS ST: DOES NOT FRONT ON DAVIS ST. - N/A
(B) ENTRY AT STREET SIDE: BUILDING FRONTS (2) PRIVATE DRIVES AND IS DESIGNED WITH COVERED OR RECESSED PRIMARY ENTRIES
(C) PEDESTRIAN CONNECTIVITY: REFER TO SITE PLANS, A1.01, A1.03-A1.08
(D) ENHANCED SETBACK AREA: REFER TO LANDSCAPE, L102-L107
(E) - (F) WINDOWS, FACADE: REFER TO ELEVATIONS, A3.01-A3.13
(G) - OUTDOOR SEATING AREAS: REFER TO LANDSCAPE, L102-L107
(H) - OUTDOOR DISPLAY OF MERCHANDISE N/A - NONE PROPOSED
(I) SCREENING REFER TO LANDSCAPE, L102-L107
(J) LANDSCAPING COVERAGE REFER TO LANDSCAPE AREA CALCULATIONS, L101
(K) TRAIL CORRIDOR LANDSCAPING REFER TO LANDSCAPE, L102-L104
(L) RESIDENTIAL OPEN SPACE: REFER TO LANDSCAPE, L102-L107
(M) LIGHTING: REFER TO LIGHTING, E0.1-E.1.6, LT101-LT106
18.75.065
(A) (1) - ZONE A CONTAINS RESIDENTIAL USES
(A) (2) - REFER TO 1, 2 / A0.10 FOR BREAKDOWN OF RESIDENTIAL V. NON-RESIDENTIAL GROUND FLOOR USES IN ZONE B.
(B) NO TOWNHOMES PERMITTED OR PROPOSED
(C) MIN. 18DU / ACRE DENSITY FOR BUILDINGS W/ GROUND-FLOOR RESIDENTIAL PROVIDED:
-22 DU PER ACRE OVERALL
(D) - OPEN SPACE REFER TO OPEN SPACE CALCULATIONS, L101
(E) LANDSCAPING: MIN 15% REQUIRED REFER TO LANDSCAPE AREA CALCULATIONS, L101
FOR PARKING COMPLIANCE REFER TO PARKING BREAKDOWN, THIS SHEET, AND SITE PLANS. FOR LANDSCAPE COMPLIANCE REFER TO LANDSCAPE DRAWINGS.

BLDG AREA
GROSS RENTABLE BUILDING AREA\*
GROSS BUILDING AREA BREAKDOWN
RENTABLE GROSS AREA
NON-RENTABLE GROSS AREA
TOTAL GROSS AREAS
UNIT DISTRIBUTION BY BUILDING TYPE
GROSS RENTABLE AREA
UNIT MIX BREAKDOWN
SITE DATA
SITE INFORMATION
UNIT TOTALS BY BUILDING TYPE

PARKING REQUIREMENTS
SITE PARKING TABULATION
BASE PARKING TABULATION
REDUCTIONS PER 18.45.10 (D)
RESIDENTIAL PARKING REQUIRED
BASE NON-RESIDENTIAL PARKING REQUIREMENT
COVERED PARKING REQUIREMENT
PARKING PROVIDED PER REQUIREMENTS
ADDITIONAL VOLUNTARILY PROVIDED PARKING
TOTAL PARKING PROVIDED ON SITE
BICYCLE PARKING REQUIREMENT

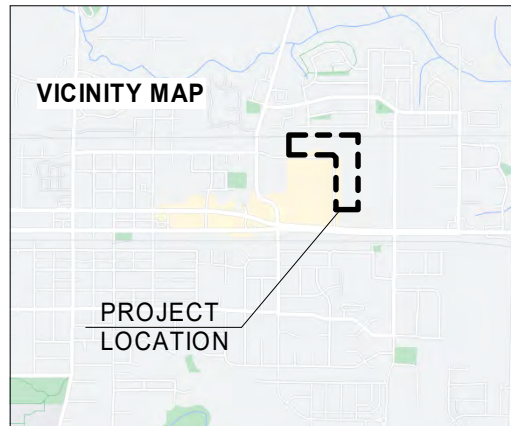
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CONTACT: GREG ELMORE

ABBREVIATIONS
AB ANCHOR BOLT
AFF ABOVE FINISHED FLOOR
AL ALUMINUM
BD BOARD
BFF BELOW FINISHED FLOOR
BLDG BUILDING
BO BOTTOM OF
CLG CEILING
CMU CONCRETE MASONRY UNIT
CONC CONCRETE
CONT CONTINUOUS
DIA DIAMETER
DIM DIMENSION
DN DOWN
DWG DRAWING
EA EACH
ELEV ELEVATION
EQ EQUAL
EXP EXPANSION
FD FLOOR DRAIN
FE FIRE EXTINGUISHER
FF FINISHED FLOOR
FIN FINISH
FOB FACE OF BRICK
FOC FACE OF CONCRETE
FOF FACE OF FOUNDATION
FOS FACE OF STUD
FT FOOT
GA GAUGE
GALV GALVANIZED
GYP GYPSUM
GYP GYPSUM WALL BOARD
HB HOSE BIB
HM HOLLOW METAL
HR HOUR
ID INSIDE DIAMETER
INSUL INSULATION
JT JOINT
MAX MAXIMUM
MTL METAL
MFR MANUFACTURER
MIN MINIMUM
MIR MIRRORRED
NC NON-COMBUSTIBLE
NIC NOT IN CONTRACT
NO NUMBER
NTS NOT TO SCALE
OC ON CENTER
OD OVERFLOW DRAIN
OFCE OWNER FURNISHED / CONTRACTOR INSTALLED
OFG OWNER FURNISHED / OWNER INSTALLED
OPG OPENING
OVHD OVERHEAD
PL PLATE
PPM PRE-PAINTED METAL
R RISER
RAD RADIUS
RD ROOF DRAIN
REF REFERENCE
REIN REINFORCING
REQ REQUIREMENT
SEC SECTION
SHNG SHTNG SHEATHING
SHT SHEET
SIM SIMILAR
SPEC SPECIFICATION
SQ SQUARE
STD STANDARD
STL STEEL
STRL STRUCTURAL
TEL TELEPHONE
TFCE TENANT FURNISHED / CONTRACTOR INSTALLED
TFTI TENANT FURNISHED / TENANT INSTALLED
TO TOP OF
TOB TOP OF BRICK
TOC TOP OF CURB
TOW TOP OF WALL
TYP TYPICAL
UNO UNLESS OTHERWISE NOTED
VIF VERIFY IN FIELD
W/ WITH
W/O WITHOUT
WD WOOD
WP WATERPROOF
WR WATER RESISTANT
WT WEIGHT

GENERAL NOTES
1. FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES. FAILURE TO REPORT ANY DISCREPANCIES WITH THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
2. "PROVIDE" MEANS "FURNISH AND INSTALL."
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS (UNLESS OTHERWISE NOTED), AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS.
4. DO NOT SCALE THE DRAWINGS.



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A3.06 EXTERIOR ELEVATION - BUILDING TYPE B2
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LT102 STREET LIGHTING PLAN
LT103 STREET LIGHTING PLAN
LT104 STREET LIGHTING PLAN
LT105 STREET LIGHTING PLAN
LT106 STREET LIGHTING PLAN



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CALIDA RESIDENTIAL, LLC
LAND USE SUBMITTAL
TITLE SHEET / GENERAL INFORMATION
G0.01
Date: 03/10/2022
Project No.: 021112





SW RENDERING - N. DAVIS ST

Sheet No.

G0.51

Drawing Title:  
**RENDERINGS - SITE**

Date :	03/10/2022	Drawn By :	Author
Revised :	05/20/2020	Project No.:	021112

**CORNELIUS MULTIFAMILY**

CALIDA RESIDENTIAL, LLC

**LAND USE SUBMITTAL**

DRAWING REVISIONS

#	Date	Description

Stamp

**BLRB Architects**

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Portland, OR 97205  
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721 SW Industrial  
Bend, OR 97702  
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5/20/2022 11:56:58 AM



FRONT-LEFT PERSPECTIVE



REAR-RIGHT PERSPECTIVE

Stamp

DRAWING REVISIONS

# Date Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Drawing Title:  
**RENDERINGS - TYPICAL  
RESIDENTIAL CONCEPT**

Date: 03/10/2022 Drawn By: Author

Revised: 05/20/2020 Project No. 021112

Sheet No.

**G0.52**

BLRB ARCHITECTS, P.S.

**BLRB architects**

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File Name: L:\Projects\74000\74217\74217-000\Civil\CAD\WorkingSheets\74217-000\_C002-C003.dwg  
 User: Peter Reich  
 Layout Tab: C002  
 CAD File Date/Time: 5/20/2022 10:33:32 AM

Existing Linetype Legend		Proposed/Future Linetype Legend	
Existing Sanitary Sewer Pipe	SS	Proposed Sanitary Sewer Pipe	SS
Existing 4" Sanitary Sewer Pipe	4" SS	Proposed Sanitary Lateral	SS
Existing 6" Sanitary Sewer Pipe	6" SS	Proposed Sanitary Force Main	SS
Existing 8" Sanitary Sewer Pipe	8" SS	Proposed Storm Under Drain	SS
Existing 10" Sanitary Sewer Pipe	10" SS	Proposed Storm Rain Drain	SS
Existing 12" Sanitary Sewer Pipe	12" SS	Proposed Storm Pipe	SS
Existing 15" Sanitary Sewer Pipe	15" SS	Proposed Water Lateral	SS
Existing 18" Sanitary Sewer Pipe	18" SS	Proposed Water Pipe	SS
Existing 24" Sanitary Sewer Pipe	24" SS	Proposed Irrigation Pipe	SS
Existing 30" Sanitary Sewer Pipe	30" SS	Proposed Irrigation Lateral	SS
Existing Sanitary Force Main	FM	Proposed Lot Line	SS
Existing Storm Sewer Pipe	SD	Proposed Flow Line	SS
Existing 4" Storm Sewer Pipe	4" SD	Proposed Centerline	SS
Existing 6" Storm Sewer Pipe	6" SD	Proposed Right-of-way	SS
Existing 8" Storm Sewer Pipe	8" SD	Proposed Sawcut Line	SS
Existing 10" Storm Sewer Pipe	10" SD	Proposed Easement	SS
Existing 12" Storm Sewer Pipe	12" SD	Proposed Curb & Gutter	SS
Existing 15" Storm Sewer Pipe	15" SD	Proposed End Of Pav't	SS
Existing 18" Storm Sewer Pipe	18" SD	Proposed Sidewalk	SS
Existing 24" Storm Sewer Pipe	24" SD	Proposed Wall	SS
Existing Water Pipe	WL	Proposed Building	SS
Existing 4" Water Pipe	4" WL	Proposed Building Overhang	SS
Existing 6" Water Pipe	6" WL	Proposed Setback	SS
Existing 8" Water Pipe	8" WL	Proposed Property Line	SS
Existing 10" Water Pipe	10" WL	Proposed Cut Line	SS
Existing 12" Water Pipe	12" WL	Proposed Tree Protection	SS
Existing 15" Water Pipe	15" WL	Proposed Paint Stripe	SS
Existing 18" Water Pipe	18" WL	Proposed Fence	SS
Existing 24" Water Pipe	24" WL	Proposed Wetland Buffer	SS
Existing Water Lateral	WL	Proposed Wetland Perimeter	SS
Existing Irrigation Pipe	IRR	Proposed Contour	SS
Existing 4" Irrigation Pipe	4" IRR	Erosion Control Filter Fabric Fence	SS
Existing 6" Irrigation Pipe	6" IRR		
Existing 8" Irrigation Pipe	8" IRR		
Existing 10" Irrigation Pipe	10" IRR		
Existing 12" Irrigation Pipe	12" IRR		
Existing Irrigation Lateral	IRR		
Existing Cable Tv Line	TV		
Existing Electric Line	E		
Existing Gas Line	G		
Existing Over Head Power Line	OHP		
Existing Telephone Line	T		
Existing Fiber Optic Line	FO		
Existing Underground Utility Line	UGP		
Existing Centerline	CL		
Existing Curb	CL		
Existing Lot Line	CL		
Existing Gravel road	GR		
Existing Flow Line	FL		
Existing Paint Stripe	PS		
Existing Right-of-way	ROW		
Existing Building	B		
Existing Wetland Perimeter	WP		
Existing Wetland Buffer	WB		
Existing Property Line	PL		
Existing Utility Easement	UE		
Existing Quarter Section	QS		
Existing Railroad	RR		
Existing Fence	F		
Existing Wall	W		
Existing Contour	C		

Hatching Legend	
	Proposed Asphalt
	Proposed Concrete
	Proposed Gravel
	Existing Wetland

Abbreviation Legend		Abbreviation Legend	
Acres	AC	High Water Elevation	HW
Area dRAIN	AD	Hydrant	HYD
Avenue	AVE	Invert Elevation	IE
Approved	APP'D	Intersection	INTX
Butterfly	BF	Invert	INV
Boulevard	BLVD	Length	L
Benchmark	BM	Lateral	LAT
Blow Off	BO	Low Point of Curb	LP
Back Of Curb	BOC	Left	LT
Begin Vertical Curve	BVC	Maximum	MAX
Care Of	C/O	Manhole	MH
Catch Basin	CB	Minimum	MIN
Cubic Feet	CF	Mechanical Joint	MJ
Cast Iron	CI	Number	No. or #
Cement	CEM	Overhead Electric	OHE
Circle	CIR	Pavement	PAVT
Centerline	CL	Point Of Curve	PC
Corrugated Metal Pipe	CMP	Power Pole	PP
Cleanout	CO	Point Of Reverse Curve	PRC
Combination	COMB	Point Of Reverse Vertical Curve	PRVC
Compaction	COMP	Point Of Tangent	PT
Concrete	CONC	Point Of Vertical Intersection	PVI
Construction	CONST	Polyvinyl Chloride	PVC
Corrugated Polyethylene	CPE	Place	PL
Concrete Sewer Pipe	CSP	Radius	R
Court	CT	Right Of Way	R/W
Cubic Yard	CY	Return	RET
Cement	CEM	Right	RT
Depth	D	Storm Drain	SD
Ductile Iron	DI	Sanitary Sewer	SS
Diameter	DIA	Steel	STL
Ductile Iron Pipe	DIP	Sidewalk	S/W
Down Spout	DS	Street	ST
Edge Of Pavement	EOP	Station Centerline	STA
End Curb Return	ER	Standard	STD
Easement	ESMT	Sanitary	SAN
Existing	EXTG	Storm	STM
Elevation	EL	Tangent	T
Electric	ELEC	Thrust Block	TB
End Vertical Curb	EVC	Temporary Benchmark	TBM
Finished Floor	FF	Top Of Curb	TC
Finished Grade	FG	Telephone	TEL
Fire Hydrant	FH	Temporary	TEMP
Flange	FLG	Top Of Manhole	TOP
Force Main	FM	Typical	TYP
Foot / Feet	FT	Underground Electric	UGE
Gas	G	Vertical Curve	VC
Galvanized Iron	GI	Vertical	VERT
Ground	GRD	Water	WTR
Gate Valve	GV	With	W/
High Density Polyethylene	HDPE	Without	W/O
Horizontal	HORIZ	Water Meter	WM
High Point of Curb	HP	Yard	YD

Symbol Legend	
Existing Water Valve	
Existing Gas Valve	
Existing Fire Hydrant	
Existing Power Pole	
Existing Water Meter	
Existing Electrical Pedestal	
Existing Project Bench Mark	
Existing Iron Rod	
Existing Sanitary Manhole	
Existing Storm Manhole	
Existing Catch Basin	
Existing Area Drain	
Existing Combo Inlet	
Existing Telephone Pad	
Existing Cleanout	
Existing Flow Arrow	
Proposed Bollard	
Proposed Street Light	
Proposed Road Barrier	
Proposed Road Sign	
Proposed Flow Arrow	
Proposed Catch Basins	
Proposed Area Drain	
Proposed Combination Curb Inlet	
Proposed Storm Reducer	
Proposed Rain Drain	
Proposed Storm Cleanout	
Proposed Storm Manhole	
Proposed Sedimentation Manhole	
Proposed Drywell	
Proposed Sanitary Cap	
Proposed Sanitary Reducer	
Proposed Sanitary Cleanout	
Proposed Sanitary Manhole	
Proposed Fire Protection Vault	
Proposed Water Meter	
Proposed Water Backflow Device	
Proposed Water Valve	
Proposed Water Bend Tee W/valve	
Proposed Water Bend Tee W/tb	
Proposed Water 22 1/2" Bend W/tb	
Proposed Water 11 1/2" Bend W/tb	
Proposed Water 45" Bend W/tb	
Proposed Water 90" Bend W/tb	
Proposed Water Stand Pipe	
Proposed Water Bend X	
Proposed Water Temporary Blowoff	
Proposed Water Standard Blowoff	
Proposed Water Reducer	
Proposed Water Thrust Block	
Proposed Fire Hydrant	
Proposed Inlet Protection Pillow	
Proposed Gravel Construction Entrance	

LEGEND AND ABBREVIATIONS FOR:

# CORNELIUS MULTIFAMILY DEVELOPMENT

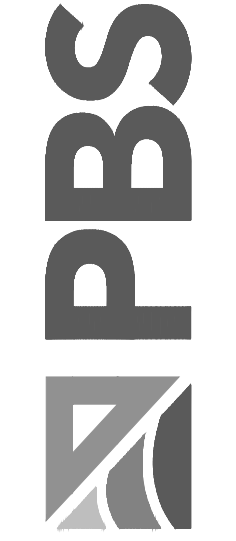
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
Call before you dig.

DESIGNED:  
PAR/JRK  
CHECKED:  
MPW  
MAY 20, 2022  
74217.000

SHEET ID  
**C002**





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**CITY OF CORNELIUS GENERAL NOTES:**

**WATER GENERAL NOTES:**

1. ALL NEW AND REPLACEMENT PUBLIC WATER MAINS SHALL BE CLASS DR18 C900.
2. HYDRANT ASSEMBLIES SHALL USE CLASS 52 DUCTILE IRON PIPE TO CONNECT THE GATE VALVE TO THE HYDRANT AND SHALL BE INSTALLED AS SHOWN IN CITY OF CORNELIUS DETAIL W-1.
3. VALVES SHALL BE RESILIENT SEATED GATE VALVES.
4. ALL VALVES SHALL BE MUELLER BRAND.
5. VALVES SHALL BE SET AS SHOWN IN CITY OF CORNELIUS DETAIL W-2.
6. A MINIMUM OF THREE LENGTHS OF PIPE SHALL BE RESTRAINED AT ALL WATER SYSTEM DEAD-ENDS.
7. MECHANICAL RESTRAINTS SHALL BE USED ON ALL TEES, CROSSES, VALVES, AND CHANGES IN PIPE DIRECTION OF MORE THAN 10 DEGREES. FIELD LOCK GASKETS ALONE ARE INSUFFICIENT TO MEET THIS REQUIREMENT FOR MECHANICAL RESTRAINTS.
8. CONCRETE THRUST BLOCKS SHALL ONLY BE USED IN SPECIAL CASES AND WHEN DIRECTED BY THE CITY ENGINEER OR CITY'S ENGINEERING INSPECTOR. WHEN REQUIRED, THRUST BLOCKS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF CORNELIUS DETAILS W-3 AND W-4.
9. WATER SERVICES 2-INCH AND SMALLER SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF CORNELIUS DETAIL W-7.
10. THE PARTY CONSTRUCTING A NEW WATER MAIN SHALL BE RESPONSIBLE FOR CONSTRUCTING ALL 2-INCH AND SMALLER SERVICE CONNECTIONS. THESE CONNECTIONS INCLUDE THE CONNECTION TO THE MAIN LINE, SERVICE, METER BOX, AND CURB STOP. THE CITY WILL SET THE METER.
11. WHERE SERVICE LINES WILL BE CONSTRUCTED FOR ADJOINING LOTS, THE SERVICE LINES SHALL BE LAID IN THE SAME TRENCH, WHENEVER POSSIBLE, TO MINIMIZE STREET CUTS. THE TAPS INTO THE MAIN LINE AND THE CENTERLINE OF THE METER BOXES SHALL BE A MINIMUM OF 24" APART. SERVICE LINES SHALL BE A MINIMUM OF 12" APART.
12. 12-GAUGE COPPER TRACER WIRE IS REQUIRED ON ALL SERVICE LINES BETWEEN THE WATER MAIN AND THE METER.
13. 12-GAUGE COPPER TRACER WIRE IS REQUIRED ON MAIN LINES WHERE THE RUN BETWEEN VALVE BOXES IS NOT LINEAR.
14. TRENCHING BACKFILL IN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF CORNELIUS DETAIL S-3.
15. PAVEMENT SHALL BE RESTORED TO PRE-EXISTING CONDITIONS OR BETTER. PAVEMENT RESTORATION SHALL FOLLOW THE REQUIREMENTS OF CITY OF CORNELIUS DETAILS S-4 AND S-5.

**SANITARY AND STORM SEWERS GENERAL NOTES:**

1. IN GENERAL, THE LATEST VERSION OF THE CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION STANDARDS FOR SANITARY SEWER AND SURFACE WATER MANAGEMENT STANDARDS SHALL GOVERN CONSTRUCTION AND DESIGN OF SANITARY SEWER AND STORM AND EROSION CONTROL FACILITIES. WHERE CONFLICTS EXIST BETWEEN THE CITY OF CORNELIUS PUBLIC WORKS STANDARDS AND THE CWS STANDARDS, THE CITY STANDARDS SHALL PREVAIL.
2. ALL NON-METALLIC PIPE, INCLUDING MAIN LINES AND LATERALS, SHALL HAVE 12-GAUGE, GREEN-COATED TRACER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE. THE TRACER WIRE SHALL CLIMB THE OUTSIDE OF THE MANHOLE TO THE TOP PICK HOLE AND GO BEHIND STEPS AND TIE TO THE TOP STEP WITH A 30" TAIL.
3. TRACER WIRE IS NOT REQUIRED ON STRAIGHT SECTIONS OF PIPE BETWEEN STRUCTURES (MANHOLES AND CATCH BASINS).
4. TRENCHING BACKFILL IN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF CORNELIUS DETAIL S-3.
5. PAVEMENT SHALL BE RESTORED TO PRE-EXISTING CONDITIONS OR BETTER. PAVEMENT RESTORATION SHALL FOLLOW THE REQUIREMENTS OF CITY OF CORNELIUS DETAILS S-4 AND S-5.

**STREETS GENERAL NOTES:**

1. WHERE STORM AND SANITARY LATERALS TRAVERSE UNDER A CURB, THE CURB SHALL BE STAMPED TO IDENTIFY THE LATERAL TYPE.
2. RESTORATION OF AN EXISTING CURB AND GUTTER IS SHOWN IN CITY OF CORNELIUS DETAIL S-15
3. SIDEWALKS SHALL MEET ADA REQUIREMENTS UNLESS STEEP TERRAIN MAKES THIS IMPOSSIBLE.
4. THE PEDESTRIAN ZONE, WHICH INCLUDES SIDEWALKS, PATHWAYS, AND BULB-OUTS, MUST REMAIN FREE OF OBSTACLES. OBSTACLES INCLUDE ABOVE GROUND OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO: FIRE HYDRANTS, MAILBOXES, UTILITY PEDESTALS, UTILITY POLES, ABOVE GROUND UTILITY VAULTS, TREES, SIGN POSTS AND SIGNS, STREET LIGHT POLES, SIGNAL POLES, AND SIGNAL CONTROL EQUIPMENT. THE ONLY EXCEPTION TO THIS RULE IS WHERE THE SIDEWALK IS MORE THAN 6 FEET WIDE. IN THE CASES OF THESE WIDE SIDEWALKS, THE ABOVE GROUND OBSTRUCTIONS SHOULD BE PLACED AS CLOSE AS POSSIBLE TO THE CURB SO THAT A CLEAR CORRIDOR FOR PEDESTRIANS AT LEAST 5-FEET WIDE IS MAINTAINED.
5. PEDESTALS, POWER METER BOXES, POWER TRANSFORMERS, CABLE CLOSURES, AND SIMILAR FRANCHISE UTILITY FACILITIES SHALL BE LOCATED OUTSIDE THE RIGHT-OF-WAY IN THE PUBLIC UTILITY EASEMENT, UNLESS APPROVED BY THE CITY ENGINEER.
6. SIDEWALK FINISHING REQUIREMENTS ARE SHOWN IN CITY OF CORNELIUS DETAIL S-25.

**SIGNING AND STRIPING GENERAL NOTES:**

1. SIGNS PROJECTING OVER SIDEWALKS SHALL BE MOUNTED SUCH THAT THEY ARE AT LEAST 7 FEET ABOVE A SIDEWALK OR PATHWAY.
2. THE WIDTH OF THE BOTTOM OF THE ADA RAMP SHALL BE AT LEAST AS WIDE AS THE SIDEWALK OR PATHWAY IT SERVES.
3. SIGNING AND STRIPING SHALL FOLLOW THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS BY THE FEDERAL HIGHWAY ADMINISTRATION EXCEPT AS NOTED IN THESE NOTES.
4. ARTERIALS SHALL BE STRIPED WITH THE APPROPRIATE LANE MARKINGS.
5. BIKE LANES SHALL BE STRIPED.
6. PARKING SPACES IN PARALLEL PARKING BAYS CAN BE MARKED WITH A SIMPLE "T" AT THE CORNER OF THE SPACES ADJACENT TO THE TRAVEL LANES.
7. PARKING SPACES IN HEAD-IN PARKING BAYS MUST BE STRIPED BETWEEN THE SPACES.
8. ALL STRIPING SHALL BE THERMOPLASTIC.
9. PERMANENT SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF CORNELIUS DETAIL S-31.

**LANDSCAPING GENERAL NOTES:**

1. BROADLEAF TREES PLANTED IN SINGLE-FAMILY AND DUPLEX NEIGHBORHOODS, SHALL BE A MINIMUM CALIPER SIZE OF 1.5".
2. BROADLEAF TREES PLANTED IN OTHER THAN SINGLE-FAMILY AND DUPLEX NEIGHBORHOODS SHALL BE A MINIMUM CALIPER SIZE OF 2".
3. CONIFERS MUST BE A MINIMUM 5 FEET IN HEIGHT AT TIME OF PLANTING.
4. TREES IN PARKWAY STRIPS SHALL BE INSTALLED WITH AN 18-INCH DEEP ROOT BARRIER.
5. THE APPROPRIATE PLANTING METHODS FOR TREES ARE SHOWN IN CITY OF CORNELIUS DETAIL S-41.
6. WATERING OF NEWLY PLANTED TREES IS REQUIRED. WATERING SHALL BE ACCOMPLISHED THROUGH USE OF A TEMPORARY IRRIGATION SYSTEM OR WITH INDIVIDUAL PORTABLE TREE WATERING DEVICES SUCH AS "GATOR BAGS."

**STREET LIGHTING GENERAL NOTES:**

1. STREET LIGHTING SHALL BE LED.
2. STREET LIGHT FIXTURES SHALL EMIT NO LIGHT UPWARD.
3. COLOR TEMPERATURE (CCT) SHALL NOT EXCEED 3000K.
4. ALL STREET LIGHTING SHALL BE OPTION C, IN OTHER WORDS, OWNED AND MAINTAINED BY THE CITY.

**PBS ENGINEERING + ENVIRONMENTAL GRADING NOTES**

1. CUT AND FILL QUANTITIES WILL VARY DEPENDING ON FINAL GRADING IN THE FIELD DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PREPARING/ESTIMATING CONSTRUCTION EARTHWORK CALCULATIONS FOR BIDDING AND CONSTRUCTION ACTIVITY.
2. REFER TO PROJECT GEOTECHNICAL INVESTIGATION REPORT PREPARED BY PBS ENGINEERING PROJECT NUMBER 74217.000 DATED OCTOBER 6, 2021 FOR RECOMMENDATIONS AND DETAILED EARTHWORK INFORMATION.
3. CONTRACTOR TO COORDINATE WITH OWNER FOR GEOTECH MONITORING AND APPROVAL OF ALL EARTHWORK ACTIVITY. SOME OVER EXCAVATION OF POOR SOILS MAY BE NECESSARY.

**PBS ENGINEERING + ENVIRONMENTAL SITE IMPROVEMENT NOTES**

1. CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ALIGNMENT, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
2. NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION. PRIOR TO BIDDING AND ORDERING CONSTRUCTION MATERIALS, THE CONSTRUCTION CONTRACTOR SHALL THOROUGHLY REVIEW THESE DOCUMENTS FOR CONFLICTS WITH EXISTING AND PROPOSED NEW UTILITIES. NOTIFY THE OWNER AND ENGINEER IMMEDIATELY OF ANY POTENTIAL CONFLICTS. NEITHER THE OWNER OR THE OWNER'S REPRESENTATIVES/DESIGN CONSULTANTS SHALL BE RESPONSIBLE FOR ADDITIONAL CONSTRUCTION COSTS/DELAYS ASSOCIATED WITH POTENTIAL CONFLICTS THAT ARE REFLECTED ON THESE DOCUMENTS. UNANTICIPATED SUBSURFACE CONDITIONS WILL BE CONSIDERED OTHERWISE BY THE OWNER.
3. CONFIRM ALL CONCRETE SCORING PATTERNS WITH LANDSCAPE ARCHITECT.
4. UNDERGROUND ELECTRICAL AND GAS UTILITIES TO BE LOCATED TO AVOID CONFLICT WITH PROPOSED STORMWATER FACILITIES, SANITARY SEWER AND WATER LINES.
5. PROTECT ALL UTILITIES DURING CONSTRUCTION.

**PBS ENGINEERING + ENVIRONMENTAL STORMWATER NOTES**

1. CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ALIGNMENT, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND ORDERING MATERIALS. NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ALL WORK WITHIN EASEMENTS TO THE SPECIFICATIONS, AND STANDARDS AND CARE REQUIRED BY THE JURISDICTION OF THE EASEMENT.
3. LOCATION OF EXISTING UTILITIES IS APPROXIMATE BASED OFF A TOPOGRAPHIC SURVEY PROVIDED TO PBS FROM PBS SURVEYING JOB NUMBER: 74217.000 DATED: AUGUST 2021 AND SHOWN ON C-100-C107. THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING LOCATION OF ALL UTILITIES BEFORE EXCAVATION WORK. CONTRACTOR WILL BE HELD FULLY LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES NOT PROPERLY LOCATED.
4. NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION. PRIOR TO BIDDING AND ORDERING CONSTRUCTION MATERIALS, THE CONSTRUCTION CONTRACTOR SHALL THOROUGHLY REVIEW THESE DOCUMENTS FOR CONFLICTS WITH EXISTING AND PROPOSED NEW UTILITIES. NOTIFY THE OWNER AND ENGINEER IMMEDIATELY OF ANY POTENTIAL CONFLICTS. NEITHER THE OWNER OR THE OWNER'S REPRESENTATIVES/DESIGN CONSULTANTS SHALL BE RESPONSIBLE FOR ADDITIONAL CONSTRUCTION COSTS/DELAYS ASSOCIATED WITH POTENTIAL CONFLICTS THAT ARE REFLECTED ON THESE DOCUMENTS. UNANTICIPATED SUBSURFACE CONDITIONS WILL BE CONSIDERED OTHERWISE BY THE OWNER.
5. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER, SANITARY SEWER AND STORMWATER LINES, WHERE POSSIBLE.
6. INSTALL DETECTABLE UNDERGROUND MARKING TAPE ON ALL PROPOSED UTILITIES.
7. THE GEOTECHNICAL ENGINEER OF RECORD SHOULD REVIEW THE GEOTECHNICAL-RELATED ASPECTS OF THE PROJECT PLANS AND SPECIFICATIONS, REQUESTS FOR INFORMATION (RFI), AND CONTRACTOR SUBMITTALS FOR CONFORMANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
8. THE GEOTECHNICAL ENGINEER OF RECORD OR THEIR REPRESENTATIVE WILL BE REQUIRED TO PROVIDE OBSERVATION AND TESTING FOR THE GEOTECHNICAL-RELATED ASPECTS OF CONSTRUCTION.
9. THE GEOTECHNICAL ENGINEER OF RECORD WILL PROVIDE A FINAL LETTER REGARDING COMPLIANCE WITH THE GEOTECHNICAL-RELATED ASPECTS OF CONSTRUCTION UPON PROJECT COMPLETION.
10. PROTECT ALL EXISTING UTILITY LINES AND STRUCTURES.
11. SEE PLAN FOR THE PIPE TYPE, SIZES, AND LENGTH.
12. FOUNDATION DRAINS NOT SHOWN ON PLANS FOR DRAWING CLARITY. REFER TO ARCHITECTURAL PLANS FOR INFORMATION.

**PBS ENGINEERING + ENVIRONMENTAL SANITARY SEWER NOTES**

1. CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ALIGNMENT, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND ORDERING MATERIALS. NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION.
2. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER, SANITARY SEWER AND STORMWATER LINES AND MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES, WHERE POSSIBLE, OR SEE CITY OF CORNELIUS WATER GENERAL NOTES ON THIS SHEET.
3. SEE PLAN FOR THE PIPE TYPE, SIZES, AND LENGTH.
4. UTILITIES TERMINATE 5' FROM BUILDING. SEE PLUMBING/MECHANICAL PLANS FOR CONTINUATION WITHIN BUILDING. CONFIRM LOCATIONS PRIOR TO CONSTRUCTION.
5. PROTECT ALL EXISTING UTILITY LINES AND STRUCTURES.

**PBS ENGINEERING + ENVIRONMENTAL WATER NOTES**

1. FIRE DEPARTMENT CONNECTION (FDC) LOCATIONS AND SIZES TO BE COORDINATED WITH SPRINKLER CONTRACTOR. PLACEMENT MUST BE WITHIN 150' OF FIRE HYDRANT.
2. CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ALIGNMENT, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND ORDERING MATERIALS. NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION.
3. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER, SANITARY SEWER AND STORMWATER LINES AND MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES, WHERE POSSIBLE, OR SEE CITY OF CORNELIUS WATER SYSTEM NOTES
4. SEE PLAN FOR THE PIPE TYPE, SIZES, AND LENGTH.
5. UTILITIES TERMINATE 5' FROM BUILDING. SEE PLUMBING/MECHANICAL PLANS FOR CONTINUATION WITHIN BUILDING. CONFIRM LOCATIONS PRIOR TO CONSTRUCTION.
6. PROTECT ALL EXISTING UTILITY LINES AND STRUCTURES.

**PBS ENGINEERING + ENVIRONMENTAL EROSION AND SEDIMENT CONTROL NOTES**

1. THE IMPLEMENTATION OF THESE EROSION CONTROL PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE FACILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED.
2. THE EROSION CONTROL FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE FACILITIES SHALL BE UPGRADED FOR UNEXPECTED STORM EVENTS AND TO INSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
3. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. A WHEEL WASH MAY BE REQUIRED IF THE STABILIZED CONSTRUCTION ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO THE SURROUNDING PAVEMENT. INSTALL IF NECESSARY OR REQUIRED BY AGENCY.
4. CONSTRUCT SEDIMENT FENCE 6 FT. AT THE TOE OF FILL SLOPES IN AREAS WHERE SEDIMENT-LADEN WATER HAS A POTENTIAL OF ENTERING WATERWAYS OR LEAVING THE RIGHT-OF-WAY.
5. ADJUST SILT FENCE AS NECESSARY FOR CONSTRUCTION ACCESS.

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GENERAL NOTES FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
Call before you dig.

DESIGNED:  
PAR/JRK

CHECKED:  
MPW

MAY 20, 2022  
74217.000

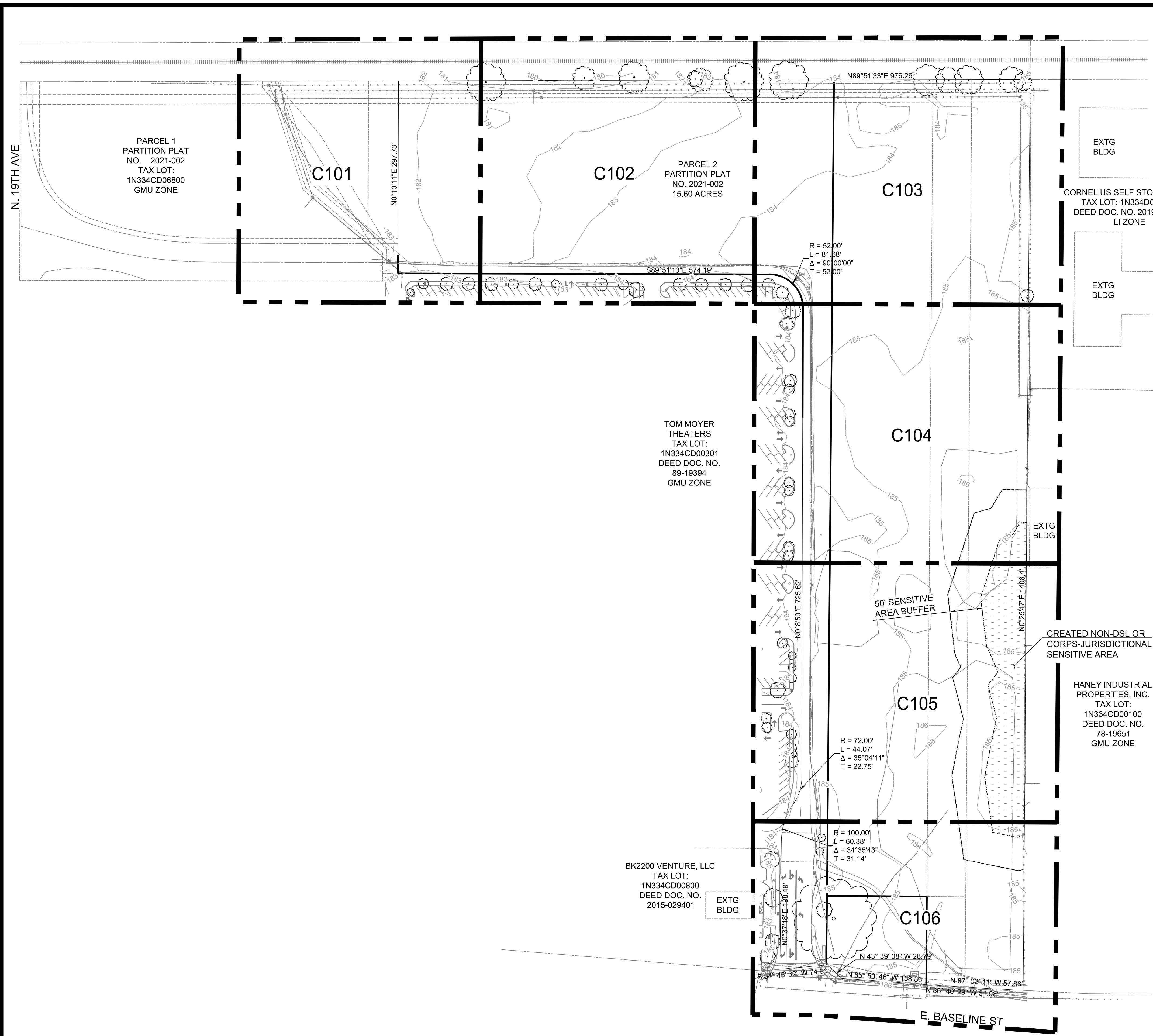
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**C003**

SHEET **2** OF **49**



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**VICINITY MAP**  
NOT TO SCALE

**EXISTING CONDITIONS SURVEY NOTES:**

1. THE VERTICAL DATUM FOR THIS SURVEY IS NGVD29 (WASHINGTON COUNTY). \*SITE ELEVATIONS WERE TRANSFERRED THROUGH DIFFERENTIAL LEVELS FROM WASHINGTON COUNTY BENCHMARK 501 (ELEVATION=182.865')
2. HORIZONTAL: OREGON COORDINATE REFERENCE SYSTEM (OCRS) PORTLAND ZONE- NAD 83/2011 BASIS OF BEARINGS IS NORTH 28°46'04" EAST BETWEEN CONTROL POINTS 1 AND 15 BASED ON DUAL OCRS GNSS OBSERVATIONS.
3. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSE OF DESIGNING SITE IMPROVEMENTS.
4. CONTOURS DERIVED BY DIRECT FIELD OBSERVATIONS. ELEVATION AND CONTOUR ACCURACY IS ONE-HALF THE CONTOUR INTERVAL.
5. THIS MAP IS HAS BEEN PRODUCED FOR DESIGN PURPOSES AND SHOWS AN ACCURATE BOUNDARY DEPICTION.
6. BOUNDARIES SHOWN HAVE BEEN DETERMINED.
7. THE UNDERGROUND UTILITIES SHOWN HEREON WERE BASED ON FIELD MEASUREMENT OF UTILITY LOCATE PAINT MARKS SUPPLIED BY THE MT. VIEW LOCATING SERVICES INC. AS WELL AS SURFACE EVIDENCE AND PRIVATE ASBULT RECORDS. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. ADDITIONALLY, CERTAIN UTILITIES ONSITE (WATER, SANITARY, STORM, GAS, ETC.) MAY NOT HAVE CONDUCTIBLE OR TRACEABLE LINES AND MAY BE PRESENT. \*PRIVATE ON-SITE CONDUCTIBLE UTILITY LOCATES WERE PERFORMED BY MT. VIEW LOCATING SERVICES INC. ON 7/29/2021.

**PARCEL 1**  
 PARTITION PLAT  
 NO. 2021-002  
 TAX LOT:  
 1N334CD06800  
 GMU ZONE

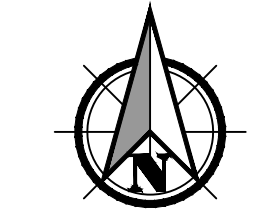
**PARCEL 2**  
 PARTITION PLAT  
 NO. 2021-002  
 15.60 ACRES

**TOM MOYER**  
**THEATERS**  
 TAX LOT:  
 1N334CD00301  
 DEED DOC. NO.  
 89-19394  
 GMU ZONE

**BK2200 VENTURE, LLC**  
 TAX LOT:  
 1N334CD00800  
 DEED DOC. NO.  
 2015-029401

**CORNELIUS SELF STORAGE, LLC**  
 TAX LOT: 1N334CD04400  
 DEED DOC. NO. 2019-070098  
 LI ZONE

**HANEY INDUSTRIAL**  
**PROPERTIES, INC.**  
 TAX LOT:  
 1N334CD00100  
 DEED DOC. NO.  
 78-19651  
 GMU ZONE



Scale 1" = 80'  
 0    40    80    160

**PRELIMINARY**

EXISTING CONDITIONS KEY MAP FOR:

**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON

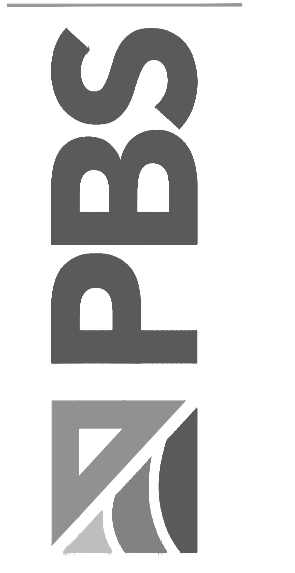


DESIGNED:  
 PAR/JRK  
 CHECKED:  
 MPW  
 MAY 20, 2022  
 74217.000

SHEET ID  
**C100**

SHEET **3** OF **49**

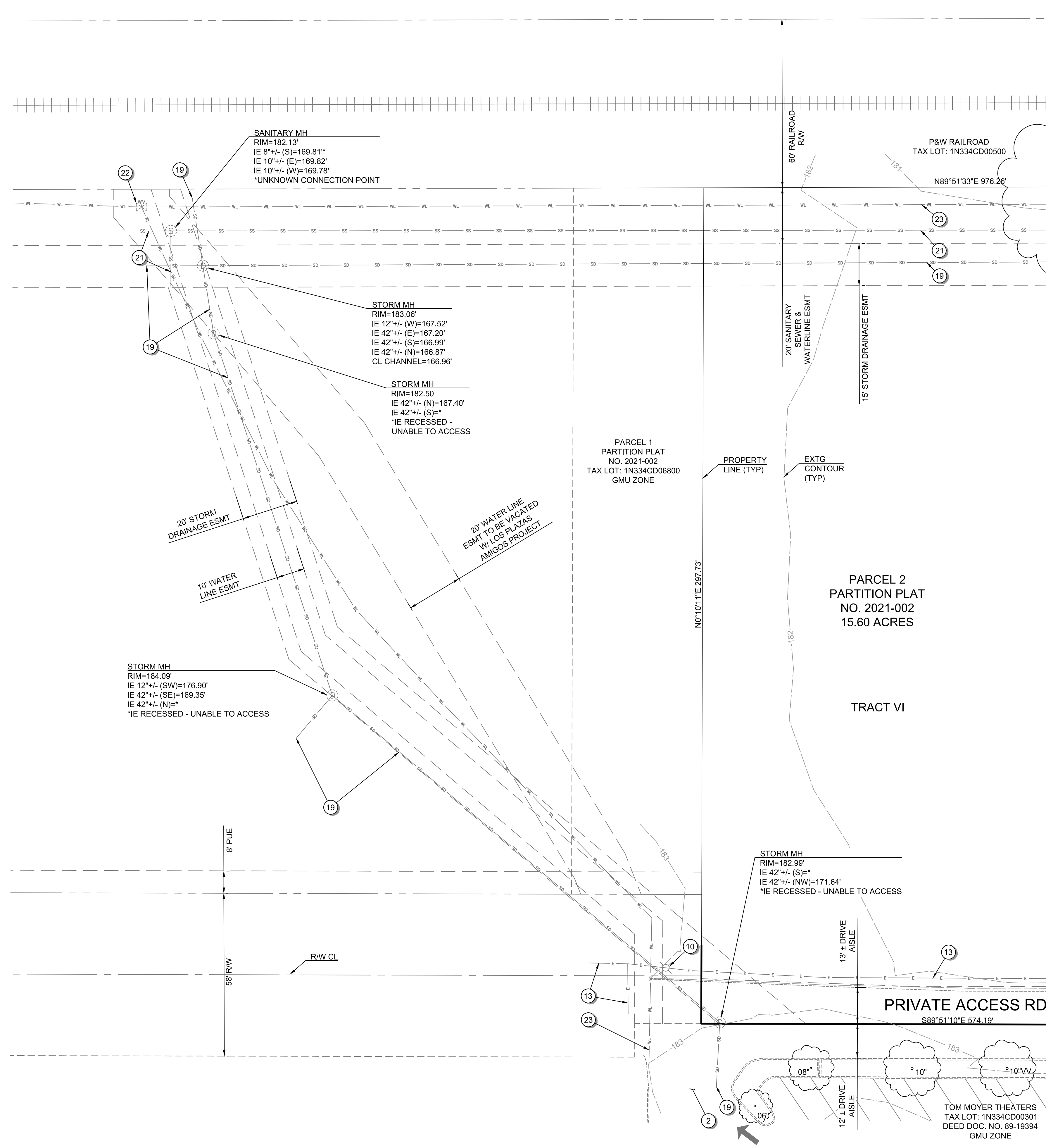
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Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.



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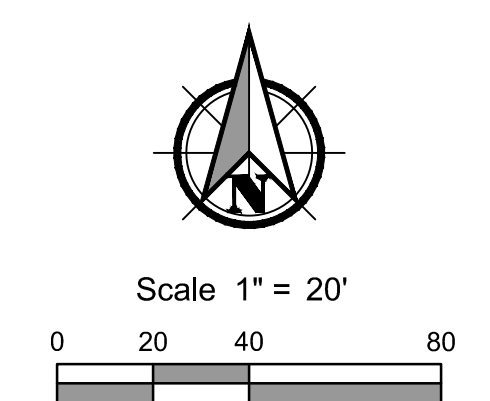
MATCHLINE - SEE SHEET C102 FOR CONTINUATION

**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

**EXISTING CONDITIONS PLAN KEYNOTES:**

- 1 EXISTING SITE ENTRANCE.
- 2 EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- 3 EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
- 4 EXISTING EDGE OF PAVEMENT.
- 5 EXISTING NEIGHBORING SITE CURB / TRAFFIC ISLANDS.
- 6 EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, AND DIAMETER AT BREAST HEIGHT.
- 7 EXISTING GROVE OF POPLAR TREES.
- 8 EXISTING BILLBOARD.
- 9 EXISTING TRACT BOUNDARY TO BE VACATED.
- 10 EXISTING SITE LIGHTING.
- 11 EXISTING OVERHEAD POWER POLE.
- 12 EXISTING GUY WIRE.
- 13 EXISTING UNDERGROUND POWER LINE.
- 14 EXISTING ELECTRICAL TRANSFORMER.
- 15 EXISTING TRAFFIC CONTROL BOX.
- 16 EXISTING TRAFFIC SIGNAL ARM.
- 17 EXISTING TELECOMMUNICATIONS LINE.
- 18 EXISTING GAS LINE.
- 19 EXISTING STORM CONVEYANCE PIPE.
- 20 EXISTING TELECOMMUNICATIONS PEDESTAL.
- 21 EXISTING GRAVITY SEWER PIPE.
- 22 EXISTING WATER VALVE.
- 23 EXISTING WATER MAIN.
- 24 EXISTING WATER SERVICE & METER.
- 25 EXISTING FIRE HYDRANT.
- 26 EXISTING IRRIGATION VALVE.



PRELIMINARY

EXISTING CONDITIONS PLAN FOR:

CORNELIUS MULTIFAMILY DEVELOPMENT

A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



DESIGNED: PAR/JRK
CHECKED: MPW
MAY 20, 2022 74217.000
SHEET ID <b>C101</b>
SHEET <b>4</b> OF <b>49</b>

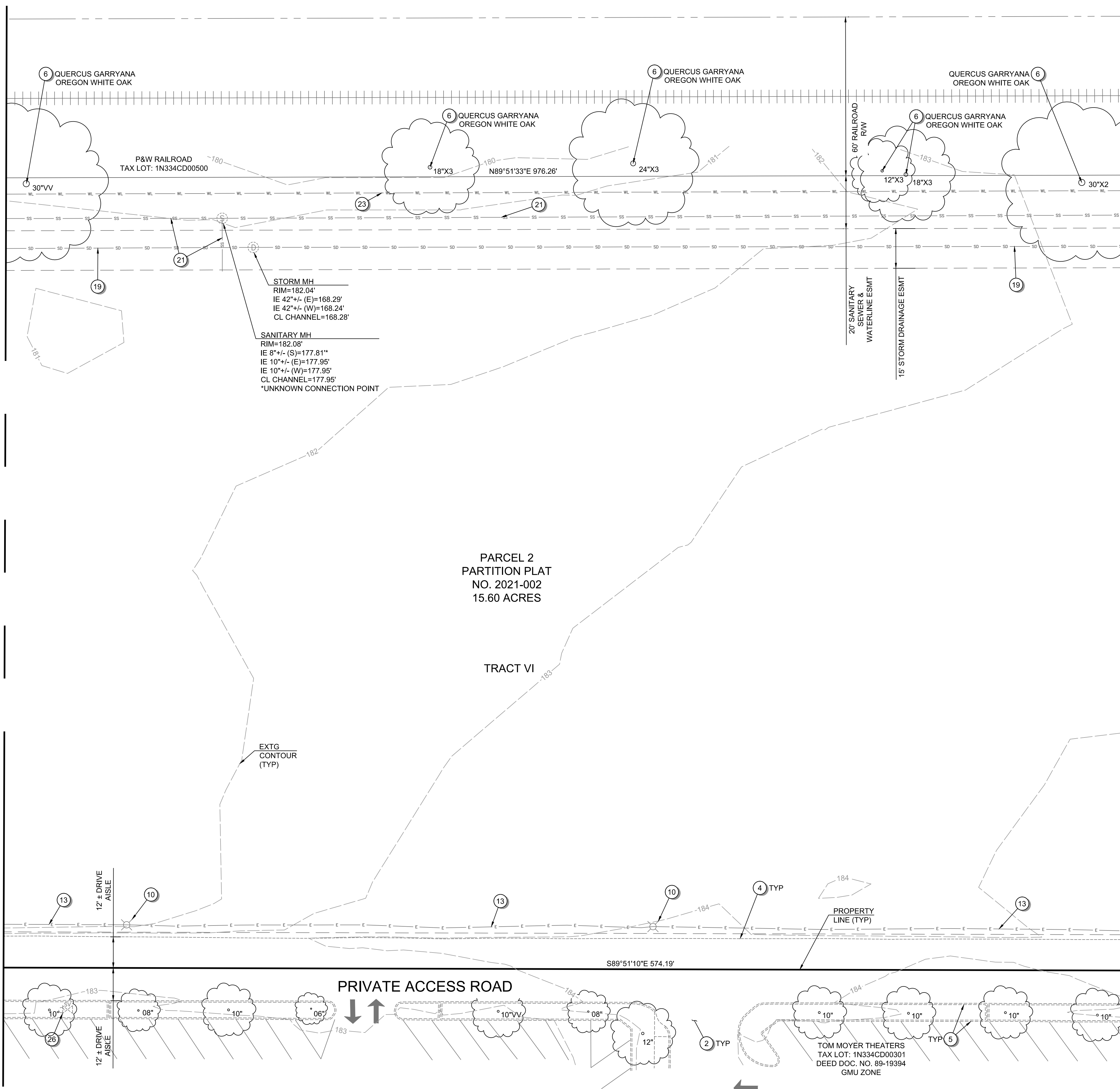
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MATCHLINE - SEE SHEET C101 FOR CONTINUATION

MATCHLINE - SEE SHEET C103 FOR CONTINUATION

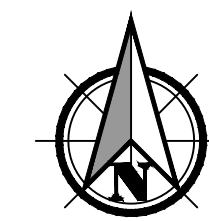


**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

**EXISTING CONDITIONS PLAN KEYNOTES:**

- 1 EXISTING SITE ENTRANCE.
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- 22 EXISTING WATER VALVE.
- 23 EXISTING WATER MAIN.
- 24 EXISTING WATER SERVICE & METER.
- 25 EXISTING FIRE HYDRANT.
- 26 EXISTING IRRIGATION VALVE.



Scale 1" = 20'  
 0 20 40 80

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**EXISTING CONDITIONS PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
 Call before you dig.

DESIGNED: PAR/JRK  
 CHECKED: MPW  
 MAY 20, 2022  
 74217.000

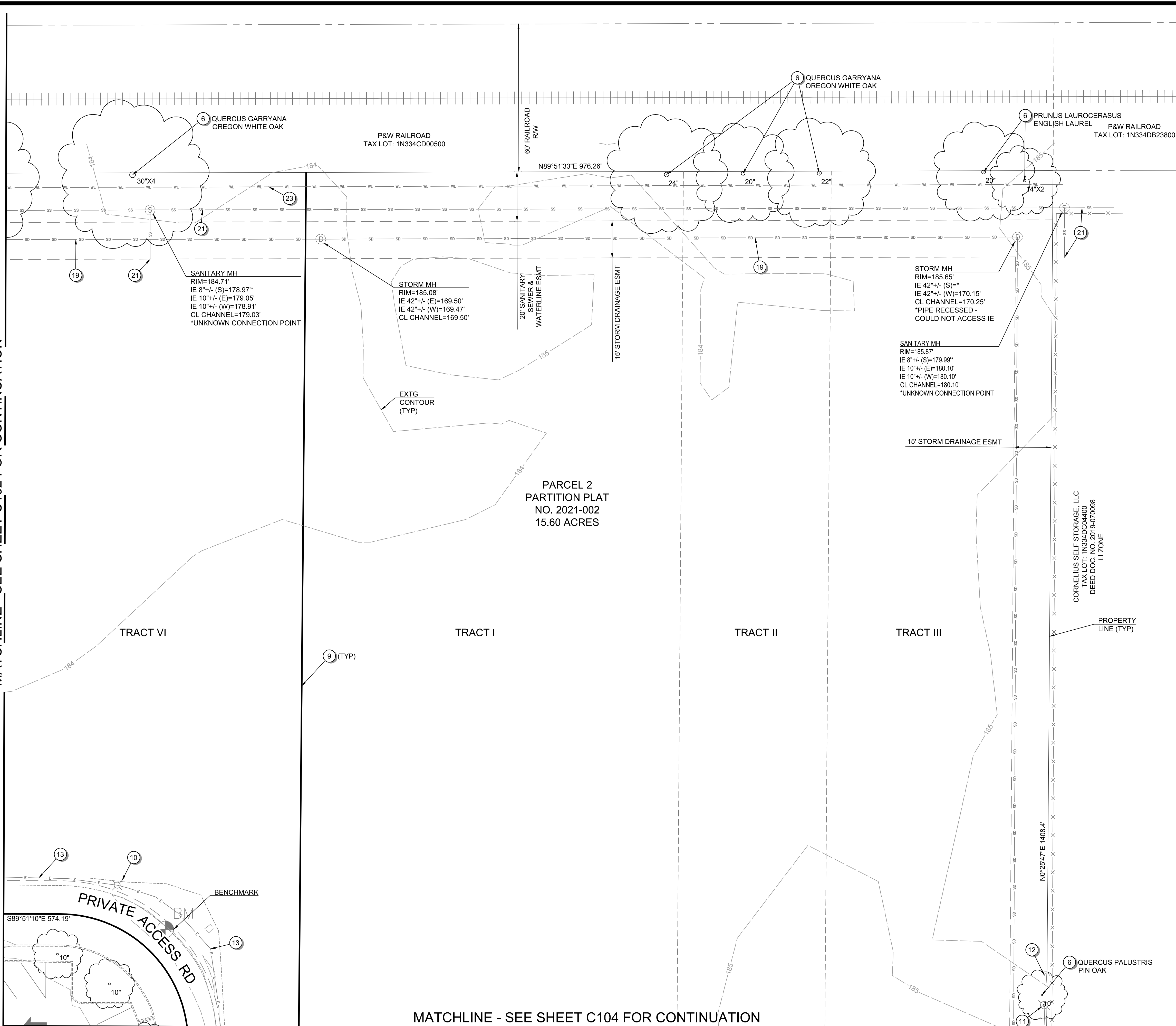
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**C102**

SHEET **5** OF **49**



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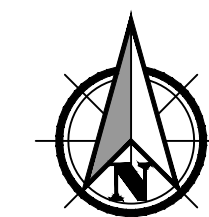


**GENERAL SHEET NOTES:**

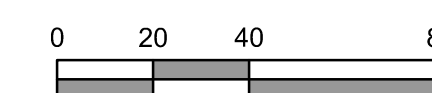
- SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
- SEE SHEET C002 FOR PROJECT NOTES.
- THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
- THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

**EXISTING CONDITIONS PLAN KEYNOTES:**

- EXISTING SITE ENTRANCE.
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- EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
- EXISTING EDGE OF PAVEMENT.
- EXISTING NEIGHBORING SITE CURB / TRAFFIC ISLANDS.
- EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, AND DIAMETER AT BREAST HEIGHT.
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- EXISTING WATER MAIN.
- EXISTING WATER SERVICE & METER.
- EXISTING FIRE HYDRANT.
- EXISTING IRRIGATION VALVE.



Scale 1" = 20'



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EXISTING CONDITIONS PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
Call before you dig.

DESIGNED:  
PAR/JRK

CHECKED:  
MPW

MAY 20, 2022  
74217.000

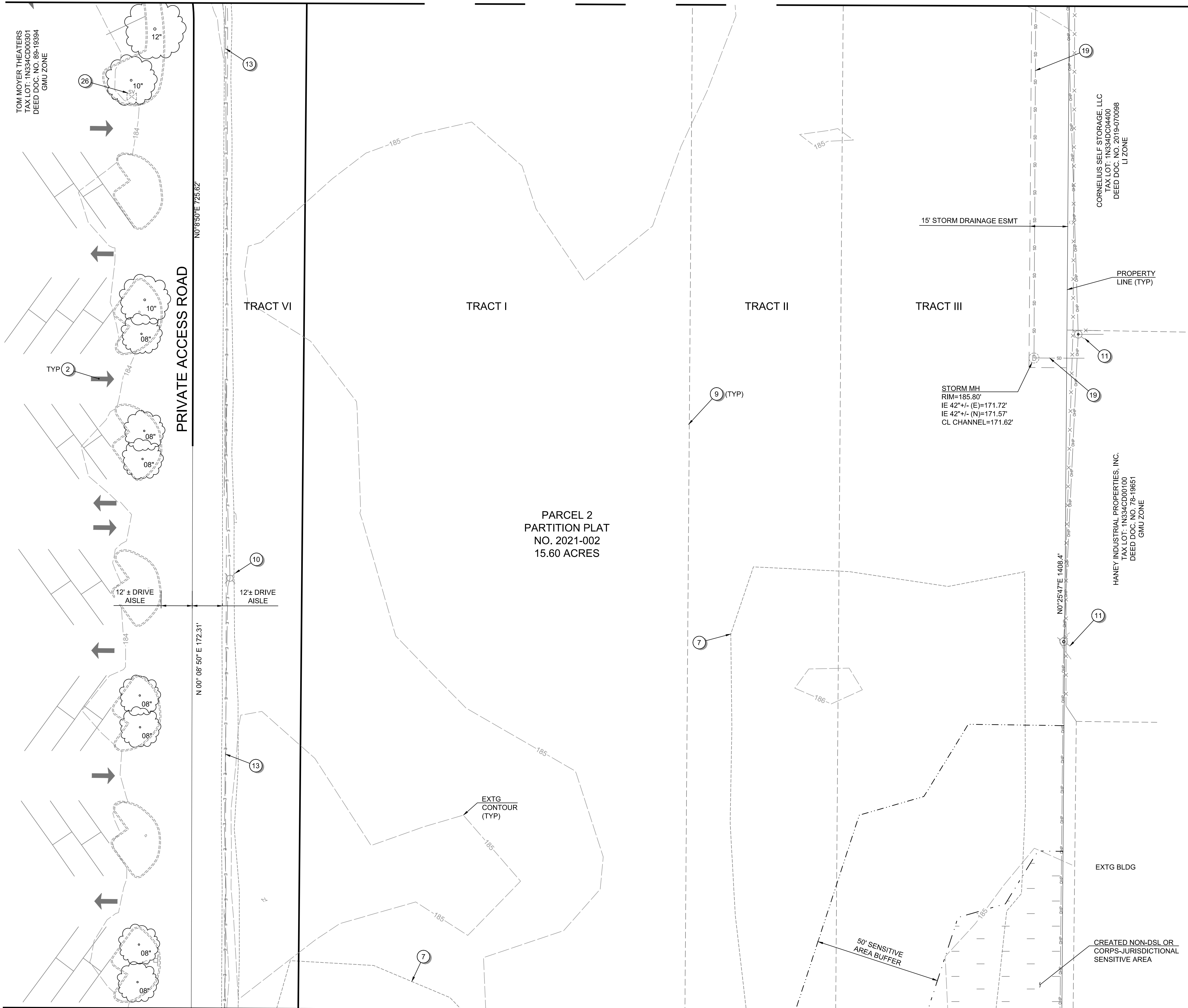
SHEET ID

**C103**

SHEET **6** OF **49**



MATCHLINE - SEE SHEET C103 FOR CONTINUATION

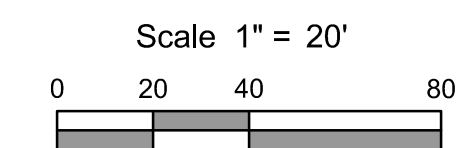
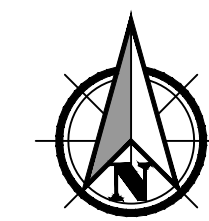


**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

**EXISTING CONDITIONS PLAN KEYNOTES:**

- 1 EXISTING SITE ENTRANCE.
- 2 EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- 3 EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
- 4 EXISTING EDGE OF PAVEMENT.
- 5 EXISTING NEIGHBORING SITE CURB / TRAFFIC ISLANDS.
- 6 EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, AND DIAMETER AT BREAST HEIGHT.
- 7 EXISTING GROVE OF POPLAR TREES.
- 8 EXISTING BILLBOARD.
- 9 EXISTING TRACT BOUNDARY TO BE VACATED.
- 10 EXISTING SITE LIGHTING.
- 11 EXISTING OVERHEAD POWER POLE.
- 12 EXISTING GUY WIRE.
- 13 EXISTING UNDERGROUND POWER LINE.
- 14 EXISTING ELECTRICAL TRANSFORMER.
- 15 EXISTING TRAFFIC CONTROL BOX.
- 16 EXISTING TRAFFIC SIGNAL ARM.
- 17 EXISTING TELECOMMUNICATIONS LINE.
- 18 EXISTING GAS LINE.
- 19 EXISTING STORM CONVEYANCE PIPE.
- 20 EXISTING TELECOMMUNICATIONS PEDESTAL.
- 21 EXISTING GRAVITY SEWER PIPE.
- 22 EXISTING WATER VALVE.
- 23 EXISTING WATER MAIN.
- 24 EXISTING WATER SERVICE & METER.
- 25 EXISTING FIRE HYDRANT.
- 26 EXISTING IRRIGATION VALVE.



**PRELIMINARY**

MATCHLINE - SEE SHEET C105 FOR CONTINUATION

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Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

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EXISTING CONDITIONS PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
 Call before you dig.

DESIGNED:  
 PAR/JRK

CHECKED:  
 MPW

MAY 20, 2022  
 74217.000

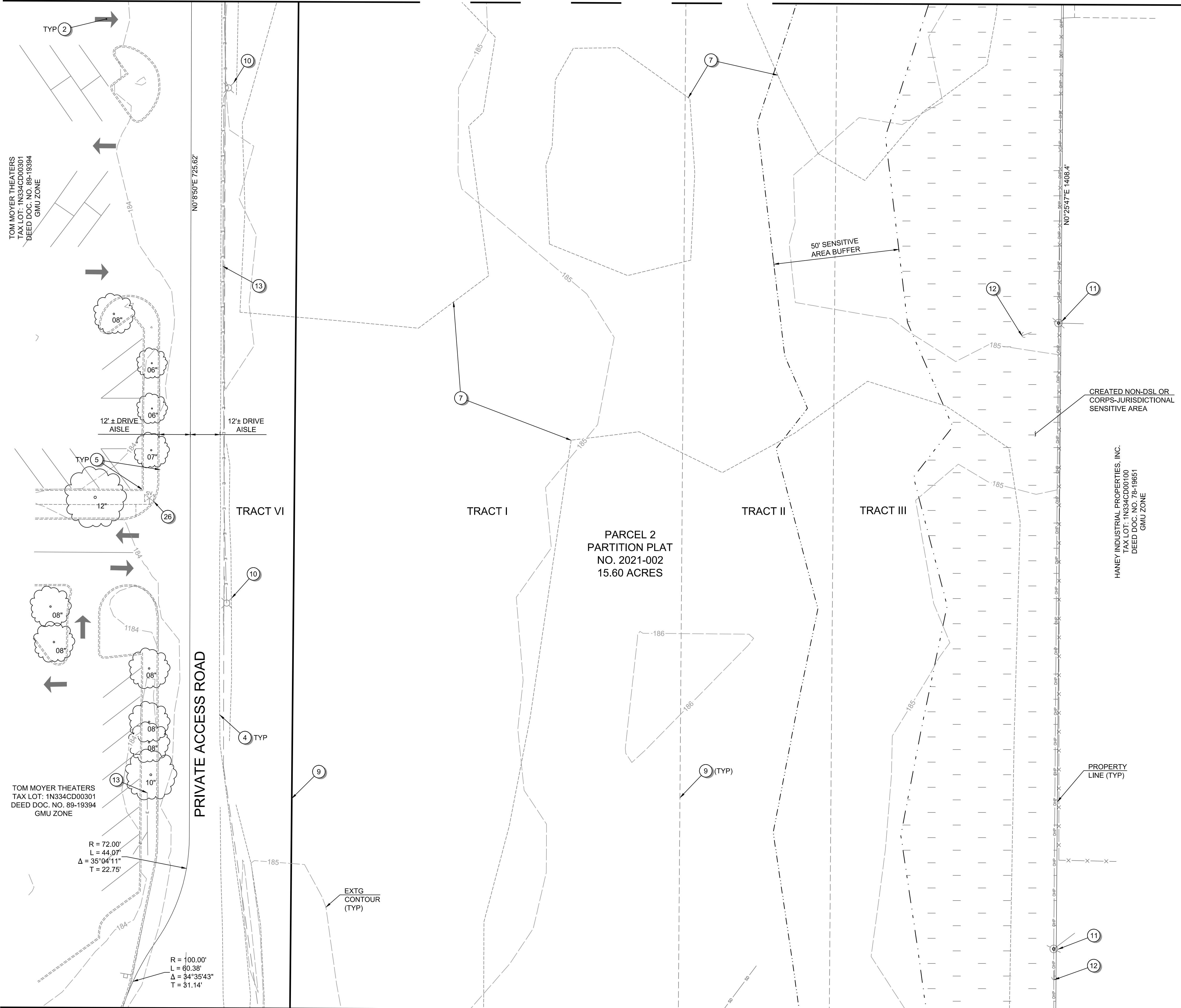
SHEET ID

**C104**

SHEET 7 OF 49



MATCHLINE - SEE SHEET C104 FOR CONTINUATION

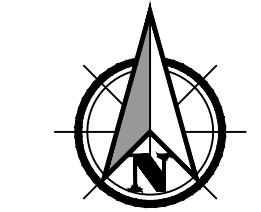


**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

**EXISTING CONDITIONS PLAN KEYNOTES:**

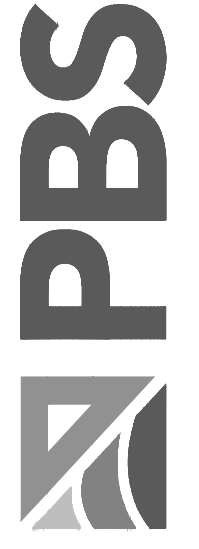
- ① EXISTING SITE ENTRANCE.
- ② EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- ③ EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
- ④ EXISTING EDGE OF PAVEMENT.
- ⑤ EXISTING NEIGHBORING SITE CURB / TRAFFIC ISLANDS.
- ⑥ EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, AND DIAMETER AT BREAST HEIGHT.
- ⑦ EXISTING GROVE OF POPLAR TREES.
- ⑧ EXISTING BILLBOARD.
- ⑨ EXISTING TRACT BOUNDARY TO BE VACATED.
- ⑩ EXISTING SITE LIGHTING.
- ⑪ EXISTING OVERHEAD POWER POLE.
- ⑫ EXISTING GUY WIRE.
- ⑬ EXISTING UNDERGROUND POWER LINE.
- ⑭ EXISTING ELECTRICAL TRANSFORMER.
- ⑮ EXISTING TRAFFIC CONTROL BOX.
- ⑯ EXISTING TRAFFIC SIGNAL ARM.
- ⑰ EXISTING TELECOMMUNICATIONS LINE.
- ⑱ EXISTING GAS LINE.
- ⑲ EXISTING STORM CONVEYANCE PIPE.
- ⑳ EXISTING TELECOMMUNICATIONS PEDESTAL.
- ㉑ EXISTING GRAVITY SEWER PIPE.
- ㉒ EXISTING WATER VALVE.
- ㉓ EXISTING WATER MAIN.
- ㉔ EXISTING WATER SERVICE & METER.
- ㉕ EXISTING FIRE HYDRANT.
- ㉖ EXISTING IRRIGATION VALVE.



Scale 1" = 20'  
0 20 40 80

**PRELIMINARY**

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**EXISTING CONDITIONS PLAN FOR:  
CORNELIUS MULTIFAMILY DEVELOPMENT  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON**



DESIGNED: PAR/JRK
CHECKED: MPW
MAY 20, 2022 74217.000
SHEET ID <b>C105</b>
SHEET <b>8</b> OF <b>49</b>

File name: L:\Projects\74217\74217-000\Civil\CAD\Working\Sheets\74217\_000\_C101-C107.dwg User: Peter Retch Layout: Tab: C105 CAD Plot Date/Time: 5/20/2022 10:34:19 AM

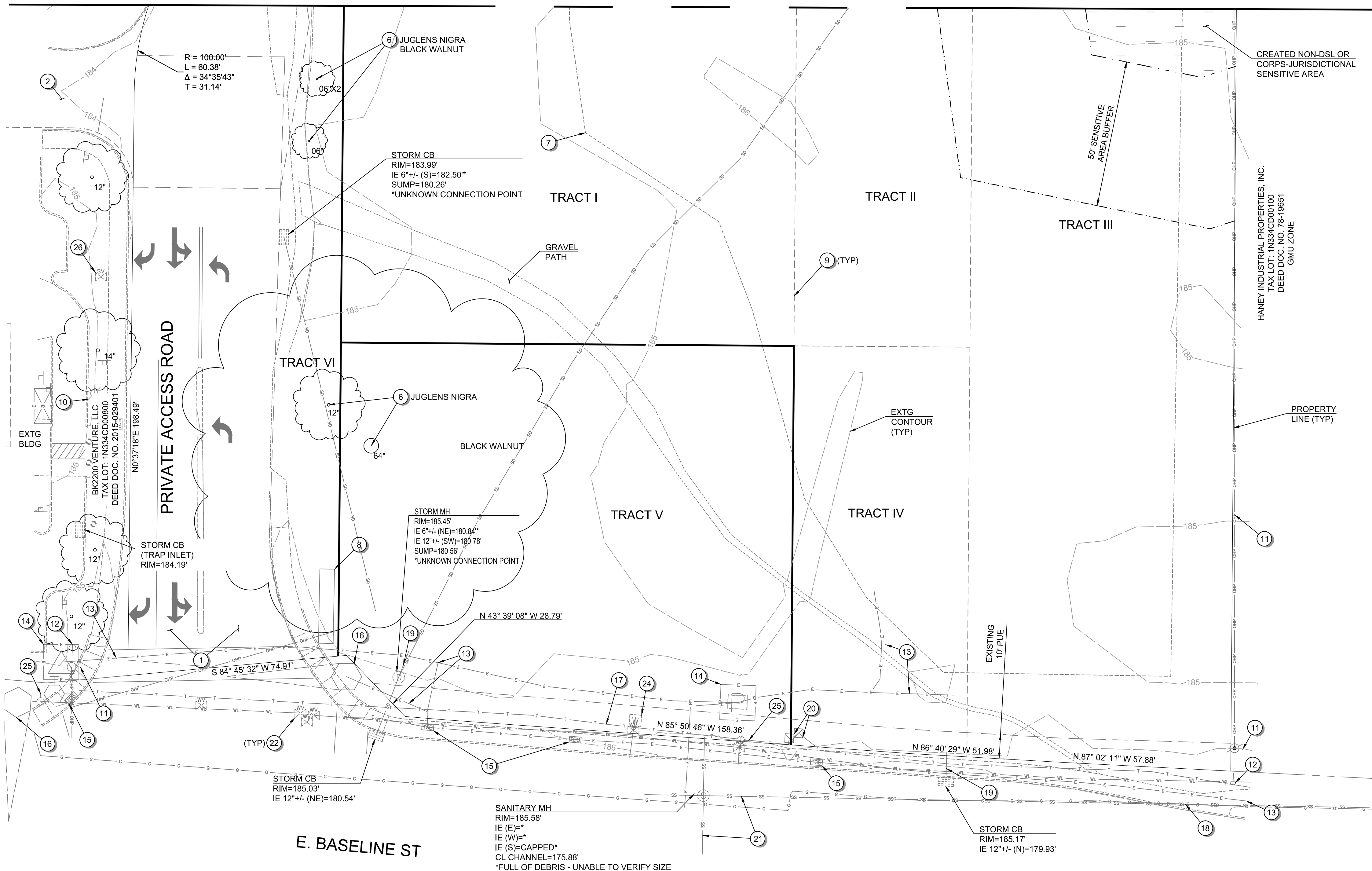
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MATCHLINE - SEE SHEET C106 FOR CONTINUATION



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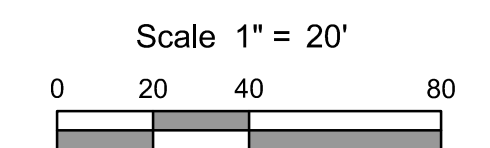
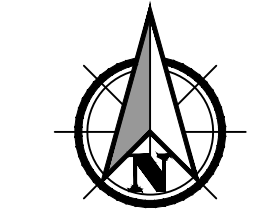


**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

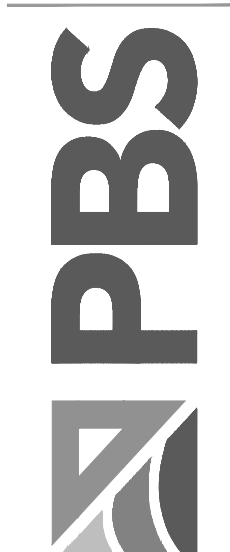
**EXISTING CONDITIONS PLAN KEYNOTES:**

- 1 EXISTING SITE ENTRANCE.
- 2 EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- 3 EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
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- 26 EXISTING IRRIGATION VALVE.



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EXISTING CONDITIONS PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



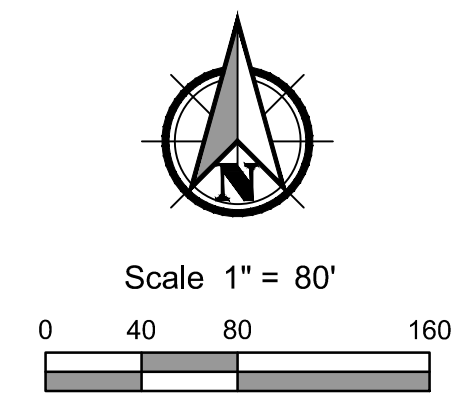
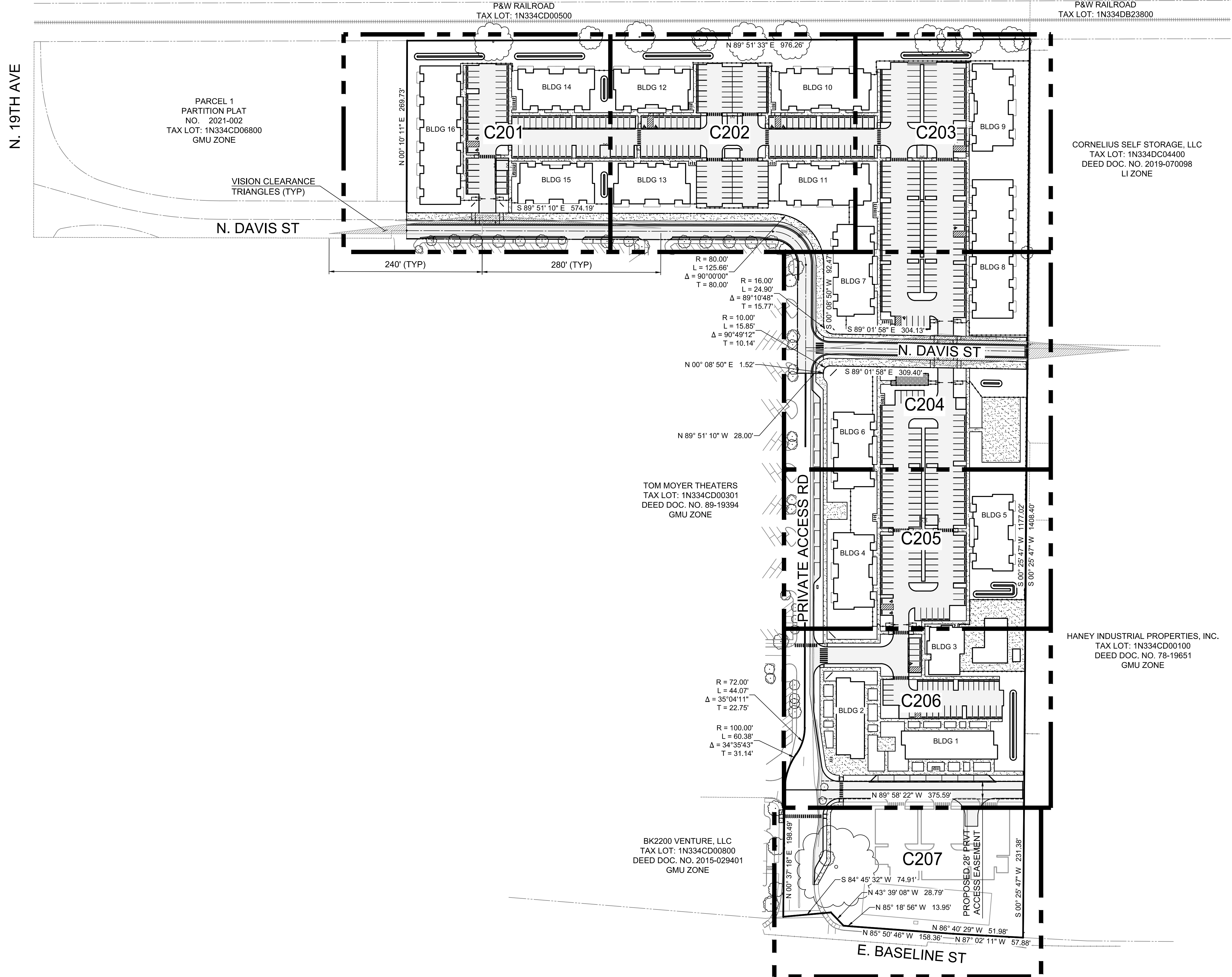
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DESIGNED:  
 PAR/JRK  
 CHECKED:  
 MPW  
 MAY 20, 2022  
 74217.000

SHEET ID  
**C106**

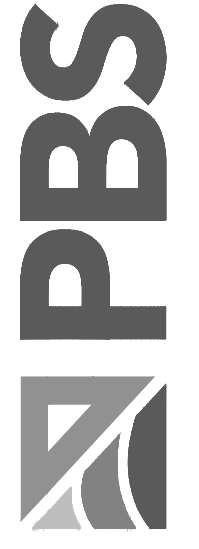


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**DIMENSIONED SITE IMPROVEMENT PLAN KEY MAP FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



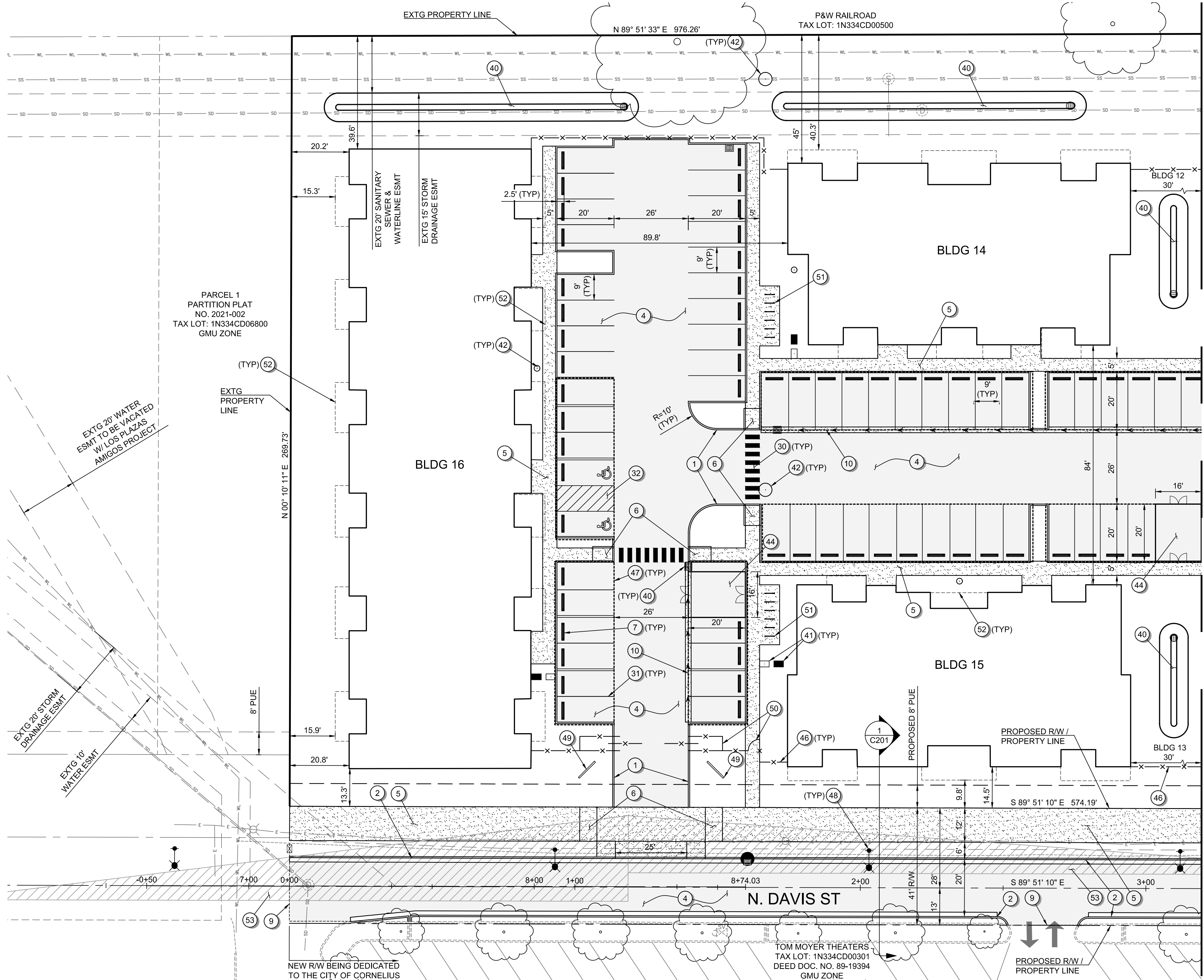
Know what's below.  
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DESIGNED: PAR/JRK
CHECKED: MPW
MAY 20, 2022 74217.000
SHEET ID <b>C200</b>
SHEET <b>10</b> OF <b>49</b>

Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.



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MATCHLINE - SEE SHEET C202 FOR CONTINUATION

**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
- N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

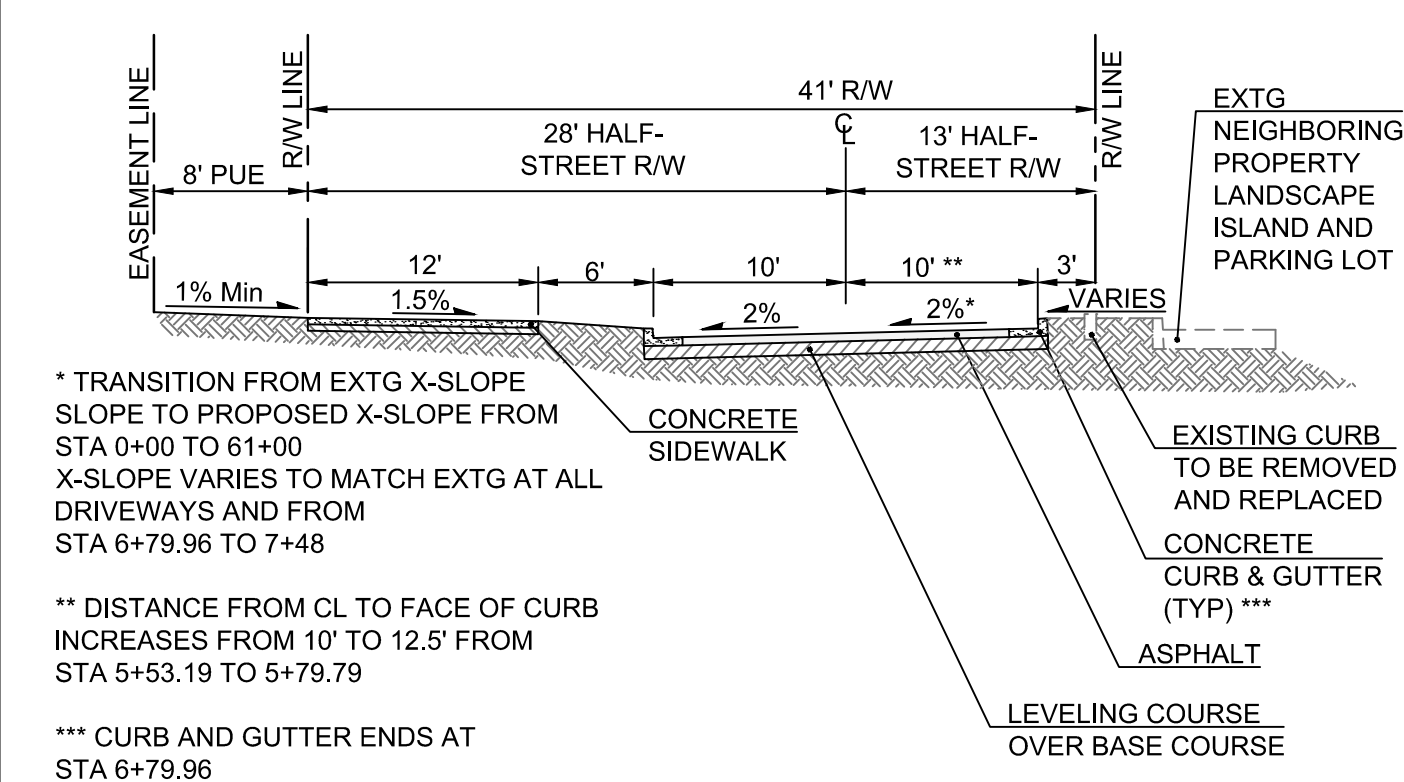
- CONSTRUCT VERTICAL CURB.
- CONSTRUCT CURB AND GUTTER.
- EMERGENCY TURNAROUND.
- CONSTRUCT ASPHALT.
- CONSTRUCT CONCRETE SIDEWALK.
- CONSTRUCT ADA RAMP.
- INSTALL WHEEL STOP.
- CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- CONSTRUCT CONCRETE VALLEY GUTTER.
- CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- INSTALL PIANO BAR CROSSWALK STRIPING.
- INSTALL PARKING STALL STRIPING.
- INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

- STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- STREET LIGHTING.
- MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.



**1 N DAVIS STREET (PUBLIC) SECTION**  
C201 STA 0+00 TO 7+48 Scale: 1"=10'

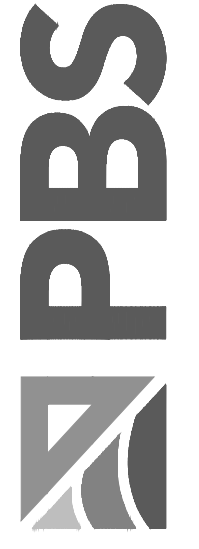
**PRELIMINARY**

DIMENSIONED SITE IMPROVEMENT PLAN FOR:

# CORNELIUS MULTIFAMILY DEVELOPMENT

A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON

PBS Engineering and Environmental Inc.  
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MAY 20, 2022  
74217.000

SHEET ID  
**C201**

SHEET 11 OF 49

Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

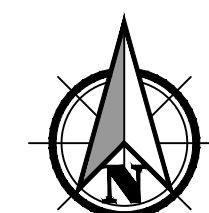
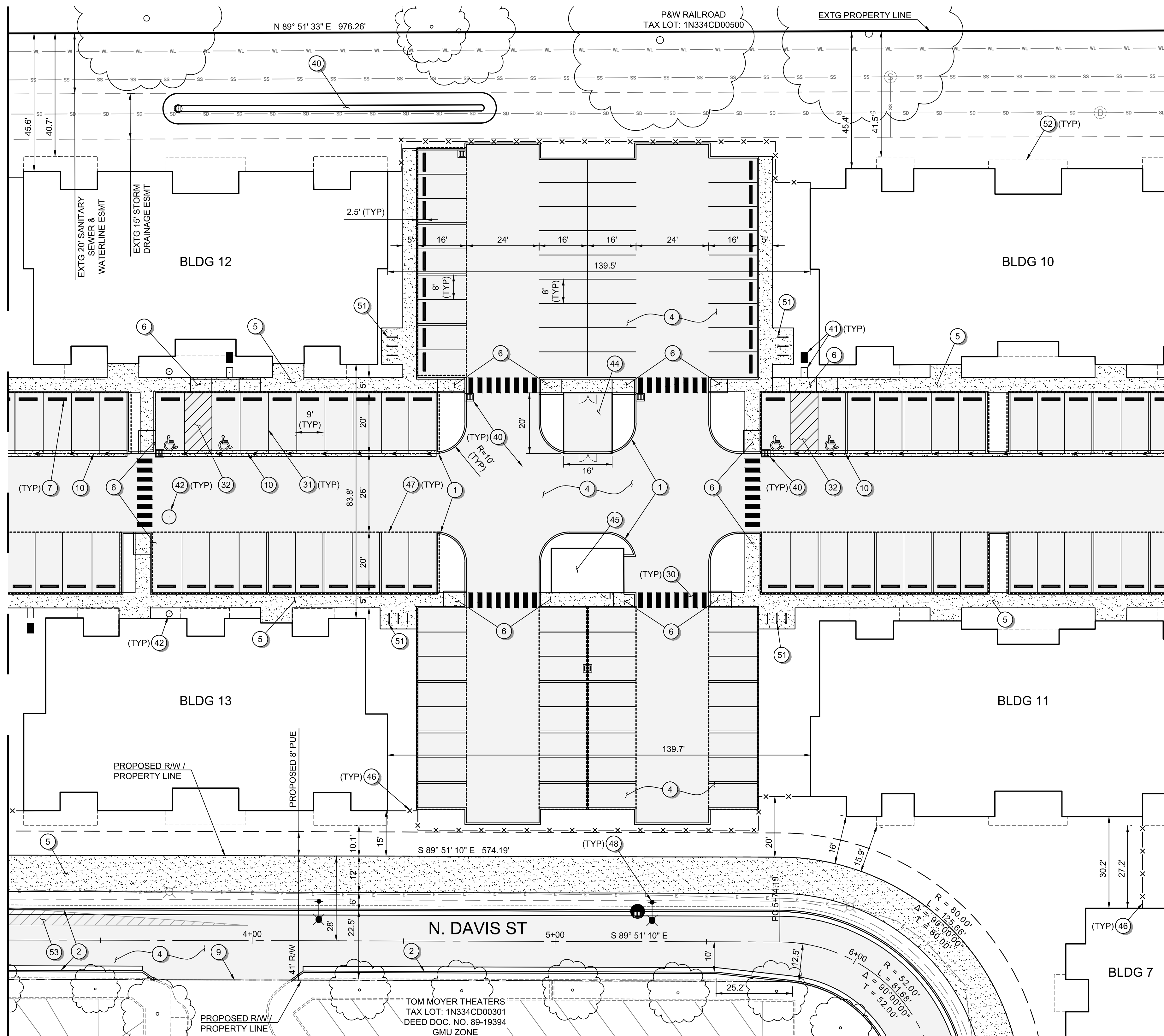


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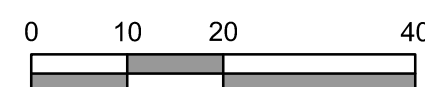
MATCHLINE - SEE SHEET C201 FOR CONTINUATION

MATCHLINE - SEE SHEET C203 FOR CONTINUATION

MATCHLINE - SEE SHEET C204 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
- N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

- CONSTRUCT VERTICAL CURB.
- CONSTRUCT CURB AND GUTTER.
- EMERGENCY TURNAROUND.
- CONSTRUCT ASPHALT.
- CONSTRUCT CONCRETE SIDEWALK.
- CONSTRUCT ADA RAMP.
- INSTALL WHEEL STOP.
- CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- CONSTRUCT CONCRETE VALLEY GUTTER.
- CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- INSTALL PIANO BAR CROSSWALK STRIPING.
- INSTALL PARKING STALL STRIPING.
- INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

- STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- STREET LIGHTING.
- MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.

DIMENSIONED SITE IMPROVEMENT PLAN FOR:

**CORNELIUS MULTIFAMILY DEVELOPMENT**

A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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SHEET ID

**C202**

SHEET 12 OF 49

**PRELIMINARY**

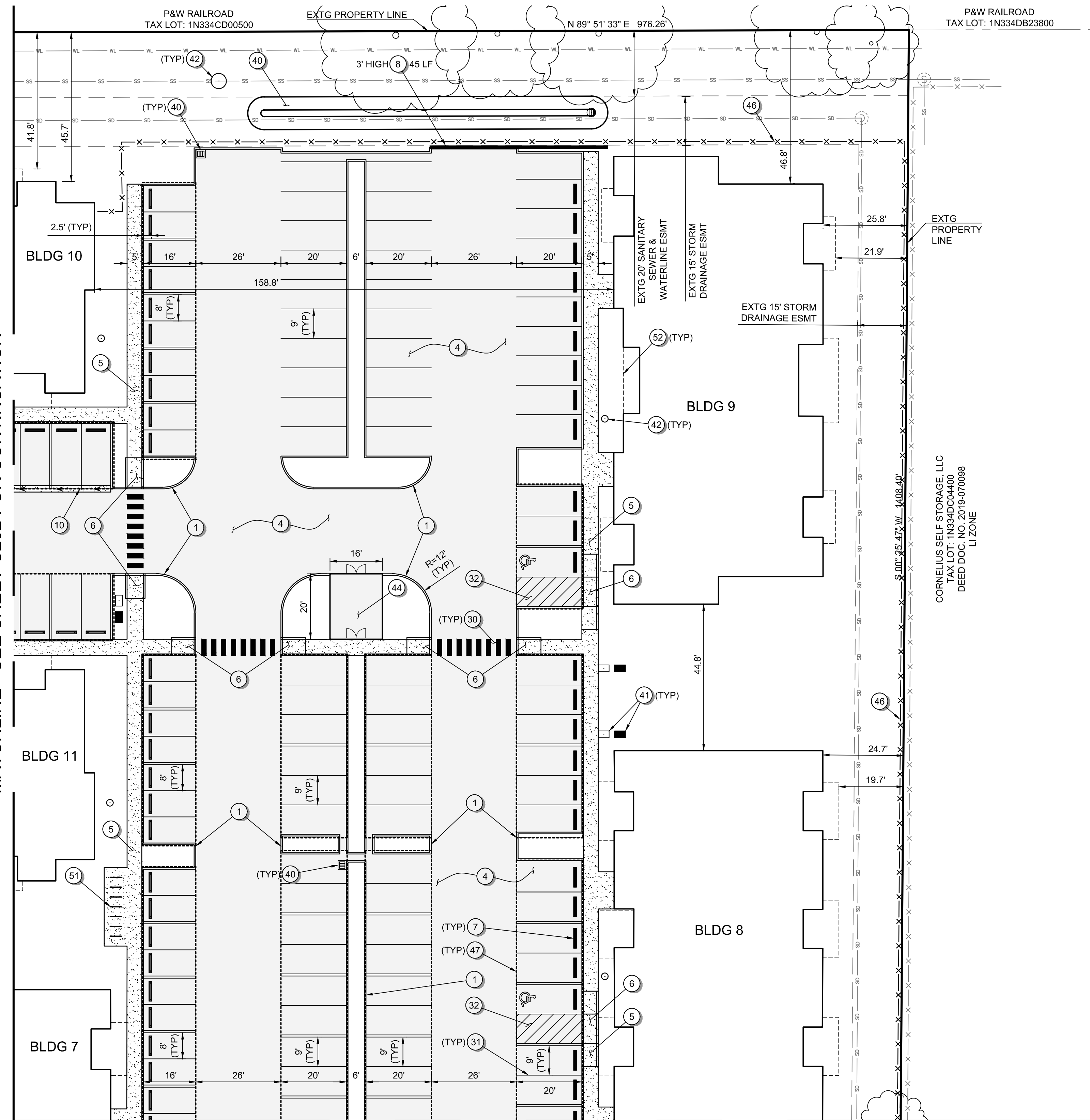
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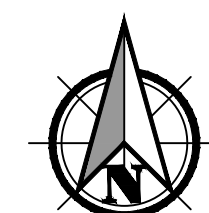


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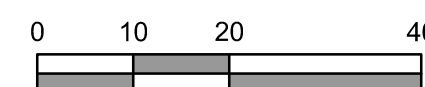
MATCHLINE - SEE SHEET C202 FOR CONTINUATION



MATCHLINE - SEE SHEET C204 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

1. CONSTRUCT VERTICAL CURB.
2. CONSTRUCT CURB AND GUTTER.
3. EMERGENCY TURNAROUND.
4. CONSTRUCT ASPHALT.
5. CONSTRUCT CONCRETE SIDEWALK.
6. CONSTRUCT ADA RAMP.
7. INSTALL WHEEL STOP.
8. CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
9. SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
10. CONSTRUCT CONCRETE VALLEY GUTTER.
11. CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

30. INSTALL PIANO BAR CROSSWALK STRIPING.
31. INSTALL PARKING STALL STRIPING.
32. INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

40. STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
41. WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
42. SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
43. STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
44. TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
45. MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
46. CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
47. COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
48. STREET LIGHTING.
49. MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
50. SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
51. BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
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**DIMENSIONED SITE IMPROVEMENT PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
Call before you dig.

DESIGNED:  
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CHECKED:  
MPW

MAY 20, 2022  
74217.000

SHEET ID

**C203**

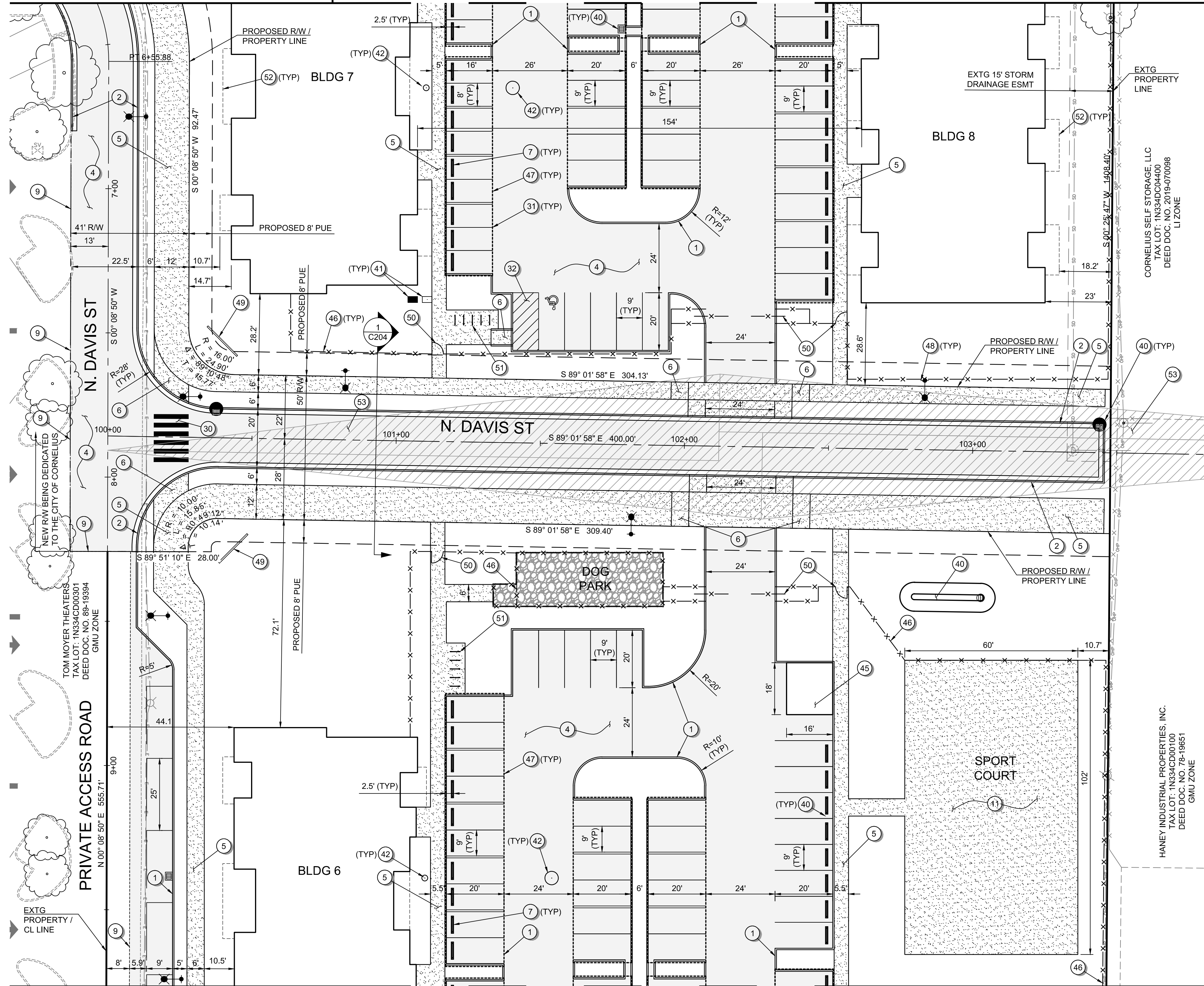
SHEET **13** OF **49**

**PRELIMINARY**



MATCHLINE - SEE SHEET C202 FOR CONTINUATION

MATCHLINE - SEE SHEET C203 FOR CONTINUATION



MATCHLINE - SEE SHEET C205 FOR CONTINUATION

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 Layout: Tab: C204  
 CAD File Date/Time: 5/20/2022 10:35:42 AM

**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
- N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

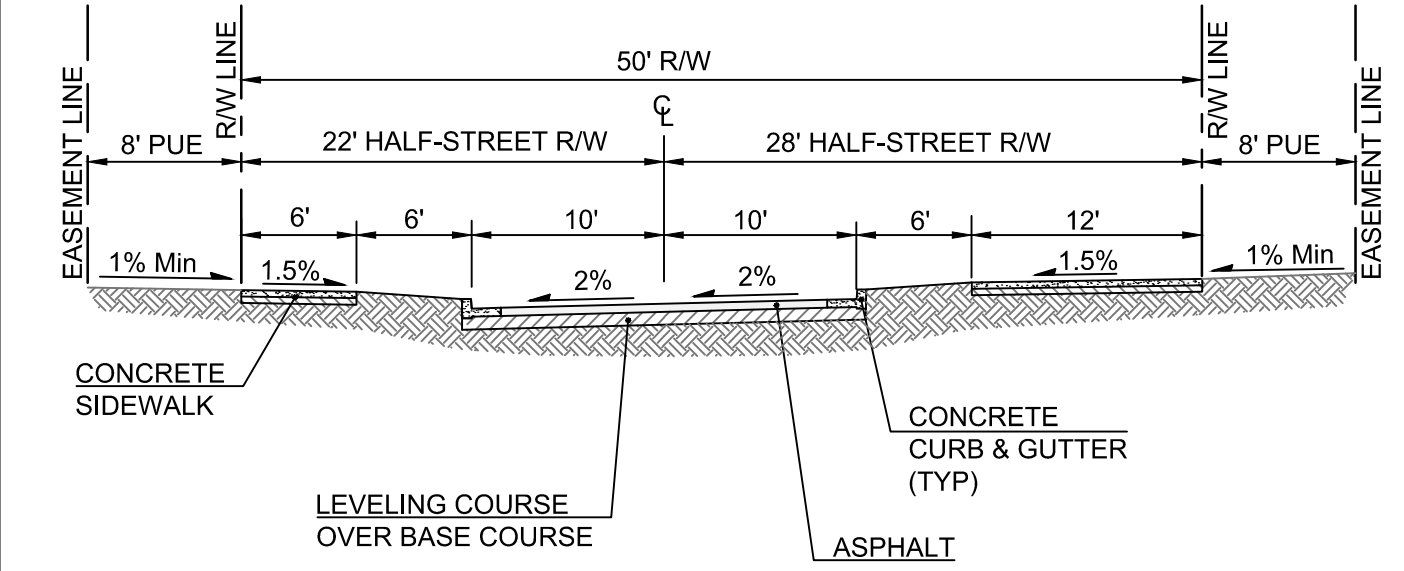
- CONSTRUCT VERTICAL CURB.
- CONSTRUCT CURB AND GUTTER.
- EMERGENCY TURNAROUND.
- CONSTRUCT ASPHALT.
- CONSTRUCT CONCRETE SIDEWALK.
- CONSTRUCT ADA RAMP.
- INSTALL WHEEL STOP.
- CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- CONSTRUCT CONCRETE VALLEY GUTTER.
- CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- INSTALL PIANO BAR CROSSWALK STRIPING.
- INSTALL PARKING STALL STRIPING.
- INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

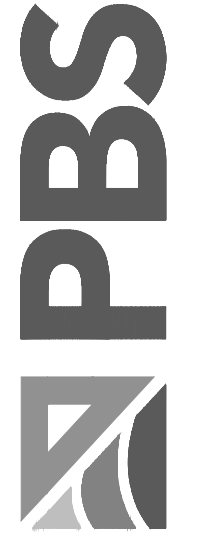
- STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- STREET LIGHTING.
- MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.



1 N DAVIS STREET (PUBLIC) SECTION  
 C204 STA 100+38 TO 103+45 Scale: 1"=10'

**PRELIMINARY**

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**DIMENSIONED SITE IMPROVEMENT PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



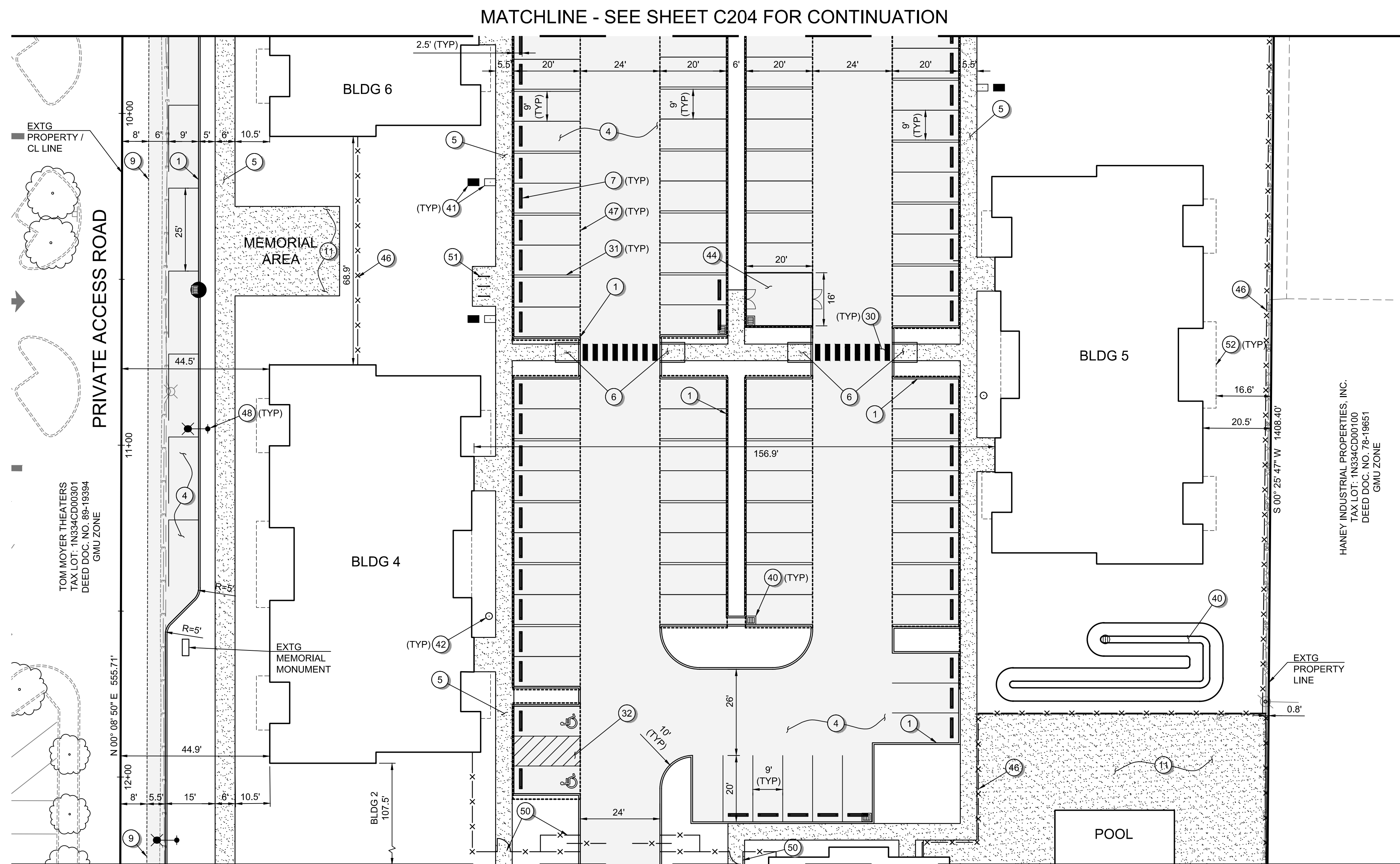
Know what's below.  
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DESIGNED: PAR/JRK
CHECKED: MPW
MAY 20, 2022 74217.000
SHEET ID <b>C204</b>
SHEET <b>14</b> OF <b>49</b>

Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

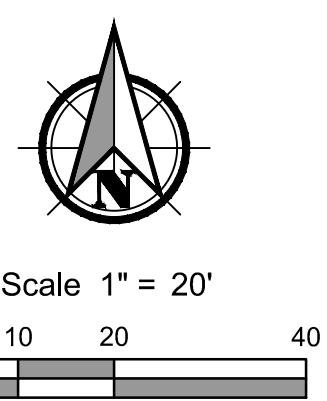


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MATCHLINE - SEE SHEET C204 FOR CONTINUATION

MATCHLINE - SEE SHEET C206 FOR CONTINUATION



**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

- 1 CONSTRUCT VERTICAL CURB.
- 2 CONSTRUCT CURB AND GUTTER.
- 3 EMERGENCY TURNAROUND.
- 4 CONSTRUCT ASPHALT.
- 5 CONSTRUCT CONCRETE SIDEWALK.
- 6 CONSTRUCT ADA RAMP.
- 7 INSTALL WHEEL STOP.
- 8 CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- 9 SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- 10 CONSTRUCT CONCRETE VALLEY GUTTER.
- 11 CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- 30 INSTALL PIANO BAR CROSSWALK STRIPING.
- 31 INSTALL PARKING STALL STRIPING.
- 32 INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

- 40 STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 41 WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 42 SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 43 STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 44 TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 45 MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 46 CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- 47 COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 48 STREET LIGHTING.
- 49 MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 50 SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 51 BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 52 BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 53 SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.

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**DIMENSIONED SITE IMPROVEMENT PLAN FOR:**  
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 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON

DESIGNED:  
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 CHECKED:  
 MPW  
 MAY 20, 2022  
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SHEET ID  
**C205**

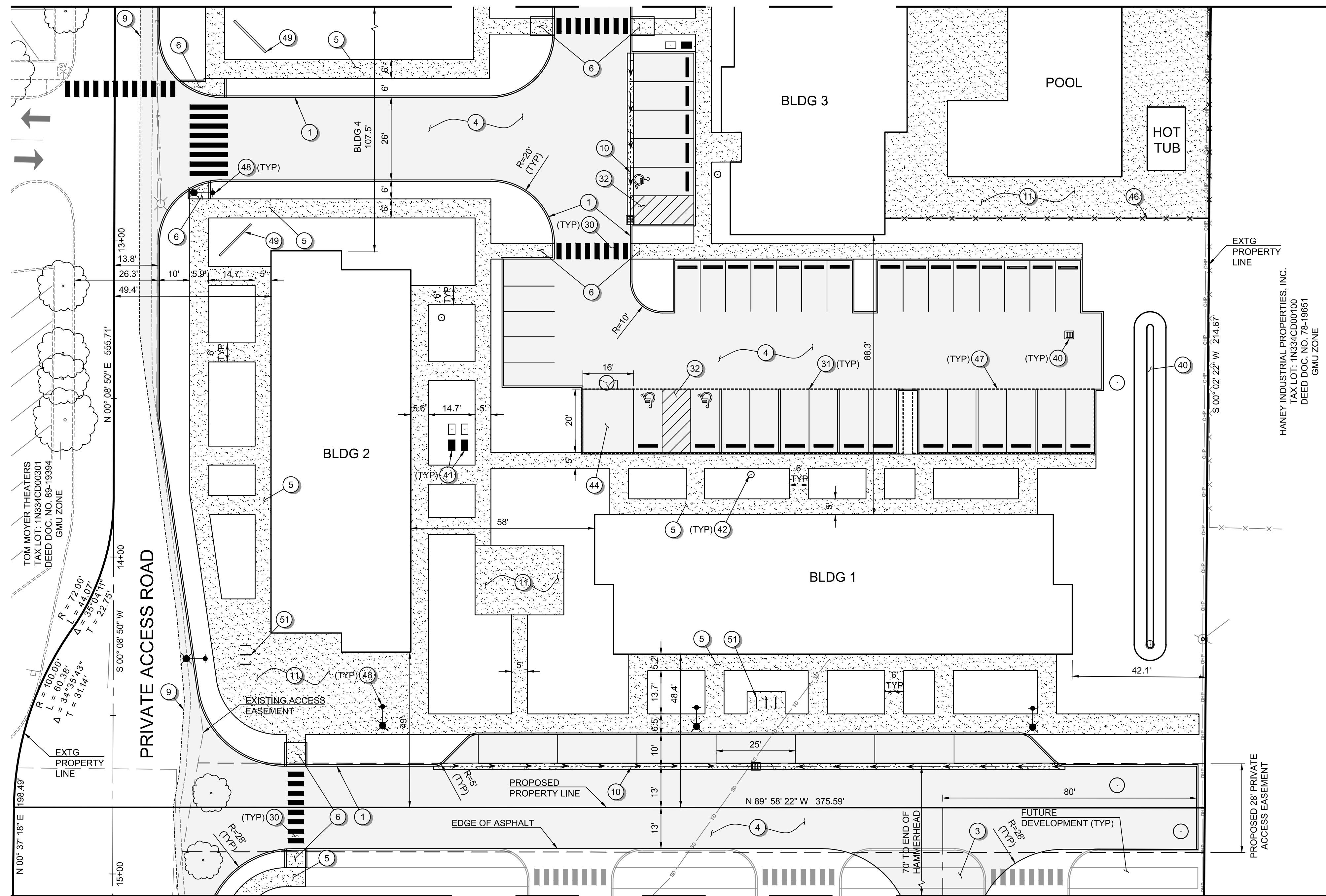
SHEET 15 OF 49

**PRELIMINARY**

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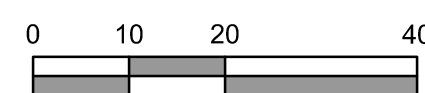
MATCHLINE - SEE SHEET C205 FOR CONTINUATION



MATCHLINE - SEE SHEET C207 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
- N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

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- CONSTRUCT CURB AND GUTTER.
- EMERGENCY TURNAROUND.
- CONSTRUCT ASPHALT.
- CONSTRUCT CONCRETE SIDEWALK.
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- CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

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**MISCELLANEOUS KEYNOTES:**

- STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- STREET LIGHTING.
- MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
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**DIMENSIONED SITE IMPROVEMENT PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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SHEET ID

**C206**

SHEET **16** OF **49**

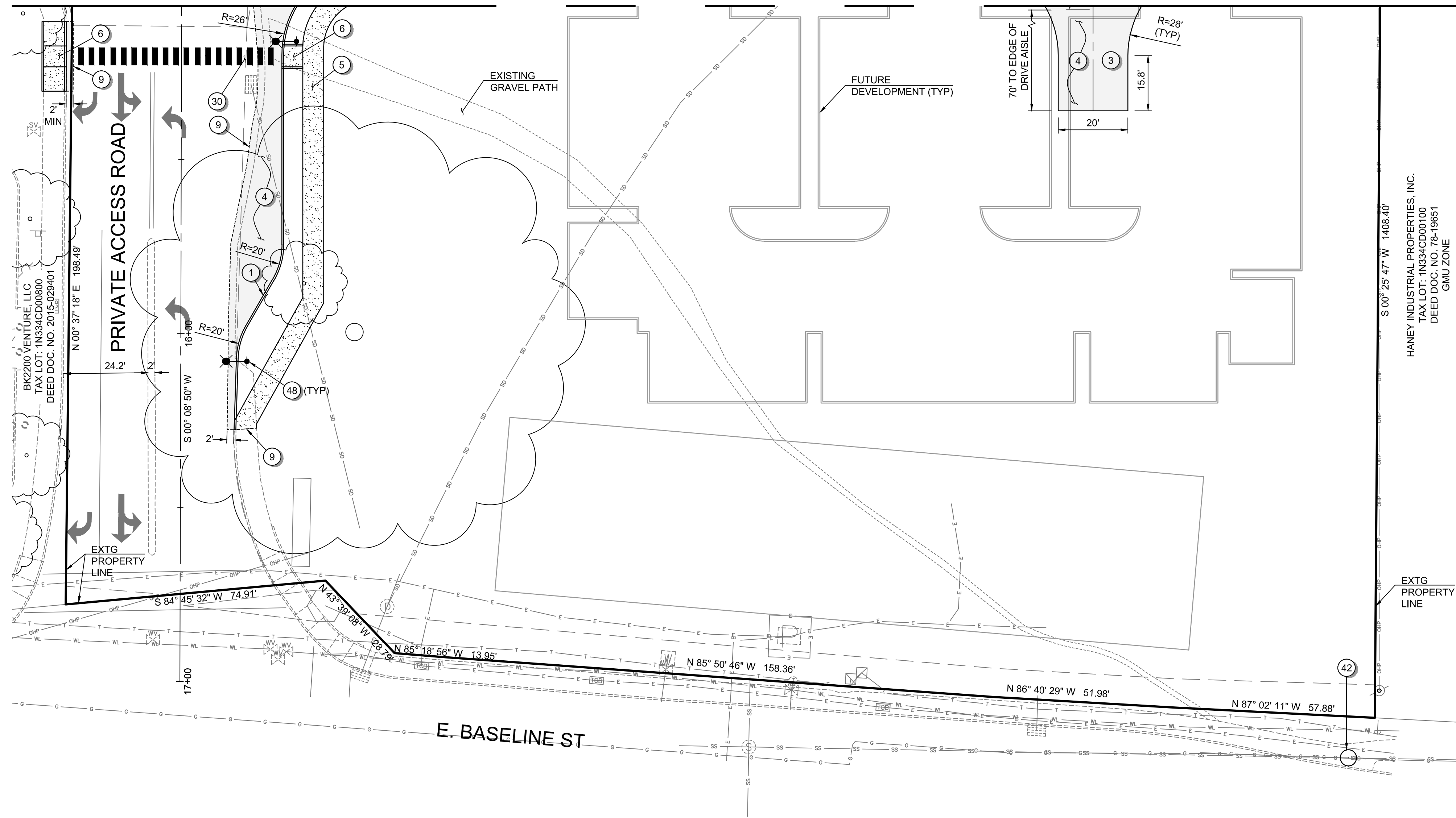
**PRELIMINARY**

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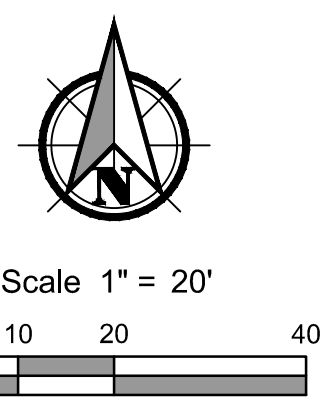
MATCHLINE - SEE SHEET C206 FOR CONTINUATION



BK2200 VENTURE, LLC  
TAX LOT: 1N334CD00800  
DEED DOC. NO. 2015-029401

HANEY INDUSTRIAL PROPERTIES, INC.  
TAX LOT: 1N334CD00100  
DEED DOC. NO. 78-19651  
GDU ZONE

File name: L:\Projects\742001\742174217-0001\Civil\CAD\Working\Sheets\74217\_000\_C201-C207.dwg  
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 CAD Plot Date/Time: 5/20/2022 10:38:12 AM



**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
- N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

- CONSTRUCT VERTICAL CURB.
- CONSTRUCT CURB AND GUTTER.
- EMERGENCY TURNAROUND.
- CONSTRUCT ASPHALT.
- CONSTRUCT CONCRETE SIDEWALK.
- CONSTRUCT ADA RAMP.
- INSTALL WHEEL STOP.
- CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- CONSTRUCT CONCRETE VALLEY GUTTER.
- CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- INSTALL PIANO BAR CROSSWALK STRIPING.
- INSTALL PARKING STALL STRIPING.
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**MISCELLANEOUS KEYNOTES:**

- STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- STREET LIGHTING.
- MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.

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DIMENSIONED SITE IMPROVEMENT PLAN FOR:  
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 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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MPW

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SHEET ID

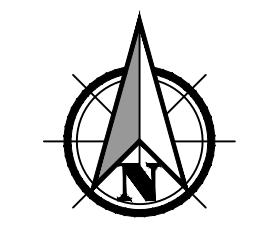
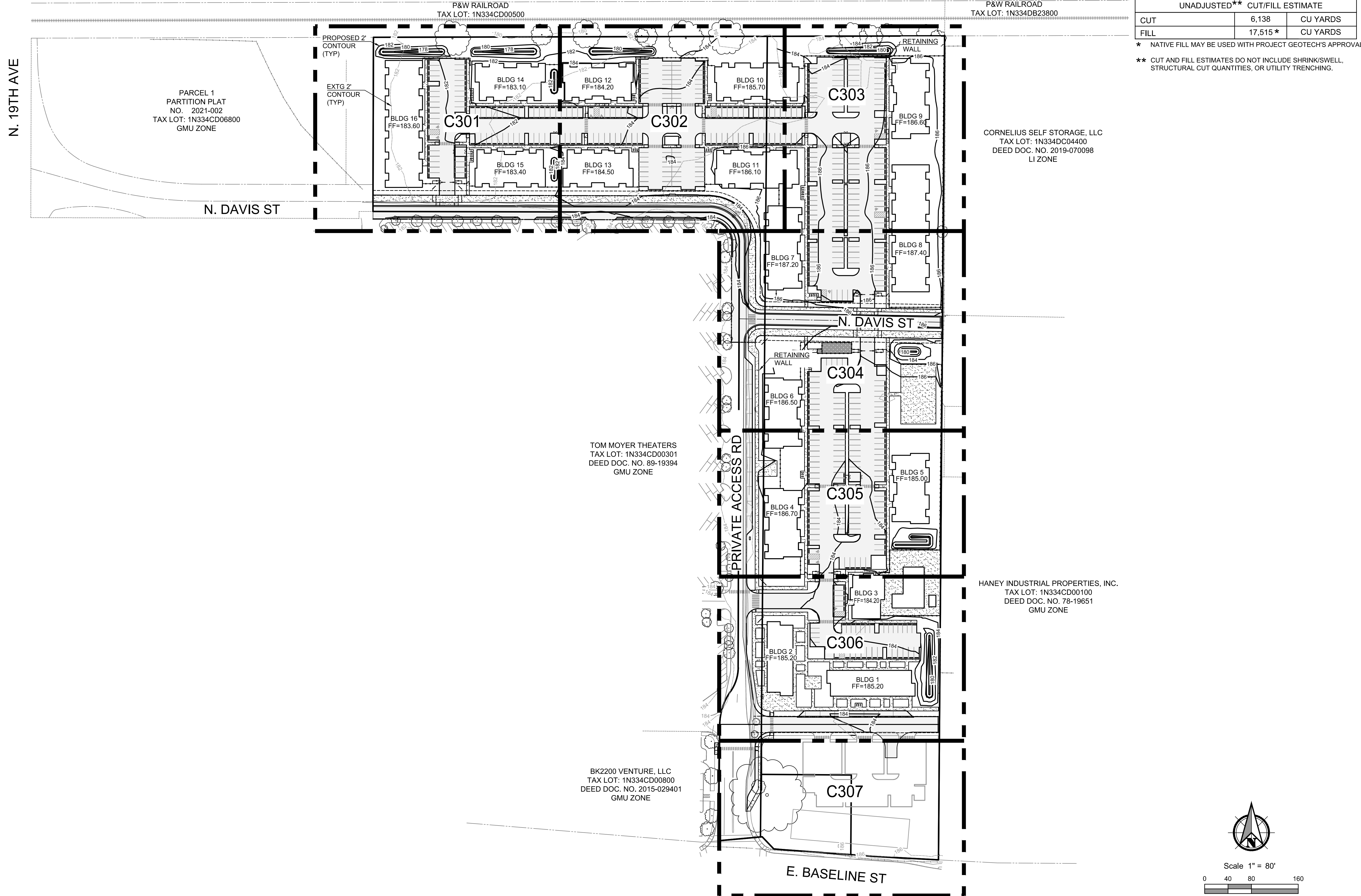
**C207**

SHEET 17 OF 49

**PRELIMINARY**



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Scale 1" = 80'

0 40 80 160

**PRELIMINARY**

GRADING PLAN KEY MAP FOR:

**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



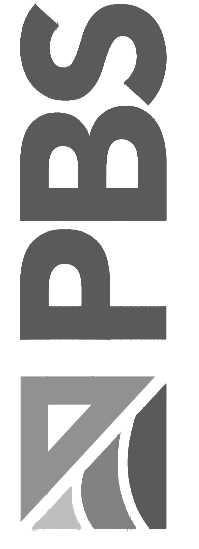
Know what's below.  
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SHEET ID  
**C300**

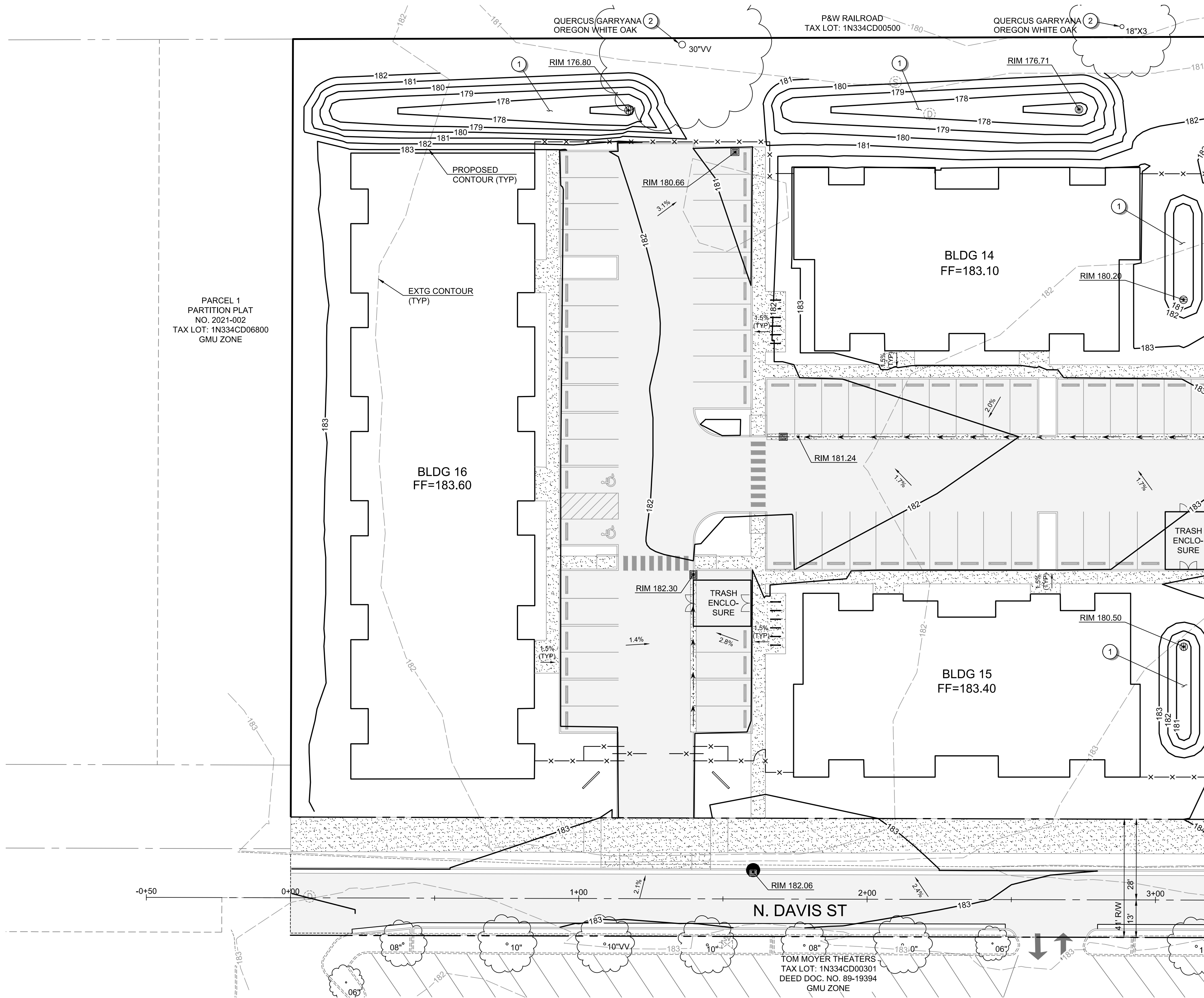
SHEET 18 OF 49

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Filename: L:\Projects\74217\74217-000\Civil\CAD\WorkingSheets\74217\_000\_C301-C307.dwg Layout: Tab: C301 User: Peter Reich CAD Plot Date/Time: 5/20/2022 10:37:09 AM



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PARTITION PLAT  
NO. 2021-002  
TAX LOT: 1N334CD06800  
GMU ZONE

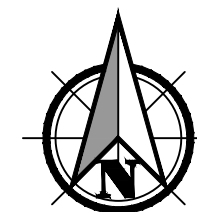
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FF=183.60

BLDG 14  
FF=183.10

BLDG 15  
FF=183.40

N. DAVIS ST

TOM MOYER THEATERS  
TAX LOT: 1N334CD00301  
DEED DOC. NO. 89-19394  
GMU ZONE



Scale 1" = 20'  
0 10 20 40

MATCHLINE - SEE SHEET C302 FOR CONTINUATION

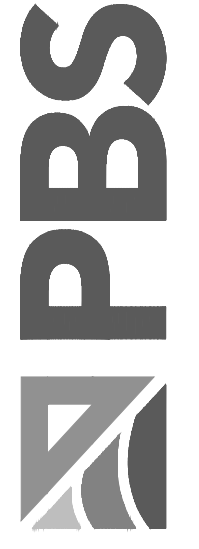
**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. SEE SHEET C300 FOR THE PROJECT'S ANTICIPATED CUT AND FILL VOLUMES.
4. THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN.
5. FINISHED GRADES ADJACENT TO BUILDING IN SOFTSCAPE AREAS INCLUDE ROOM FOR FINAL LANDSCAPE LAYERS SUCH AS TOP SOIL OR MULCH. ONCE FINAL LAYERS HAVE BEEN INSTALLED THE AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING.

**GRADING PLAN KEYNOTES:**

- 1 STORMWATER FACILITY. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 2 EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, DIAMETER AT BREAST HEIGHT (DBH), AND REMOVAL STATUS.

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GRADING PLAN FOR:  
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A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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SHEET ID  
**C301**

SHEET 19 OF 49

**PRELIMINARY**

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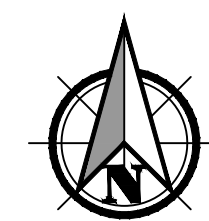
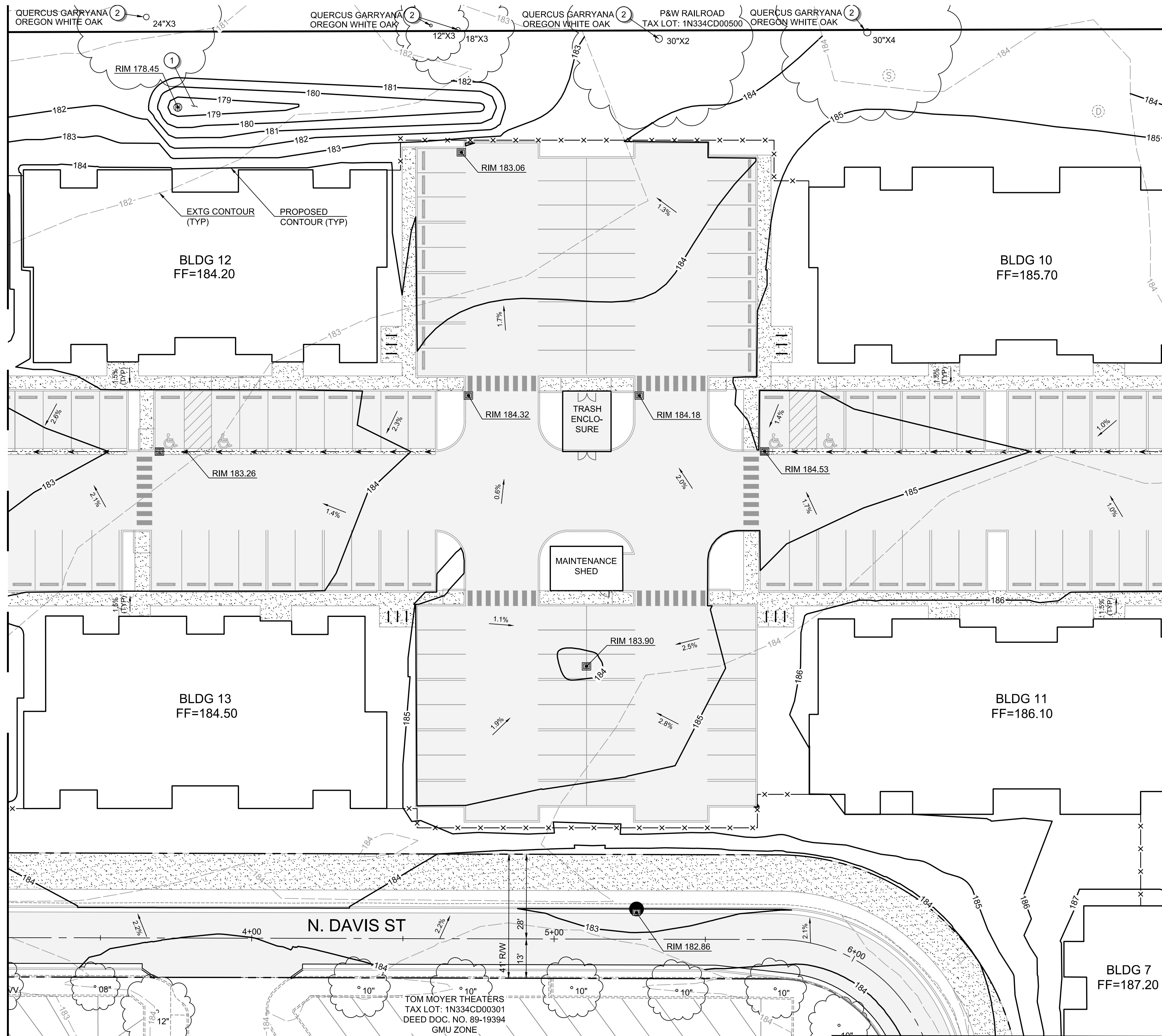


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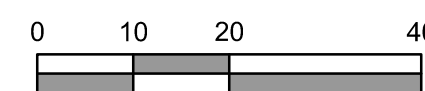
MATCHLINE - SEE SHEET C301 FOR CONTINUATION

MATCHLINE - SEE SHEET C303 FOR CONTINUATION

MATCHLINE - SEE SHEET C304 FOR CONTINUATION



Scale 1" = 20'



Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. SEE SHEET C300 FOR THE PROJECT'S ANTICIPATED CUT AND FILL VOLUMES.
4. THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN.
5. FINISHED GRADES ADJACENT TO BUILDING IN SOFTSCAPE AREAS INCLUDE ROOM FOR FINAL LANDSCAPE LAYERS SUCH AS TOP SOIL OR MULCH. ONCE FINAL LAYERS HAVE BEEN INSTALLED THE AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING.

**GRADING PLAN KEYNOTES:**

- ① STORMWATER FACILITY. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- ② EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, DIAMETER AT BREAST HEIGHT (DBH), AND REMOVAL STATUS.

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SHEET ID  
**C302**

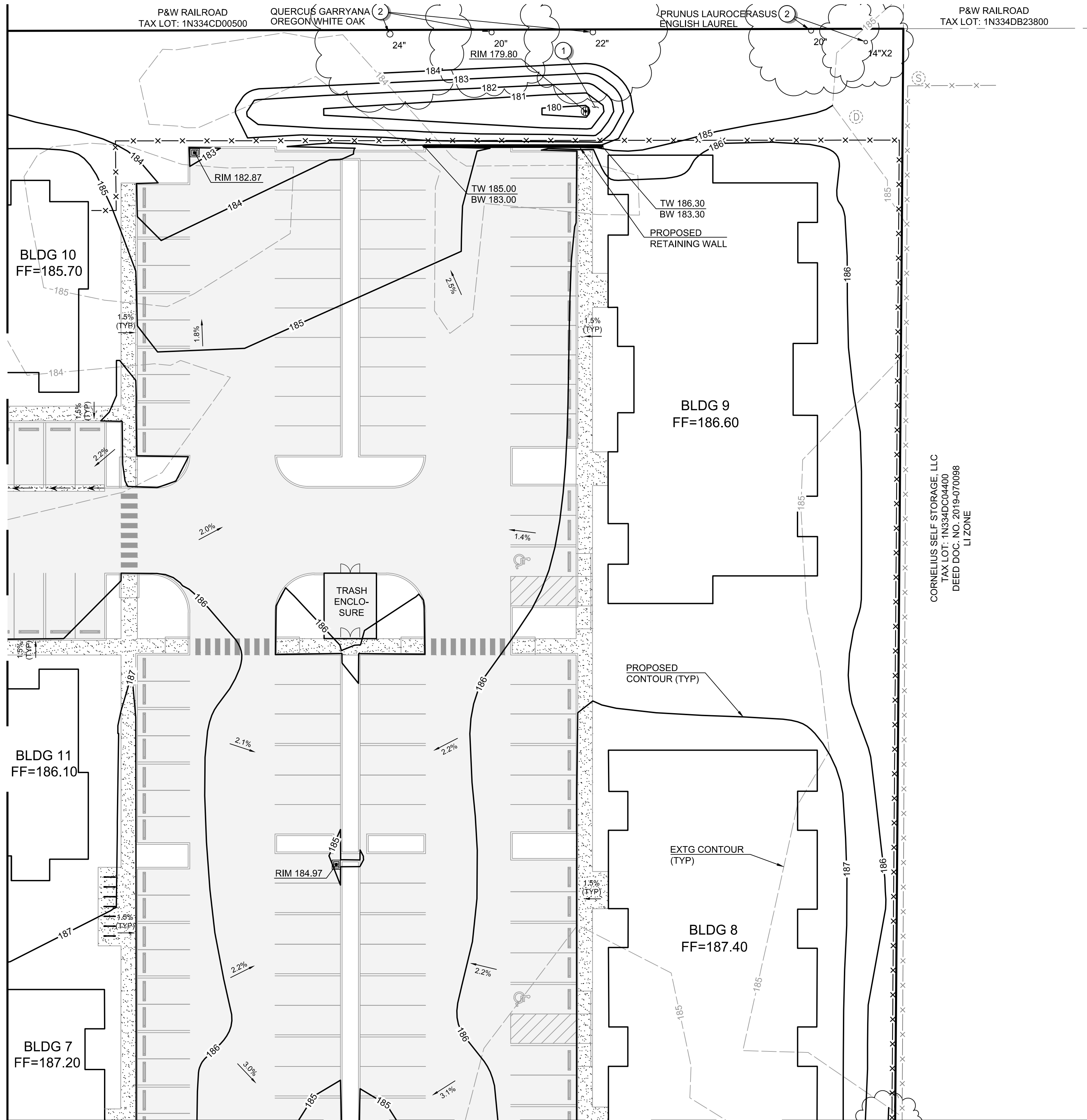
SHEET 20 OF 49

**PRELIMINARY**

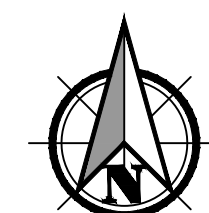


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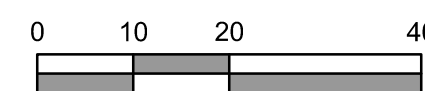
MATCHLINE - SEE SHEET C302 FOR CONTINUATION



MATCHLINE - SEE SHEET C304 FOR CONTINUATION



Scale 1" = 20'



Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

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GRADING PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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DESIGNED:  
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CHECKED:  
MPW

MAY 20, 2022  
74217.000

SHEET ID

**C303**

SHEET 21 OF 49

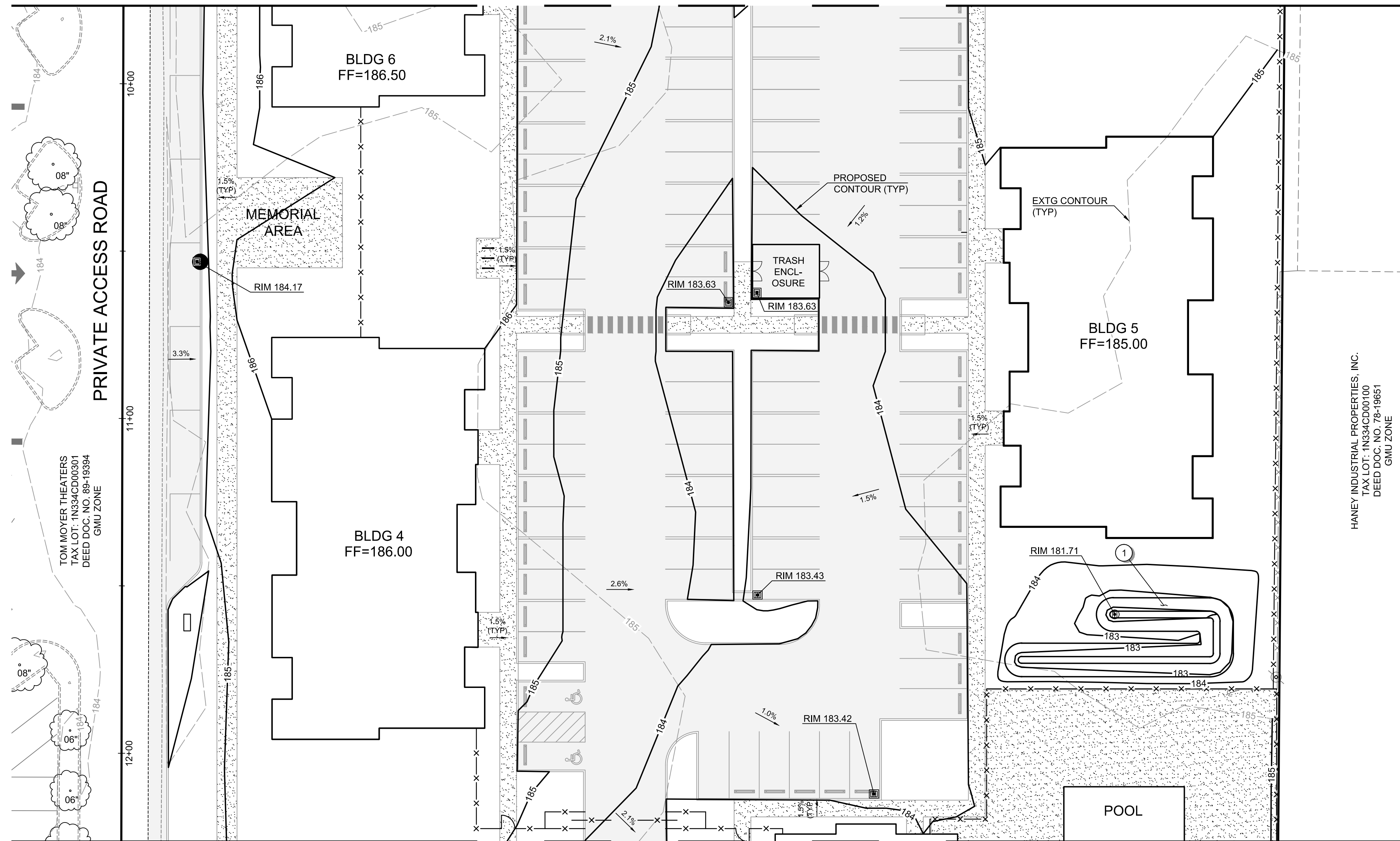
**PRELIMINARY**



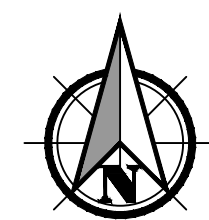




MATCHLINE - SEE SHEET C304 FOR CONTINUATION



MATCHLINE - SEE SHEET C306 FOR CONTINUATION



Scale 1" = 20'



HANEY INDUSTRIAL PROPERTIES, INC.  
 TAX LOT: 1N334C00100  
 DEED DOC. NO. 78-19851  
 GMI ZONE

**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. SEE SHEET C300 FOR THE PROJECT'S ANTICIPATED CUT AND FILL VOLUMES.
4. THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN.
5. FINISHED GRADES ADJACENT TO BUILDING IN SOFTSCAPE AREAS INCLUDE ROOM FOR FINAL LANDSCAPE LAYERS SUCH AS TOP SOIL OR MULCH. ONCE FINAL LAYERS HAVE BEEN INSTALLED THE AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING.

**GRADING PLAN KEYNOTES:**

- 1 STORMWATER FACILITY. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 2 EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, DIAMETER AT BREAST HEIGHT (DBH), AND REMOVAL STATUS.

File name: L:\Projects\74217\74217-000\Civil\CAD\WorkingSheets\74217\_000\_C301-C307.dwg Layout: Tab: C305 User: Peter Reich CAD Plot Date/Time: 5/20/2022 10:37:31 AM

Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

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GRADING PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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SHEET ID  
**C305**

SHEET 23 OF 49

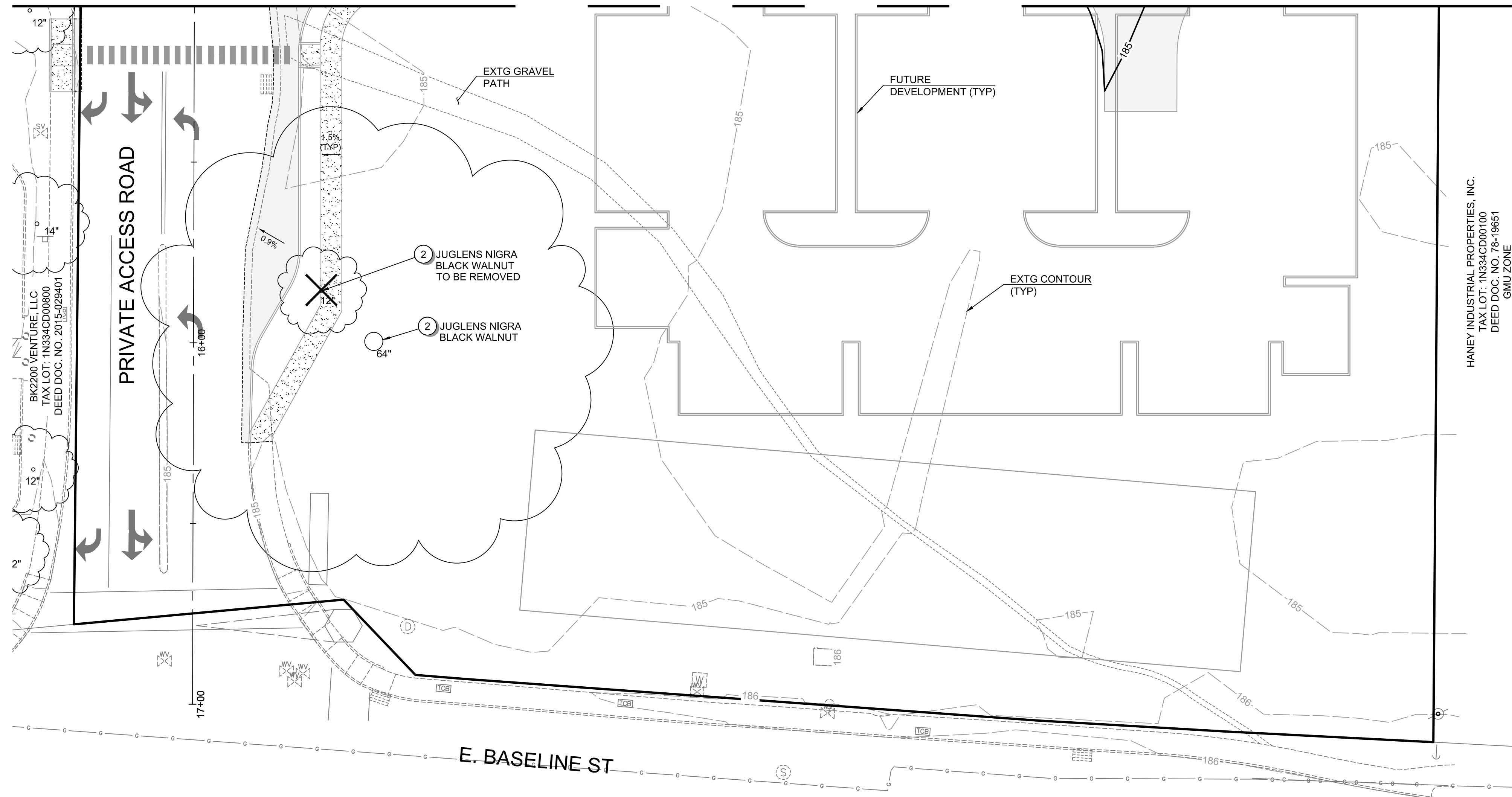
**PRELIMINARY**







MATCHLINE - SEE SHEET C306 FOR CONTINUATION



HANEY INDUSTRIAL PROPERTIES, INC.  
 TAX LOT: 1N334CD00100  
 DEED DOC. NO. 78-19851  
 GMU ZONE

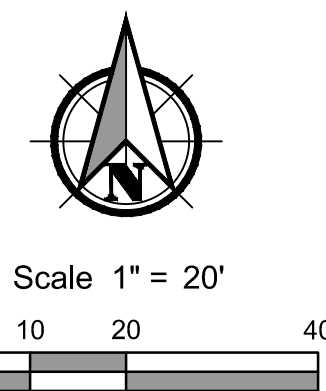
**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. SEE SHEET C300 FOR THE PROJECT'S ANTICIPATED CUT AND FILL VOLUMES.
4. THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN.
5. FINISHED GRADES ADJACENT TO BUILDING IN SOFTSCAPE AREAS INCLUDE ROOM FOR FINAL LANDSCAPE LAYERS SUCH AS TOP SOIL OR MULCH. ONCE FINAL LAYERS HAVE BEEN INSTALLED THE AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING.

**GRADING PLAN KEYNOTES:**

- ① STORMWATER FACILITY. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- ② EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, DIAMETER AT BREAST HEIGHT (DBH), AND REMOVAL STATUS.

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**GRADING PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
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**C307**

SHEET **25** OF **49**

**PRELIMINARY**



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N. 19TH AVE

PARCEL 1  
PARTITION PLAT  
NO. 2021-002  
TAX LOT: 1N334CD06800  
GMU ZONE

P&W RAILROAD  
TAX LOT: 1N334CD00500

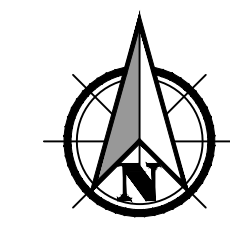
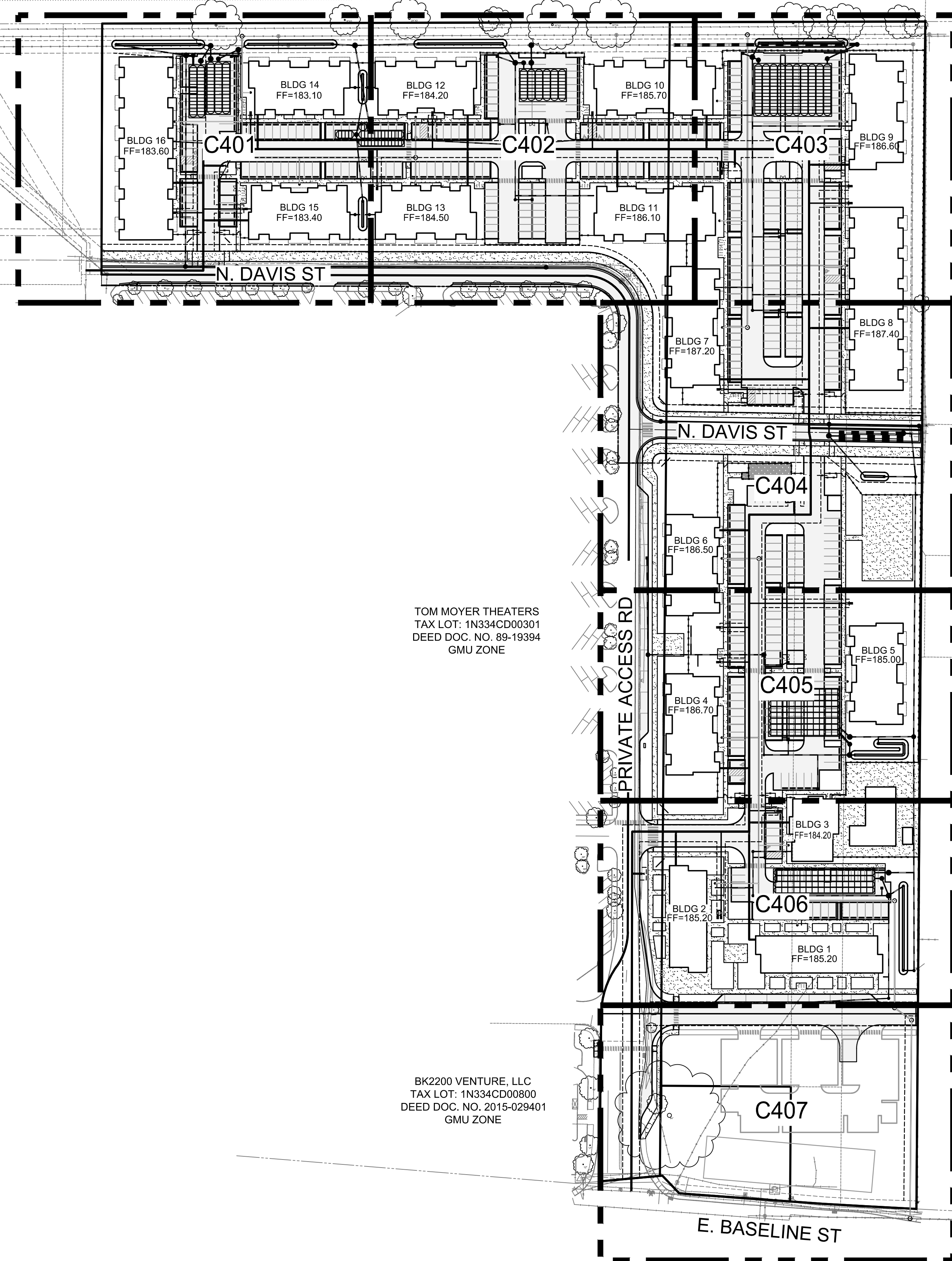
P&W RAILROAD  
TAX LOT: 1N334DB23800

CORNELIUS SELF STORAGE, LLC  
TAX LOT: 1N334DC04400  
DEED DOC. NO. 2019-070098  
LI ZONE

TOM MOYER THEATERS  
TAX LOT: 1N334CD00301  
DEED DOC. NO. 89-19394  
GMU ZONE

HANEY INDUSTRIAL PROPERTIES, INC.  
TAX LOT: 1N334CD00100  
DEED DOC. NO. 78-19651  
GMU ZONE

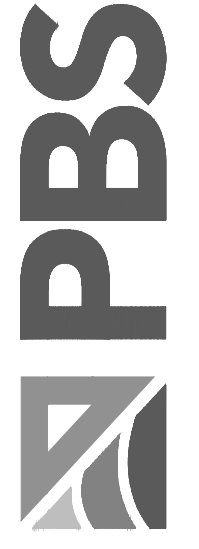
BK2200 VENTURE, LLC  
TAX LOT: 1N334CD00800  
DEED DOC. NO. 2015-029401  
GMU ZONE



Scale 1" = 80'  
0 40 80 160

**PRELIMINARY**

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UTILITY PLAN KEY MAP FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
Call before you dig.

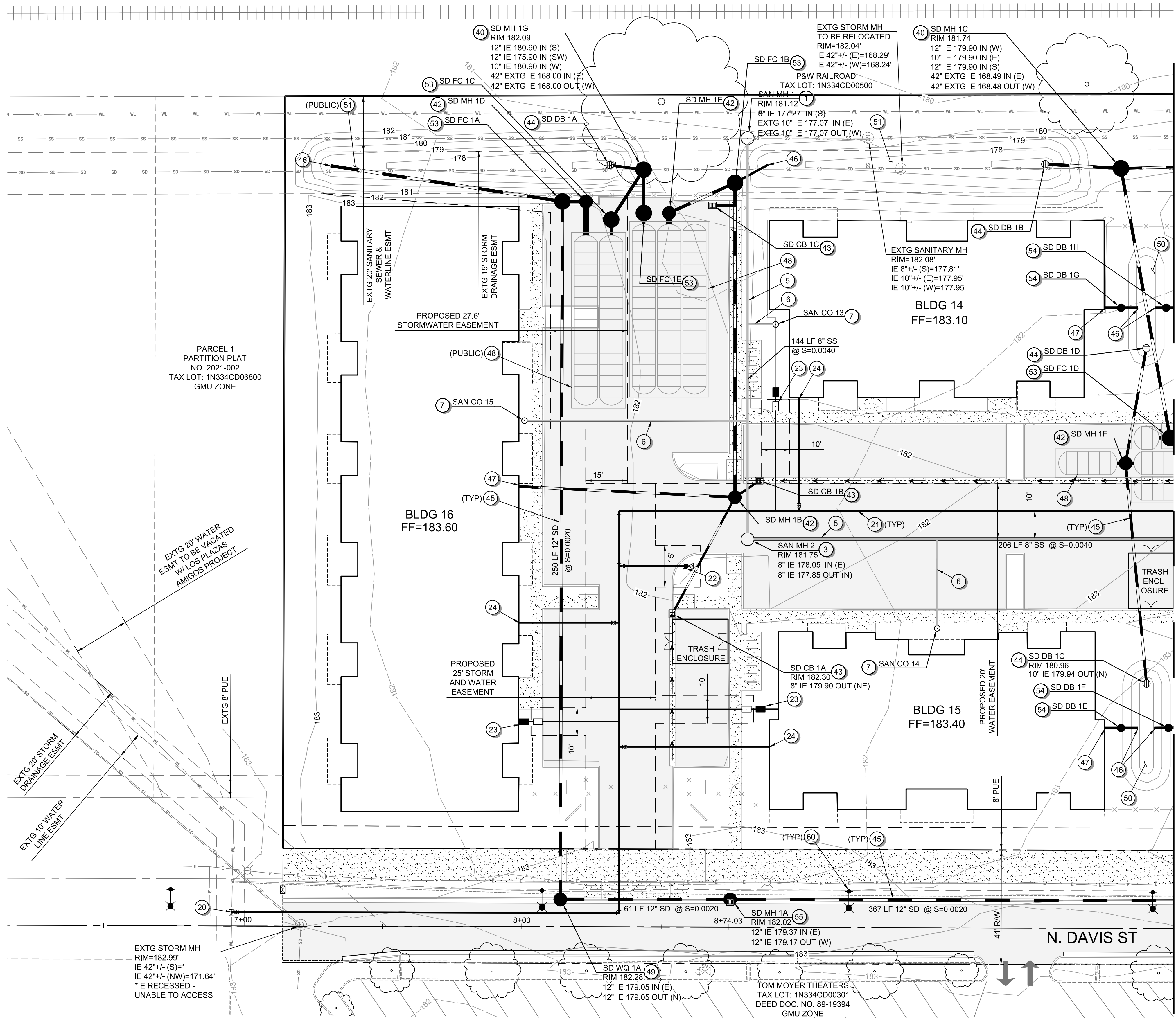
DESIGNED:  
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MPW  
MAY 20, 2022  
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SHEET ID  
**C400**

SHEET 26 OF 49



File name: L:\Projects\742001\74217\74217-CAD\Working\Sheets\74217\_000\_C401-C407.dwg Layout: Tab: C401 User: Peter Reich CAD Plot Date/Time: 5/20/2022 10:39:25 AM



MATCHLINE - SEE SHEET C402 FOR CONTINUATION

**GENERAL SHEET NOTES:**

- SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
- SEE SHEET C002 FOR PROJECT NOTES.
- THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
- CONNECTION TO EXISTING 8" SANITARY MAIN IN BASELINE SIDEWALK - INSTALL MANHOLE AT CONNECTION POINT.
- INSTALL SANITARY MANHOLE.
- INSTALL PUBLIC SANITARY MAIN.
- INSTALL PRIVATE SANITARY MAIN.
- INSTALL SANITARY LATERAL.
- CONSTRUCT SANITARY CLEANOUT.

**WATER KEYNOTES:**

- CONNECTION TO EXISTING WATER MAIN - INSTALL GATE VALVE.
- INSTALL PUBLIC 8" WATER MAIN.
- INSTALL STANDARD FIRE HYDRANT ASSEMBLY.
- DOMESTIC WATER SERVICE - INSTALL METER BOX AND BACKFLOW DEVICE.
- DOMESTIC FIRE SERVICE LINE - INSTALL GATE VALVE AFTER CONNECTION TO PUBLIC WATER MAIN.
- TEE CONNECTION POINT - INSTALL GATE VALVES.
- INSTALL STANDARD BLOWOFF FOR FUTURE EXTENSION.

**STORM SEWER KEYNOTES:**

- CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- CONNECT TO EXISTING STORM MANHOLE.
- INSTALL STORM MANHOLE.
- INSTALL CATCH BASIN.
- INSTALL STORM CONVEYANCE PIPE.
- STORM OUTFALL TO SURFACE FACILITY - INSTALL RIP-RAP PAD.
- INSTALL ROOF DRAIN LATERAL.
- INSTALL STORMTECH UNDERGROUND STORAGE DETENTION CHAMBERS.
- INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE.
- CONSTRUCT SURFACE WATER QUALITY FACILITY - FLAT BOTTOM BIORETENTION.
- CONSTRUCT SURFACE WATER QUALITY FACILITY - SWALE.
- INSTALL STORM DETENTION PIPE.
- INSTALL STORM FLOW CONTROL STRUCTURE.
- INSTALL STORM CLEANOUT.
- INSTALL CURB INLET MANHOLE.
- INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE W/ GRATED INLET.

**MISCELLANEOUS KEYNOTES:**

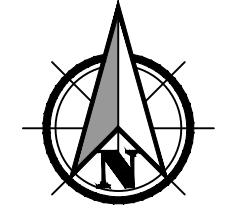
- STREET LIGHTING.

PARCEL 1  
PARTITION PLAT  
NO. 2021-002  
TAX LOT: 1N334CD06800  
GMU ZONE

EXTG 20" WATER  
ESMT TO BE VACATED  
W/ LOS PLAZAS  
AMIGOS PROJECT

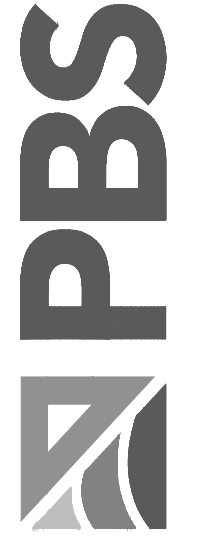
EXTG 20" STORM  
DRAINAGE ESMT

EXTG STORM MH  
RIM=182.99'  
IE 42" +/- (S)=\*  
IE 42" +/- (NW)=171.64'  
\*IE RECESSED -  
UNABLE TO ACCESS



Scale 1" = 20'  
0 10 20 40

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UTILITY PLAN FOR:  
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SHEET ID  
**C401**

SHEET 27 OF 49

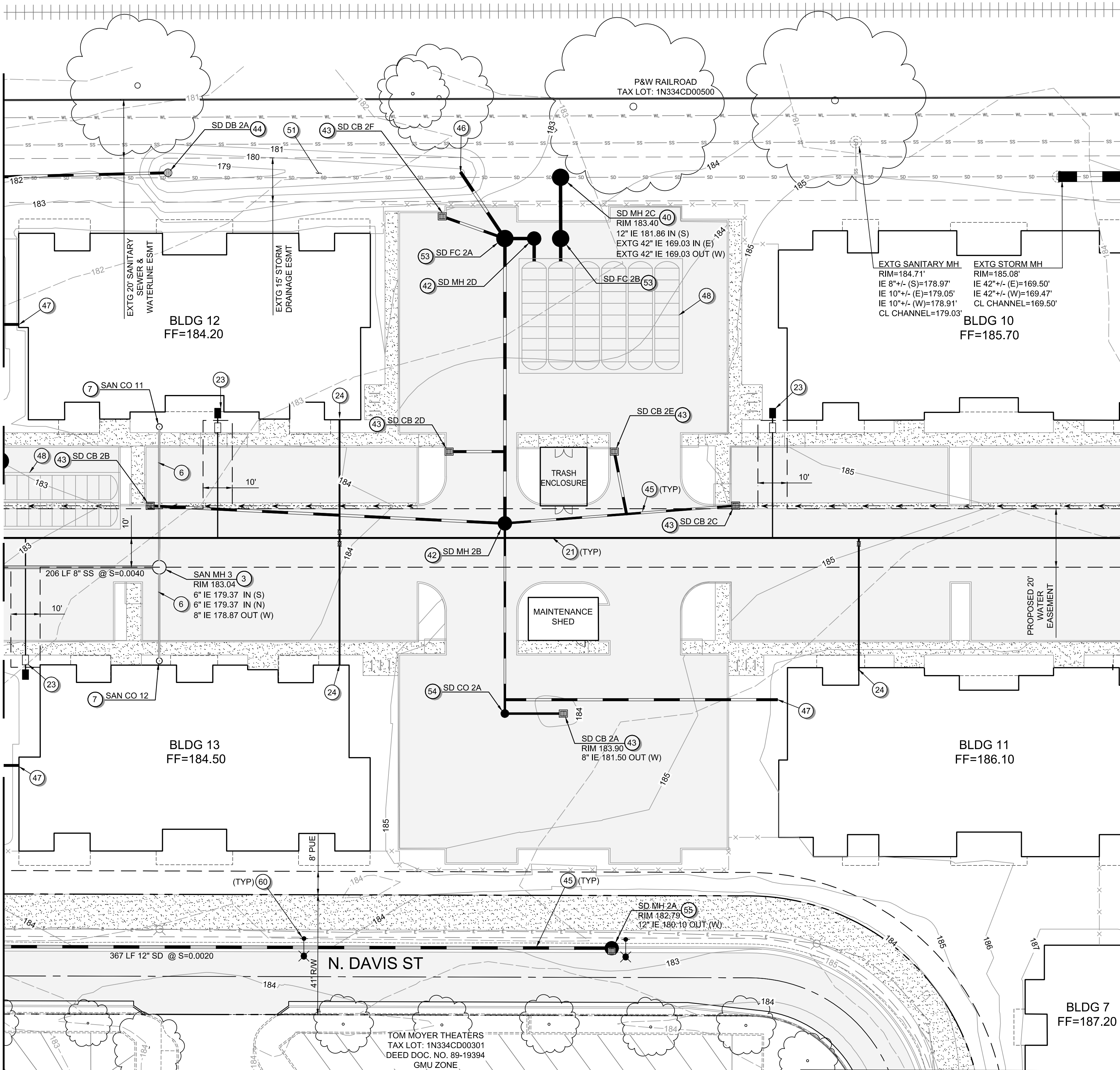
**PRELIMINARY**

Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.



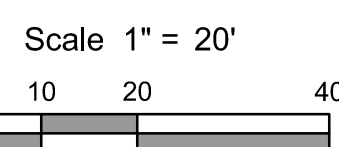
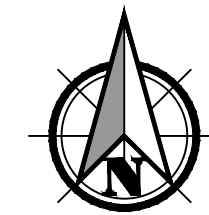
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 User: Peter Reich  
 CAD Plot Date/Time: 5/20/2022 10:39:32 AM

MATCHLINE - SEE SHEET C401 FOR CONTINUATION



MATCHLINE - SEE SHEET C403 FOR CONTINUATION

MATCHLINE - SEE SHEET C404 FOR CONTINUATION



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**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- 1 CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
- 2 CONNECTION TO EXISTING 8" SANITARY MAIN IN BASELINE SIDEWALK - INSTALL MANHOLE AT CONNECTION POINT.
- 3 INSTALL SANITARY MANHOLE.
- 4 INSTALL PUBLIC SANITARY MAIN.
- 5 INSTALL PRIVATE SANITARY MAIN.
- 6 INSTALL SANITARY LATERAL.
- 7 CONSTRUCT SANITARY CLEANOUT.

**WATER KEYNOTES:**

- 20 CONNECTION TO EXISTING WATER MAIN - INSTALL GATE VALVE.
- 21 INSTALL PUBLIC 8" WATER MAIN.
- 22 INSTALL STANDARD FIRE HYDRANT ASSEMBLY.
- 23 DOMESTIC WATER SERVICE - INSTALL METER BOX AND BACKFLOW DEVICE.
- 24 DOMESTIC FIRE SERVICE LINE - INSTALL GATE VALVE AFTER CONNECTION TO PUBLIC WATER MAIN.
- 25 TEE CONNECTION POINT - INSTALL GATE VALVES.
- 26 INSTALL STANDARD BLOWOFF FOR FUTURE EXTENSION.

**STORM SEWER KEYNOTES:**

- 40 CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- 41 CONNECT TO EXISTING STORM MANHOLE.
- 42 INSTALL STORM MANHOLE.
- 43 INSTALL CATCH BASIN.
- 44 INSTALL AREA DRAIN.
- 45 INSTALL STORM CONVEYANCE PIPE.
- 46 STORM OUTFALL TO SURFACE FACILITY - INSTALL RIP-RAP PAD.
- 47 INSTALL ROOF DRAIN LATERAL.
- 48 INSTALL STORMTECH UNDERGROUND STORAGE DETENTION CHAMBERS.
- 49 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE.
- 50 CONSTRUCT SURFACE WATER QUALITY FACILITY - FLAT BOTTOM BIORETENTION.
- 51 CONSTRUCT SURFACE WATER QUALITY FACILITY - SWALE.
- 52 INSTALL STORM DETENTION PIPE.
- 53 INSTALL STORM FLOW CONTROL STRUCTURE.
- 54 INSTALL STORM CLEANOUT.
- 55 INSTALL CURB INLET MANHOLE.
- 56 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE W/ GRATED INLET.

**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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UTILITY PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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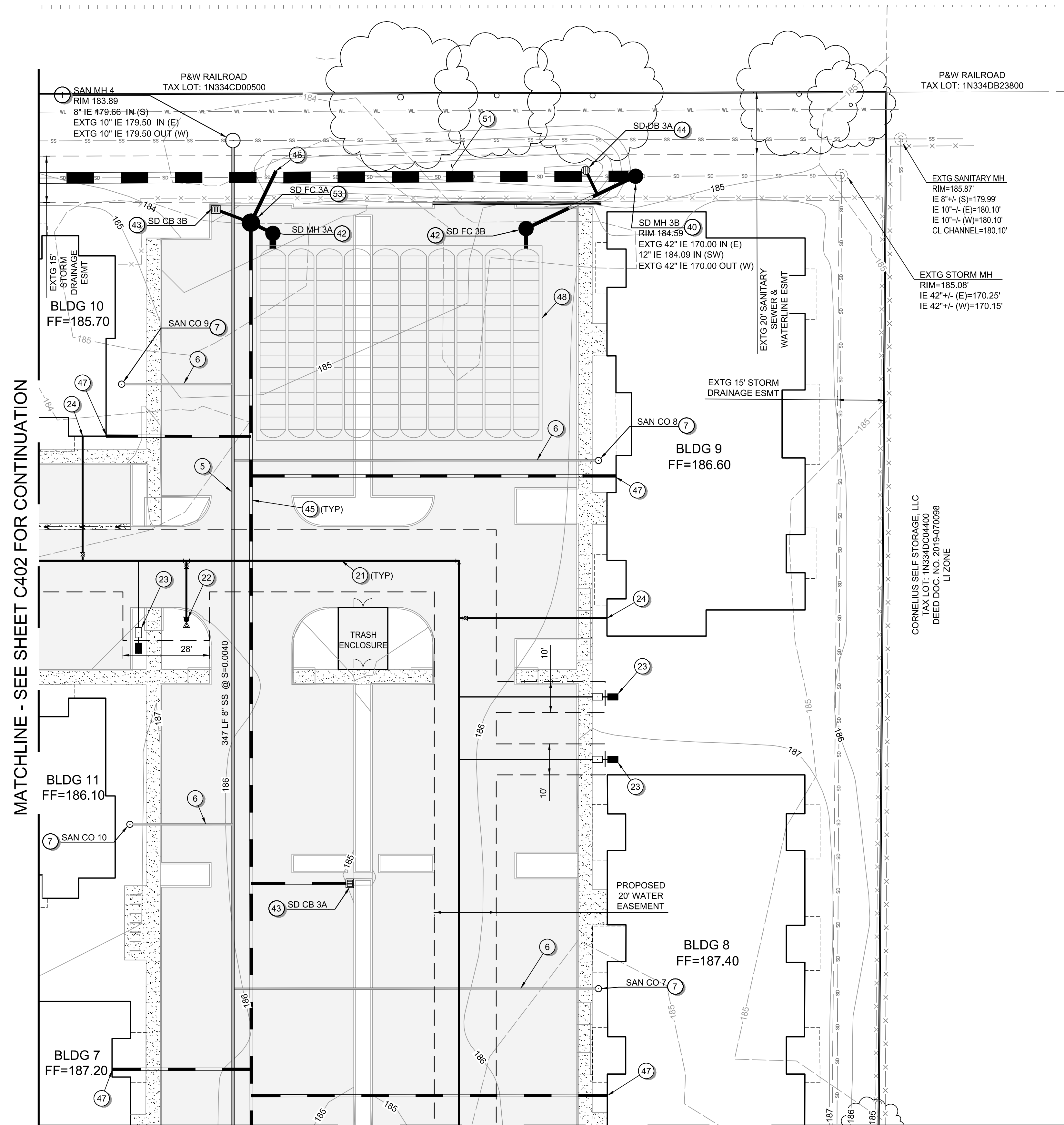
SHEET ID  
**C402**

SHEET 28 OF 49

**PRELIMINARY**

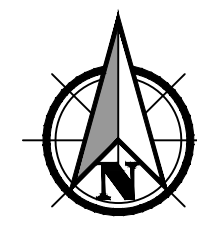


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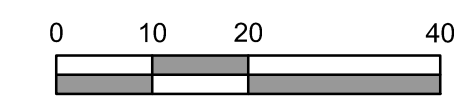


MATCHLINE - SEE SHEET C402 FOR CONTINUATION

MATCHLINE - SEE SHEET C404 FOR CONTINUATION



Scale 1" = 20'



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**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
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- 25 TEE CONNECTION POINT - INSTALL GATE VALVES.
- 26 INSTALL STANDARD BLOWOFF FOR FUTURE EXTENSION.

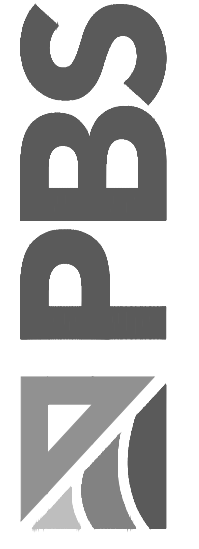
**STORM SEWER KEYNOTES:**

- 40 CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- 41 CONNECT TO EXISTING STORM MANHOLE.
- 42 INSTALL STORM MANHOLE.
- 43 INSTALL CATCH BASIN.
- 44 INSTALL AREA DRAIN.
- 45 INSTALL STORM CONVEYANCE PIPE.
- 46 STORM OUTFALL TO SURFACE FACILITY - INSTALL RIP-RAP PAD.
- 47 INSTALL ROOF DRAIN LATERAL.
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- 51 CONSTRUCT SURFACE WATER QUALITY FACILITY - SWALE.
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- 53 INSTALL STORM FLOW CONTROL STRUCTURE.
- 54 INSTALL STORM CLEANOUT.
- 55 INSTALL CURB INLET MANHOLE.
- 56 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE W/ GRATED INLET.

**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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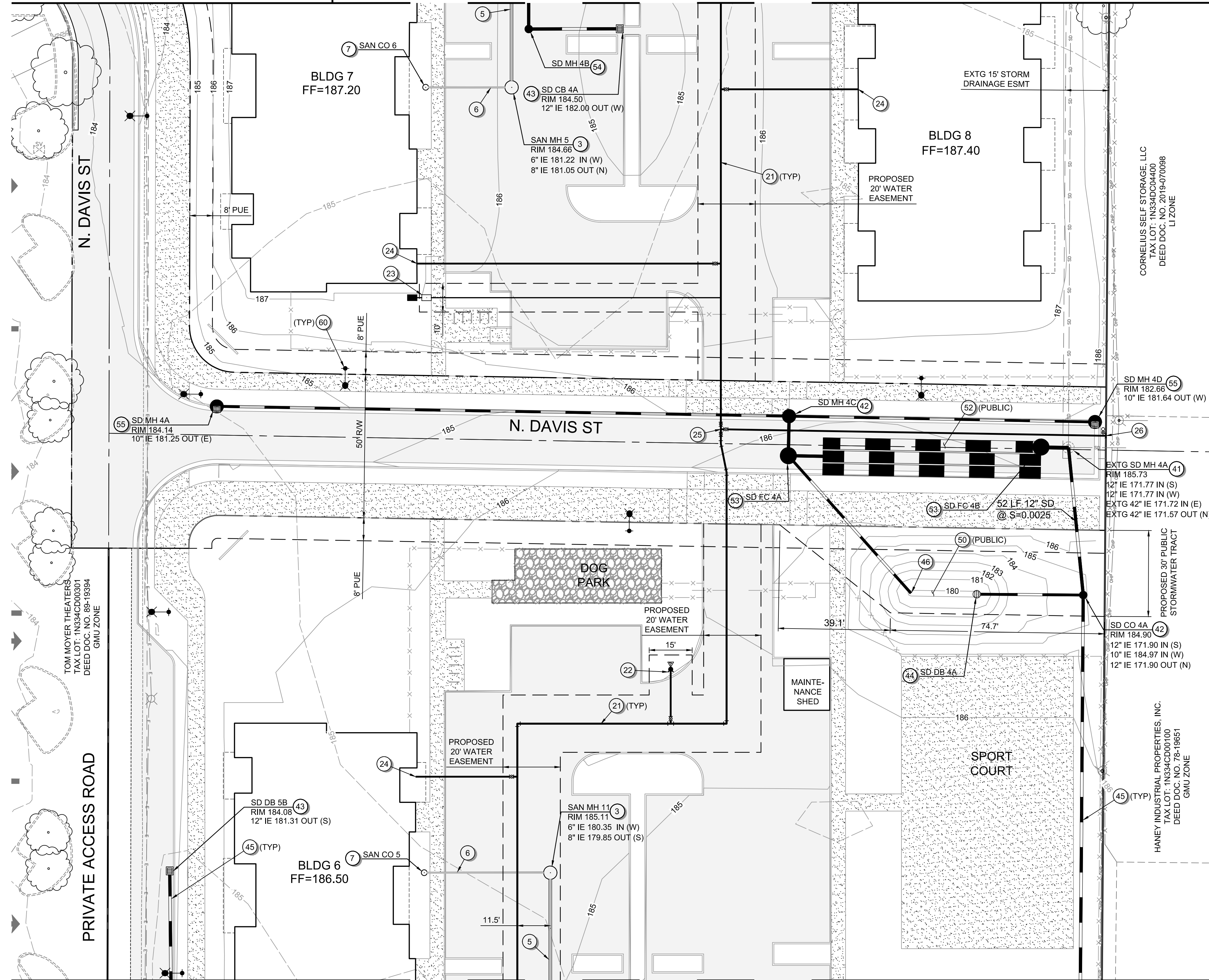
SHEET 29 OF 49

**PRELIMINARY**

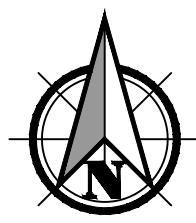


MATCHLINE - SEE SHEET C102 FOR CONTINUATION

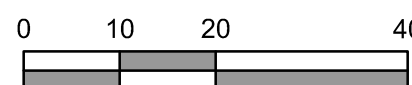
MATCHLINE - SEE SHEET C403 FOR CONTINUATION



MATCHLINE - SEE SHEET C405 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
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**SANITARY SEWER KEYNOTES:**

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- 6 INSTALL SANITARY LATERAL.
- 7 CONSTRUCT SANITARY CLEANOUT.

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**STORM SEWER KEYNOTES:**

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**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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SHEET ID  
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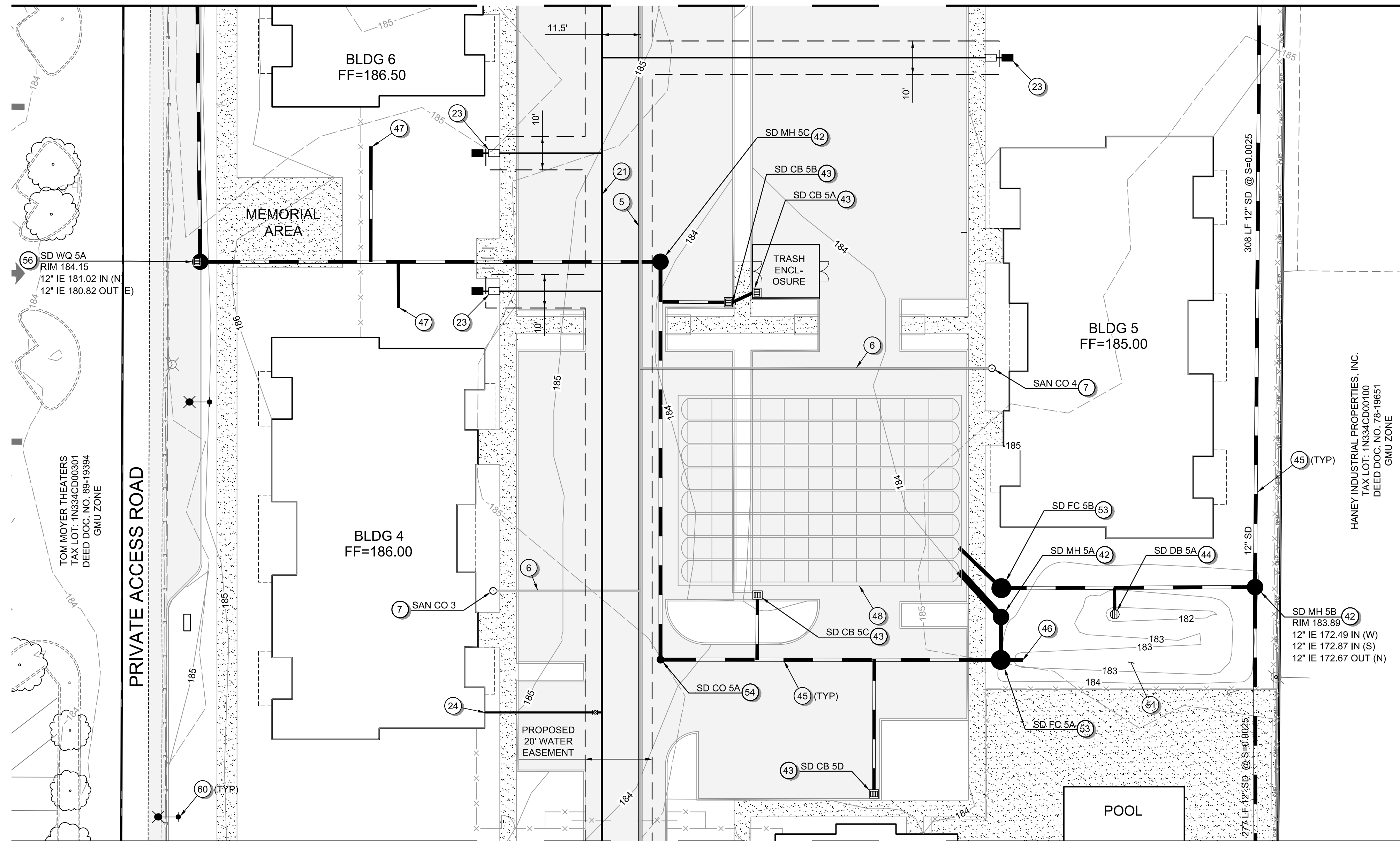
SHEET 30 OF 49

**PRELIMINARY**

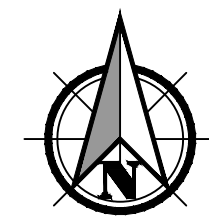
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MATCHLINE - SEE SHEET C404 FOR CONTINUATION



MATCHLINE - SEE SHEET C406 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

- SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
- SEE SHEET C002 FOR PROJECT NOTES.
- THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
- CONNECTION TO EXISTING 8" SANITARY MAIN IN BASELINE SIDEWALK - INSTALL MANHOLE AT CONNECTION POINT.
- INSTALL SANITARY MANHOLE.
- INSTALL PUBLIC SANITARY MAIN.
- INSTALL PRIVATE SANITARY MAIN.
- INSTALL SANITARY LATERAL.
- CONSTRUCT SANITARY CLEANOUT.

**WATER KEYNOTES:**

- CONNECTION TO EXISTING WATER MAIN - INSTALL GATE VALVE.
- INSTALL PUBLIC 8" WATER MAIN.
- INSTALL STANDARD FIRE HYDRANT ASSEMBLY.
- DOMESTIC WATER SERVICE - INSTALL METER BOX AND BACKFLOW DEVICE.
- DOMESTIC FIRE SERVICE LINE - INSTALL GATE VALVE AFTER CONNECTION TO PUBLIC WATER MAIN.
- TEE CONNECTION POINT - INSTALL GATE VALVES.
- INSTALL STANDARD BLOWOFF FOR FUTURE EXTENSION.

**STORM SEWER KEYNOTES:**

- CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- CONNECT TO EXISTING STORM MANHOLE.
- INSTALL STORM MANHOLE.
- INSTALL CATCH BASIN.
- INSTALL AREA DRAIN.
- INSTALL STORM CONVEYANCE PIPE.
- STORM OUTFALL TO SURFACE FACILITY - INSTALL RIP-RAP PAD.
- INSTALL ROOF DRAIN LATERAL.
- INSTALL STORMTECH UNDERGROUND STORAGE DETENTION CHAMBERS.
- INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE.
- CONSTRUCT SURFACE WATER QUALITY FACILITY - FLAT BOTTOM BIORETENTION.
- CONSTRUCT SURFACE WATER QUALITY FACILITY - SWALE.
- INSTALL STORM DETENTION PIPE.
- INSTALL STORM FLOW CONTROL STRUCTURE.
- INSTALL STORM CLEANOUT.
- INSTALL CURB INLET MANHOLE.
- INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE W/ GRATED INLET.

**MISCELLANEOUS KEYNOTES:**

- STREET LIGHTING.

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UTILITY PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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DESIGNED:  
 PAR/JRK  
 CHECKED:  
 MPW  
 MAY 20, 2022  
 74217.000

SHEET ID  
**C405**

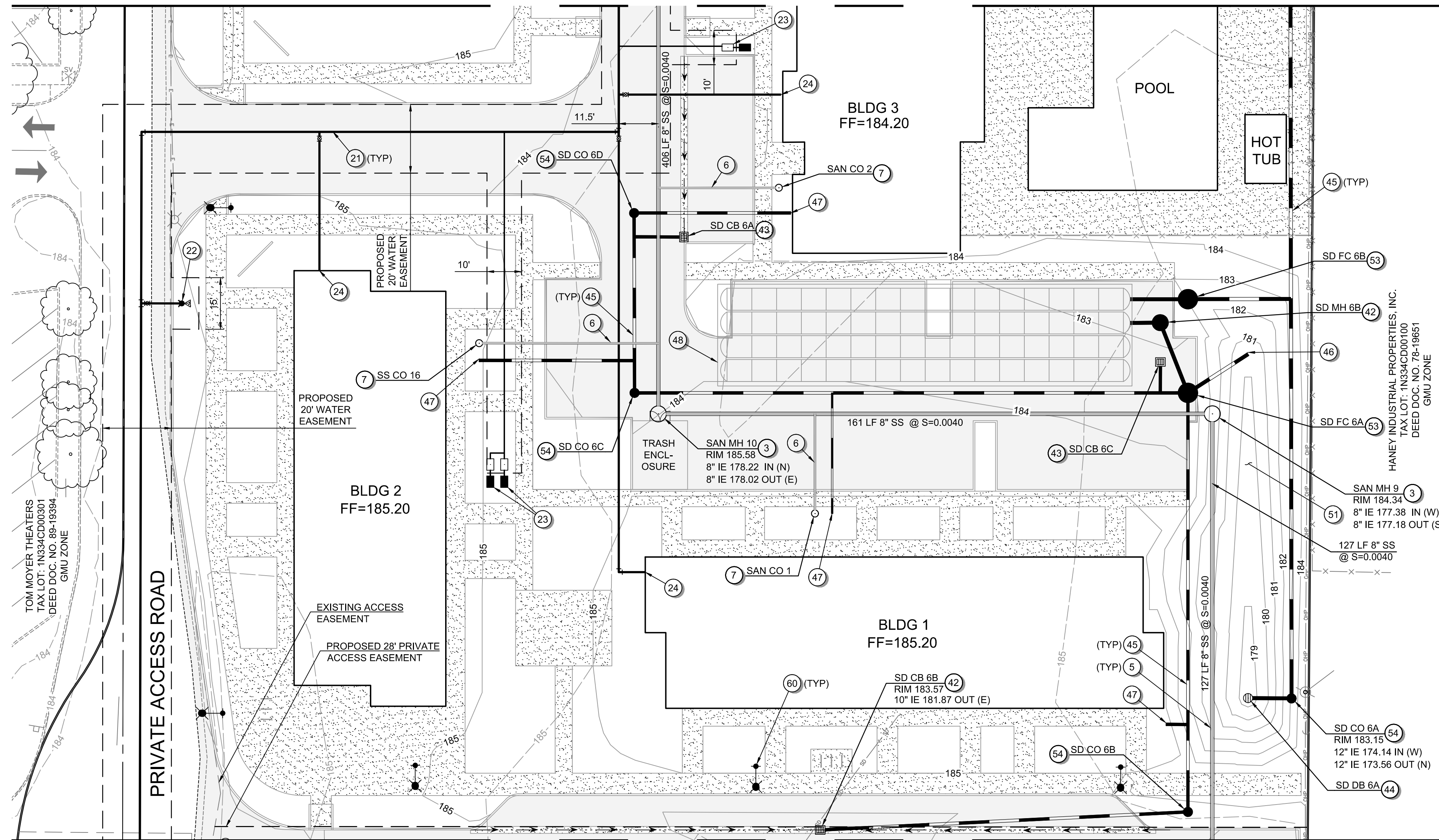
SHEET 31 OF 49

**PRELIMINARY**

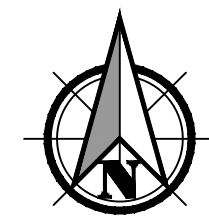
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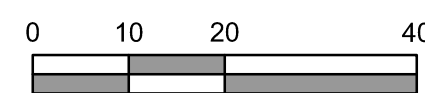
MATCHLINE - SEE SHEET C405 FOR CONTINUATION



MATCHLINE - SEE SHEET C407 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- 1 CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
- 2 CONNECTION TO EXISTING 8" SANITARY MAIN IN BASELINE SIDEWALK - INSTALL MANHOLE AT CONNECTION POINT.
- 3 INSTALL SANITARY MANHOLE.
- 4 INSTALL PUBLIC SANITARY MAIN.
- 5 INSTALL PRIVATE SANITARY MAIN.
- 6 INSTALL SANITARY LATERAL.
- 7 CONSTRUCT SANITARY CLEANOUT.

**WATER KEYNOTES:**

- 20 CONNECTION TO EXISTING WATER MAIN - INSTALL GATE VALVE.
- 21 INSTALL PUBLIC 8" WATER MAIN.
- 22 INSTALL STANDARD FIRE HYDRANT ASSEMBLY.
- 23 DOMESTIC WATER SERVICE - INSTALL METER BOX AND BACKFLOW DEVICE.
- 24 DOMESTIC FIRE SERVICE LINE - INSTALL GATE VALVE AFTER CONNECTION TO PUBLIC WATER MAIN.
- 25 TEE CONNECTION POINT - INSTALL GATE VALVES.
- 26 INSTALL STANDARD BLOWOFF FOR FUTURE EXTENSION.

**STORM SEWER KEYNOTES:**

- 40 CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- 41 CONNECT TO EXISTING STORM MANHOLE.
- 42 INSTALL STORM MANHOLE.
- 43 INSTALL CATCH BASIN.
- 44 INSTALL AREA DRAIN.
- 45 INSTALL STORM CONVEYANCE PIPE.
- 46 STORM OUTFALL TO SURFACE FACILITY - INSTALL RIP-RAP PAD.
- 47 INSTALL ROOF DRAIN LATERAL.
- 48 INSTALL STORMTECH UNDERGROUND STORAGE DETENTION CHAMBERS.
- 49 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE.
- 50 CONSTRUCT SURFACE WATER QUALITY FACILITY - FLAT BOTTOM BIORETENTION.
- 51 CONSTRUCT SURFACE WATER QUALITY FACILITY - SWALE.
- 52 INSTALL STORM DETENTION PIPE.
- 53 INSTALL STORM FLOW CONTROL STRUCTURE.
- 54 INSTALL STORM CLEANOUT.
- 55 INSTALL CURB INLET MANHOLE.
- 56 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE W/ GRATED INLET.

**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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UTILITY PLAN FOR:  
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A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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SHEET ID  
**C406**

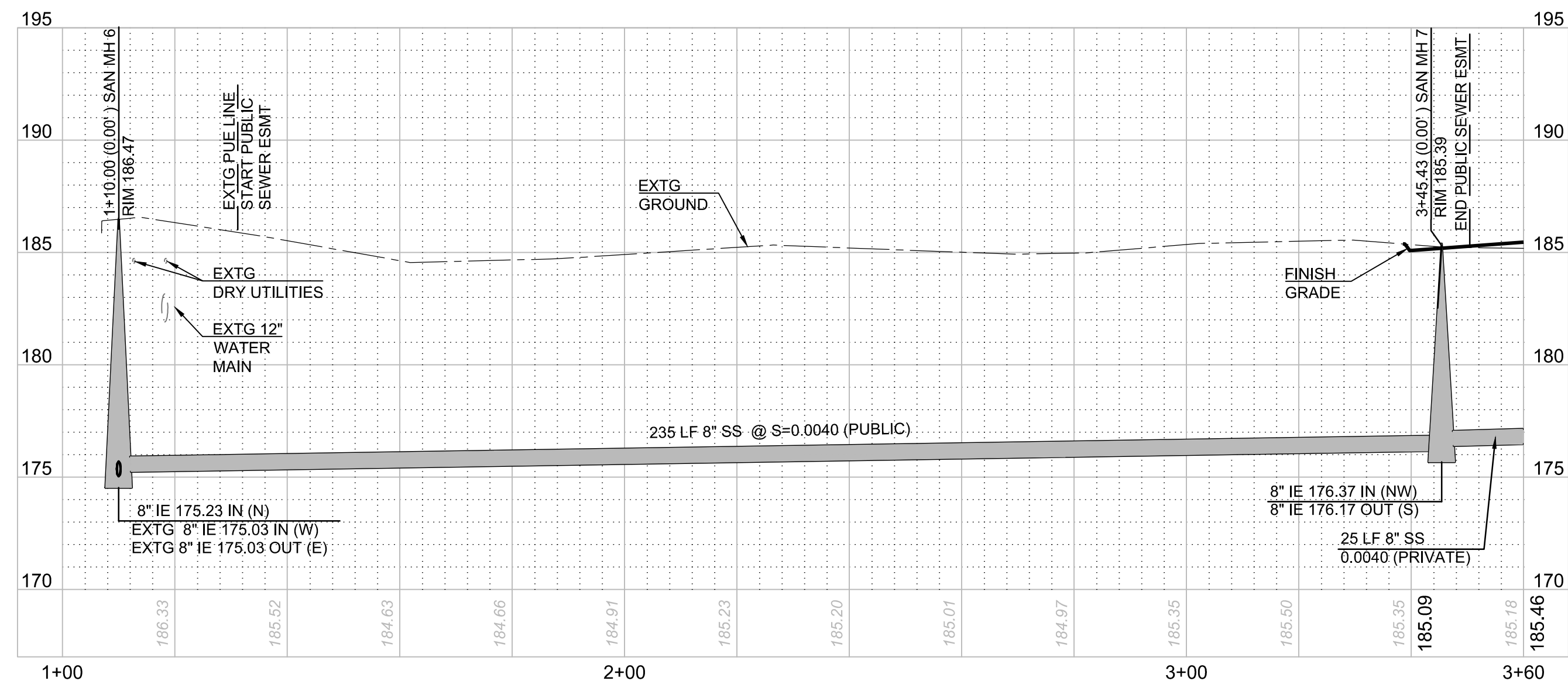
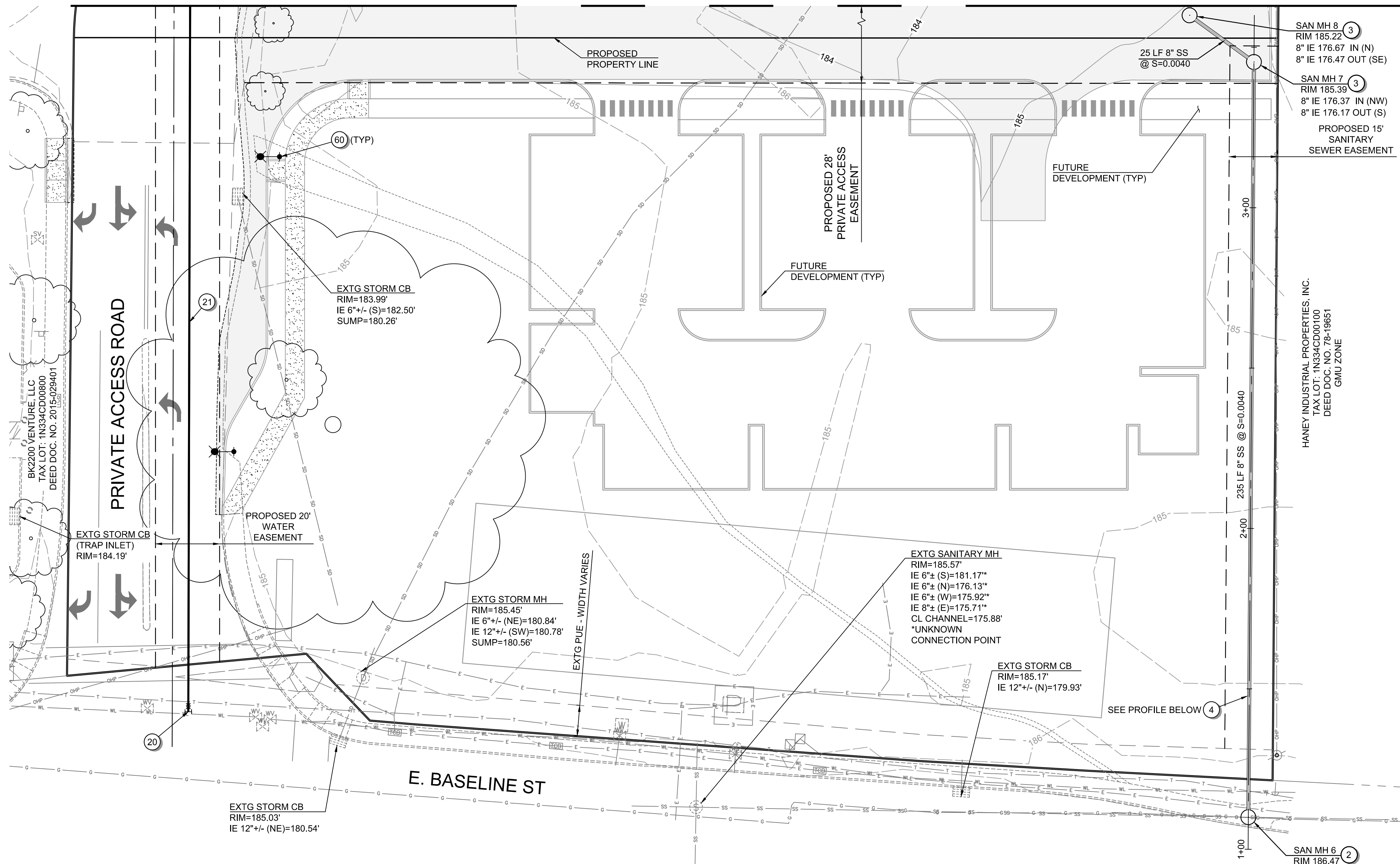
SHEET 32 OF 49

**PRELIMINARY**

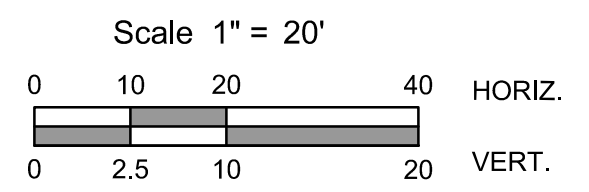
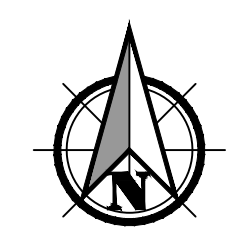
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MATCHLINE - SEE SHEET C406 FOR CONTINUATION



PUBLIC SANITARY MAIN



**GENERAL SHEET NOTES:**

- SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
- SEE SHEET C002 FOR PROJECT NOTES.
- THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
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- CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
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**MISCELLANEOUS KEYNOTES:**

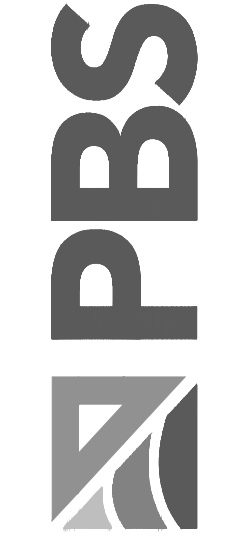
- STREET LIGHTING.

**PRELIMINARY**

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UTILITY PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



DESIGNED: PAR/JRK
CHECKED: MPW
MAY 20, 2022 74217.000
SHEET ID <b>C407</b>
SHEET <b>33</b> OF <b>49</b>



**LANDSCAPE AREA CALCULATIONS**

	TOTAL
TOTAL SITE AREA (WITHOUT DAVIS ROW)	639,663 SF
LANDSCAPE AREA REQUIRED (15%)	95,950 SF
LANDSCAPE AREA PROPOSED	166,854 SF

**OPEN SPACE CALCULATIONS**

PARCEL	
TOTAL APARTMENT UNITS	346
REQUIRED: 150 SF OPEN SPACE x 330 RESIDENTIAL UNITS	49,500 SF
REQUIRED: 100 SF OPEN SPACE x 16 LIVE/WORK UNITS	1,600 SF
REQUIRED: TOTAL	51,100 SF
PROPOSED OPEN SPACE	88,997 SF

**CITY OF CORNELIUS LANDSCAPING GENERAL R.O.W NOTES:**

- BROADLEAF TREES PLANTED IN OTHER THAN SINGLE-FAMILY AND DUPLEX NEIGHBORHOODS SHALL BE A MINIMUM CALIPER SIZE OF 2".
- CONIFERS MUST BE A MINIMUM 5 FEET IN HEIGHT AT TIME OF PLANTING.
- TREES IN PARKWAY STRIPS SHALL BE INSTALLED WITH AN 18-INCH DEEP ROOT BARRIER.
- THE APPROPRIATE PLANTING METHODS FOR TREES ARE SHOWN IN CITY OF CORNELIUS DETAIL S-41.
- WATERING OF NEWLY PLANTED TREES IS REQUIRED. WATERING SHALL BE ACCOMPLISHED THROUGH USE OF A TEMPORARY IRRIGATION SYSTEM OR WITH INDIVIDUAL PORTABLE TREE WATERING DEVICES SUCH AS "GATOR BAGS."

**RIGHT-OF-WAY GROUNDCOVER LIST**

SYM	QTY	BOTANICAL NAME	COMMON NAME
	14,010 SF (.32 AC)	<i>Cotoneaster dammeri</i> 'Lowfast' <i>Cotoneaster procumbens</i> <i>Fragaria chiloensis</i> <i>Arctostaphylos uva-ursi</i> 'Massachusetts'	Lowfast Cotoneaster Cotoneaster 'Little Dipper' Beach Strawberry Massachusetts Kinnikinnick

**SEEDING LIST**

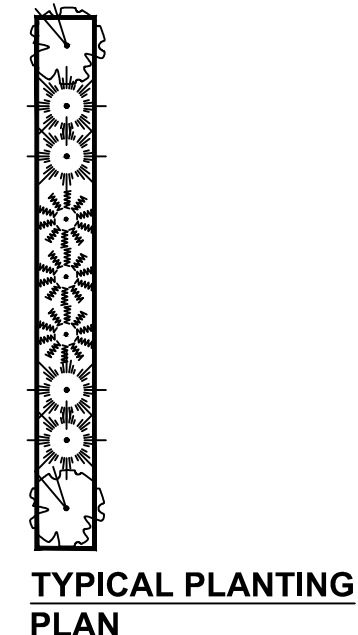
SYM	QTY	BOTANICAL NAME	COMMON NAME	% BY WEIGHT
	67,473 SF (1.55 AC)	<i>Lolium perenne</i> var <i>Express II</i> <i>Lolium perenne</i> var <i>Cutter II</i> 'Cutter' <i>Festuca rubra</i> var <i>Garnet</i> <i>Festuca rubra</i> spp. <i>fallax</i> var <i>Windward</i>	Express II Perennial Ryegrass Cutter II Perennial Ryegrass Garnet Creeping Red Fescue Windward Chewings Fescue	40% 40% 10% 10%

**PLANT LIST - TREES**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONTAINER CONDITION
	Dura-Heat River Birch <i>Betula nigra</i> 'BNMTF'	44	2" caliper, 10' min. height	B&B
	Emerald Sunshine Elm <i>Ulmus propinqua</i> 'JFS-BIERBACH'	20	2" caliper, 10' min. height	B&B
	Shademaster Honeylocust <i>Gleditsia triacanthos</i> 'Shademaster'	17	2" caliper, 10' min. height	B&B
	European Hornbeam <i>Carpinus betulus</i>	22	2" caliper, 10' min. height	B&B
	Red Rage Black Tupelo <i>Nyssa sylvatica</i> 'Haymanred'	27	2" caliper, 10' min. height	B&B
	Green Vase Japanese Zelkova <i>Zelkova serrata</i> 'Village Green'	27	2" caliper, 10' min. height	B&B
	Greenspire Little Leaf Linden <i>Tilia cordata</i> 'pni 6025'	14	2" caliper, 10' min. height	B&B
	Frontier Elm <i>Ulmus</i> 'Frontier'	16	2" caliper, 10' min. height	B&B
	Forest Green Oak <i>Quercus frainetto</i> 'Schmidt'	7	2" caliper, 10' min. height	B&B
	Redmond American Linden <i>Tilia americana</i> 'Redmond'	3	2" caliper, 10' min. height	B&B
	Gleditsia triacanthos 'Christie' Halka Honeylocust	13	2" caliper, 10' min. height	B&B
	Corinthian Linden <i>Tilia cordata</i> 'Corzam'	11	2" caliper, 10' min. height	B&B
	Sango Kaku Japanese Maple <i>Acer palmatum</i> 'Sango Kaku'	11	2" caliper, 10' min. height	B&B
	Columnar Ginkgo <i>Ginkgo biloba</i> 'Fastigiata'	16	2" caliper, 10' min. height	B&B
	Golden Aurea Deodar Cedar <i>Cedrus deodroa</i> 'Aurea'	3	2" caliper, 10' min. height	B&B
	Bakeri Blue Spruce <i>Picea pungens</i> 'Bakeri Blue'	6	2" caliper, 10' min. height	B&B

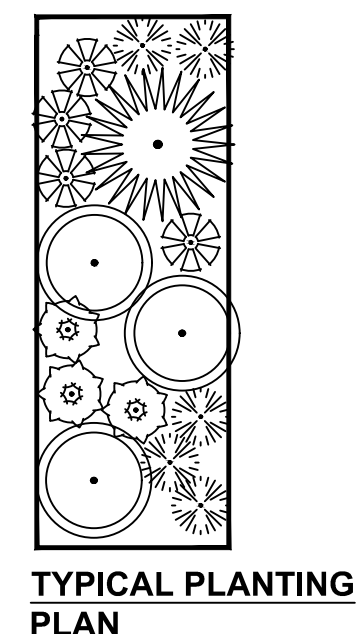
**BUILDING/BUFFER PLANT LIST - SHRUBS & GROUNDCOVER**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONDITION
	<i>Pennisetum alopecuroides</i> 'Red Head' Red Head Fountain Grass	---	12" min height, #1	Container
	<i>Arctostaphylos uva-ursi</i> 'Massachusetts' Kinnikinnick	---	12" min height, #1	Container
	<i>Azalea</i> x 'Karen' Karen Azalea	---	12" min height, #3	Container
	<i>Eunymous alatus</i> 'Compacta' Dwarf Winged Eunymous	---	18" min height, #5	Container
	<i>Hakonechloa macra</i> 'Aureola' Golden Japanese Forest Grass	---	6" min. height, #1	Container
	<i>Phormium tenax</i> 'Shiraz' Shiraz New Zealand Flax	---	12" min height, #1	Container
	<i>Ilex crenata</i> 'Shamrock' Shamrock Holly	---	12" min height, #3	Container
	<i>Ilex crenata</i> 'Sky Pencil' Sky Pencil Japanese Holly	---	3' min. height, #5	Container
	<i>Itea virginia</i> 'Little Dwarf' Little Dwarf Sweetpire	---	12" min height, #1	Container
	<i>Polystichum munitum</i> Western Sword Fern	---	6" min. height, #1	Container
	<i>Mahonia aquifolium</i> 'Compacta' Compact Oregon Grape	---	9" min. height, #2	Container
	<i>Sarcococca hook. digyna</i> 'Purple Stem' Purple Stem Sweet Box	---	12" min height, #3	Container
	<i>Escallonia x exoniensis</i> 'Fradesii' Pink Princess Escallonia	---	12" min height, #3	Container



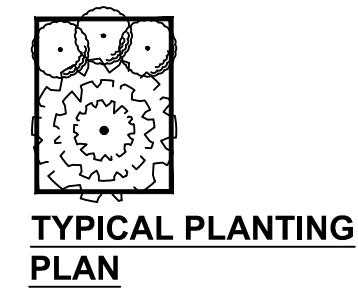
**PERIMETER BUFFER PLANT LIST - SHRUBS & GROUNDCOVER**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONDITION
	<i>Arctostaphylos uva-ursi</i> 'Massachusetts' Kinnikinnick	---	12" min height, #1	Container
	<i>Myrica California</i> Pacific Waxmyrtle	---	12" min height, #3	Container
	<i>Hakonechloa macra</i> 'Aureola' Golden Japanese Forest Grass	---	6" min. height, #1	Container
	<i>Phormium tenax</i> 'Shiraz' Shiraz New Zealand Flax	---	12" min height, #1	Container
	<i>Picea glauca</i> 'Conica' Dwarf Alberta Spruce	---	12" min height, #3	Container
	<i>Ilex crenata</i> 'Sky Pencil' Sky Pencil Japanese Holly	---	3' min. height, #5	Container
	<i>Polystichum munitum</i> Western Sword Fern	---	6" min. height, #1	Container
	<i>Mahonia aquifolium</i> 'Compacta' Compact Oregon Grape	---	9" min. height, #2	Container
	<i>Sarcococca hook. digyna</i> 'Purple Stem' Purple Stem Sweet Box	---	12" min height, #3	Container
	<i>Escallonia x exoniensis</i> 'Fradesii' Pink Princess Escallonia	---	12" min height, #3	Container
	<i>Camellia sasanqua</i> 'Mondel' Pink-a-Boo Camellia	---	12" min height, #3	Container
	<i>Laurus nobilis</i> 'MonRik' Little Ragu Sweet Bay	---	12" min height, #3	Container



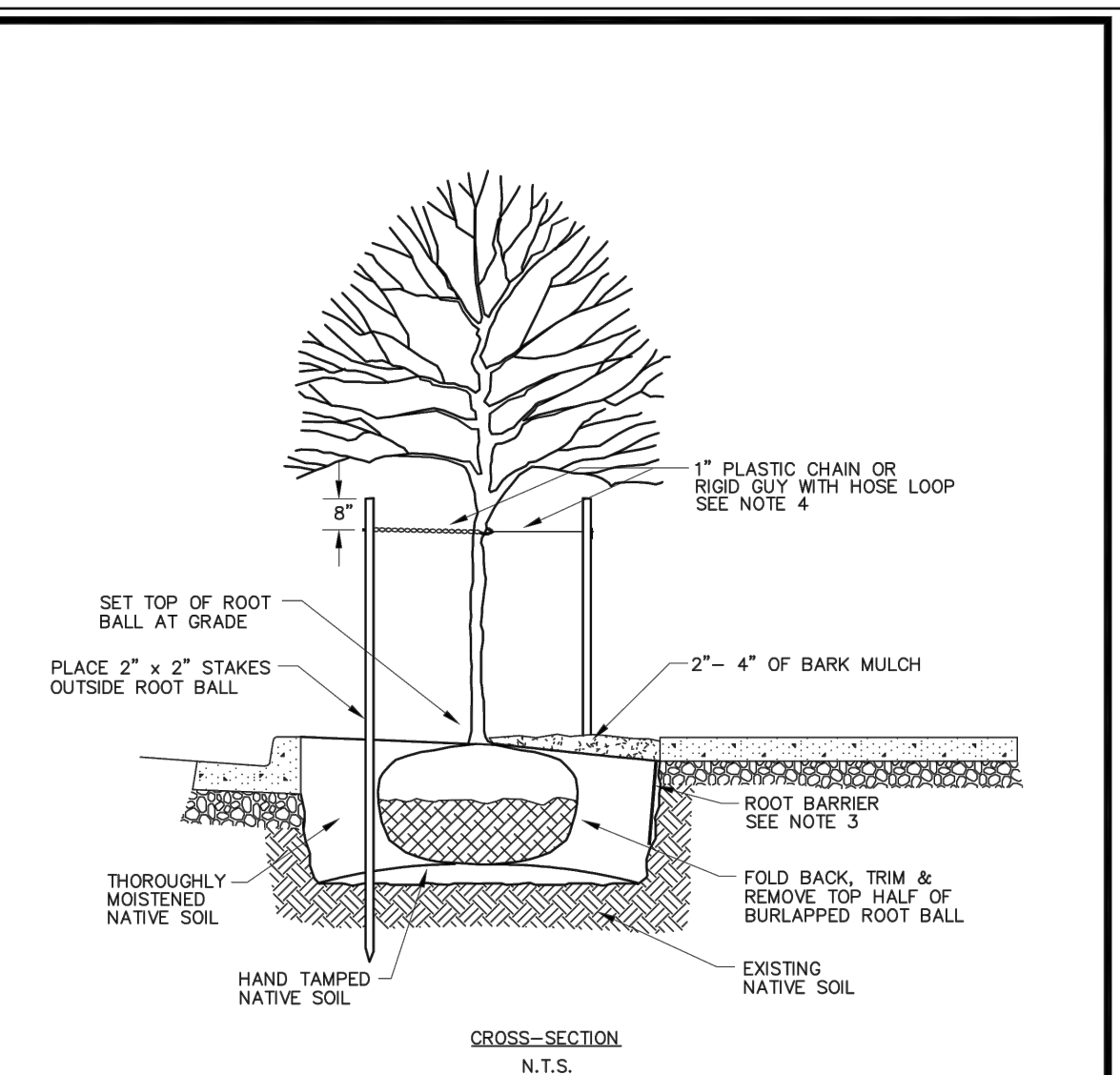
**PARKING LOT PLANT LIST - SHRUBS & GROUNDCOVER**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONDITION
	<i>Buxus sempervirens</i> 'Suffruticosa' Dwarf English Boxwood	---	12" min height, #1	Container
	<i>Arctostaphylos uva-ursi</i> 'Massachusetts' Kinnikinnick	---	12" min height, #1	Container
	<i>Eunymous alatus</i> 'Compacta' Dwarf Winged Eunymous	---	12" min height, #1	Container
	<i>Miscanthus sinensis</i> 'Little Miss' Little Miss Dwarf Maiden Grass	---	6" min. height, #1	Container
	<i>Rosmarinus officinalis</i> 'Huntington Carpet' Huntington Carpet Rosemary	---	12" min height, #1	Container
	<i>Phlox subulata</i> 'Candy Stripe' Candy Stripe Creeping Phlox	---	12" min height, #1	Container
	<i>Juniperus procumbens</i> 'Nana' Dwarf Japanese Garden Juniper	---	12" min height, #3	Container
	<i>Itea virginia</i> 'Little Dwarf' Little Dwarf Sweetpire	---	12" min height, #1	Container
	<i>Polystichum munitum</i> Western Sword Fern	---	12" min height, #1	Container
	<i>Mahonia aquifolium</i> 'Compacta' Compact Oregon Grape	---	9" min. height, #2	Container
	<i>Hemerocallis</i> x 'Monold' Starburst Double Gold Evergreen Daylily	---	12" min height, #3	Container
	<i>Escallonia</i> 'Compacta' Compact Escallonia	---	12" min height, #3	Container
	<i>Calluna Vulgaris</i> 'Selly' Selly Scotch Heather	---	12" min height, #3	Container
	<i>Festuca glauca</i> 'Elijah Blue' Elijah Blue Fescue	---	12" min height, #3	Container
	<i>Gaultheria procumbens</i> Redwood Creeping Wintergreen	---	12" min height, #1	Container



**STORM FACILITY AND ODOT BUFFER PLANT LIST**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONDITION
	<i>Prunus emarginata</i> Bitter cherry	000 @ 3' o.c.	2" Caliper #1	Container
	<i>Pysocarpus capitatus</i> Pacific ninebark	000 @ 3' o.c.	#1	Container
	<i>Cornus sericea</i> Red-osier dogwood	000 @ 3' o.c.	12" min height, #1	Container
	<i>Rosa pisocarpa</i> Clustered rose	000 @ 3' o.c.	18" min height, #1	Container
	<i>Ribes sanguineum</i> Red flowering currant	000 @ 3' o.c.	6" min. height, #1	Container
	<i>Juncus patens</i> Spreading rush	000 @ 3' o.c.	12" min height, #1	Container
	<i>Scirpus microcarpus</i> Small-fruited bulrush	000 @ 3' o.c.	12" min height, #1	Container
	<i>Carex obnupta</i> Slough sedge plugs	000 @ 3' o.c.	3' min. height, #1	Container
	<i>Agrostis oregonensis</i> Oregon bentgrass	000 @ 3' o.c.	12" min height, #1	Container
	NW NATIVE WILDFLOWER MIX	000 @ 3' o.c.	6" min. height, #1	Container



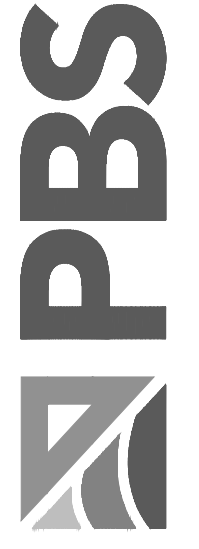
- NOTES:
- ADJUST PLANTING LOCATIONS SO THE TREE CROWN OR ROOT BALL DOES NOT CONFLICT WITH ABOVE OR BELOW-GROUND UTILITIES.
  - DO NOT UNDERMINE CURB OR SIDEWALK WHEN EXCAVATING.
  - AN 18 INCH DEEP ROOT BARRIER SHALL BE REQUIRED WHEN A TREE IS PLANTED IN A PARKWAY STRIP.
  - PROVIDE A LOOP IN CHAIN LOCK OR GUY HOSE LARGE ENOUGH TO ALLOW FOR TRUNK GROWTH.
  - TREE STAKES ARE TO BE REMOVED AT THE END OF THE WARRANTY PERIOD UNLESS THE CITY ENGINEER DETERMINES THE STAKES SHALL REMAIN IN PLACE.
  - AT A MINIMUM, TREES SHALL BE IRRIGATED FOR TWO YEARS, AFTER PLANTING.

	STANDARD SIDEWALK TREETWELL	STREETS
		S - 41
		10/17/19

**PRELIMINARY**

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 pbsusa.com



**PLANTING LEGEND, DETAILS & NOTES FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below. Call before you dig.

REGISTERED  
 682  
 REBECCA J WAHLSTROM  
 OREGON  
 11-30-2022  
 LANDSCAPE ARCHITECT

DESIGNED: OAG  
 CHECKED: RJW  
 MAY 20, 2022  
 74217.000

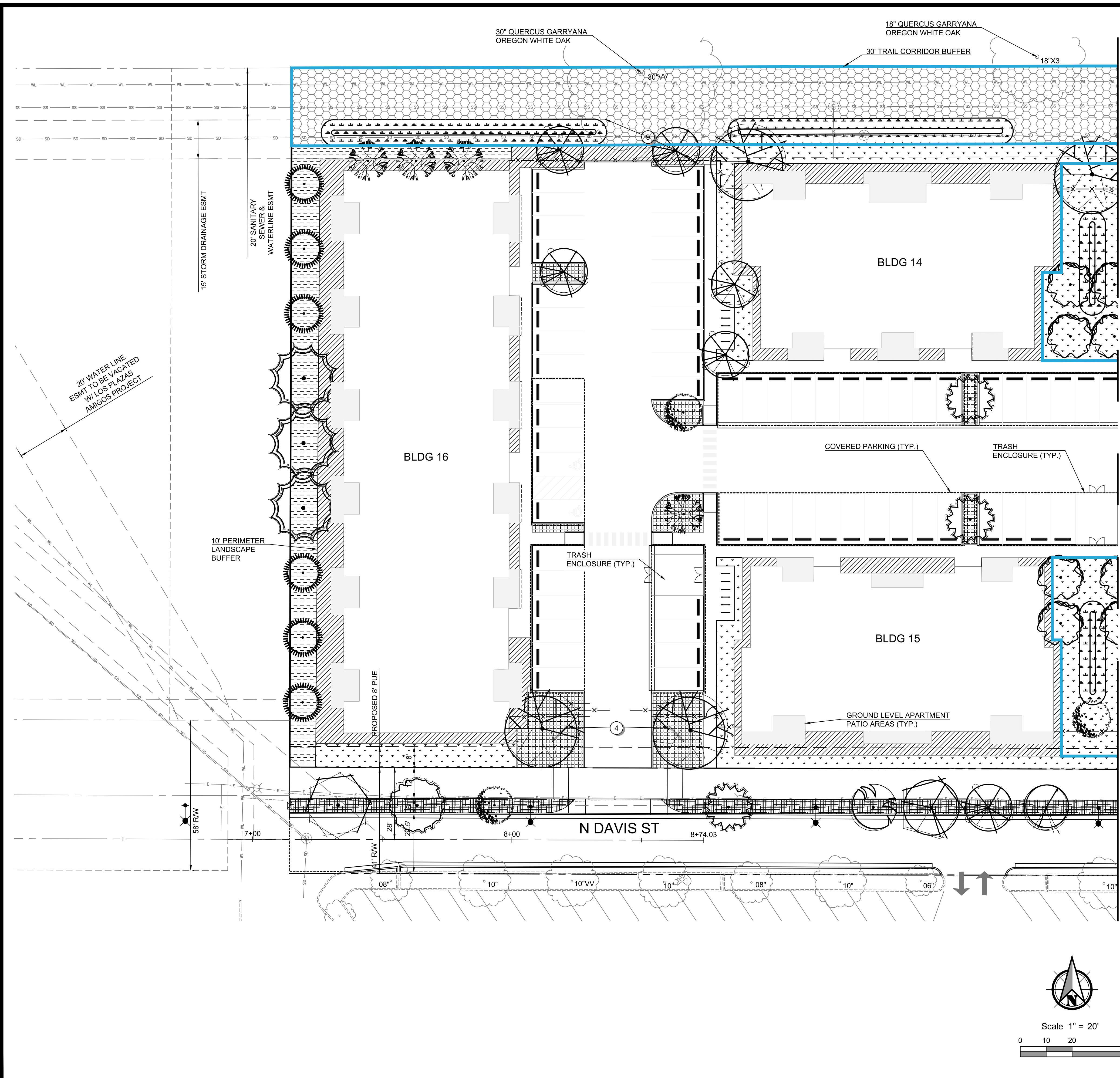
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**L101**

SHEET 28 OF 37

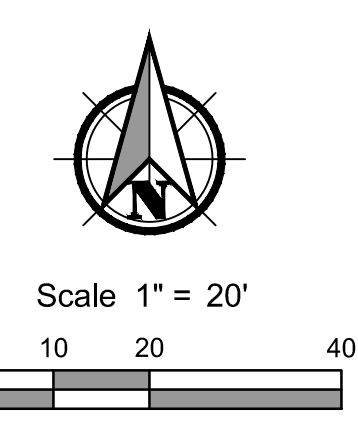
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MATCHLINE - SEE SHEET L103 FOR CONTINUATION



- GENERAL SHEET NOTES:**
- SEE SHEET C003 FOR PROJECT GENERAL NOTES.
  - FINISHED GRADES ADJACENT TO BUILDING IN SOFTSCAPE AREAS INCLUDE ROOM FOR FINAL LANDSCAPE LAYERS SUCH AS TOP SOIL OR MULCH. ONCE FINAL LAYERS HAVE BEEN INSTALLED THE AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING.
  - HATCHING DEPICTS PLANTING GROUPS DEFINED ON THE PLANT LEGEND. PLANTING PLAN WILL BE DETAILED DURING FINAL ENGINEERING.
  - BLUE OUTLINE AROUND LANDSCAPE AREAS DENOTE AREAS COUNTED AS OPEN SPACE.

- LANDSCAPE PLAN DETAIL KEYNOTES:**
- OUTDOOR GATHERING AREA FURNISHINGS AND MATERIALS WILL RESPOND TO MATERIALS USED ON THE BUILDING AND BE COHESIVE THROUGHOUT THE SITE.
  - DOG PARK AREA WILL INCLUDE: AN 8X8 ENTRY AREA, 42" HIGH CHAIN LINK FENCE, ENGINEERED WOOD CHIPS OR DECOMPOSED GRANITE TO A 6" DEPTH, TRASH CAN, TWO SIX-FOOT BENCHES. PROVIDE AREA DRAINAGE AND HOSE BIB.
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  - MEMORIAL AREA.
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  - 30'-WIDE BUFFER AREA ADJACENT TO THE ODOT RAILS/TRAILS CONTAINS MATURE OREGON WHITE OAKS. FOLLOW ARBORIST RECOMMENDATIONS REGARDING PRUNING, CLEARING OF SHRUBBERY AND/OR GRADING NEAR THE DRIPLINE OF THE TREES.
  - NO TREES SHALL BE PLANTED WITHIN THE EXISTING STORM DRAINAGE EASEMENTS ON THE NORTH AND EAST.

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 SHEET 29 OF 37

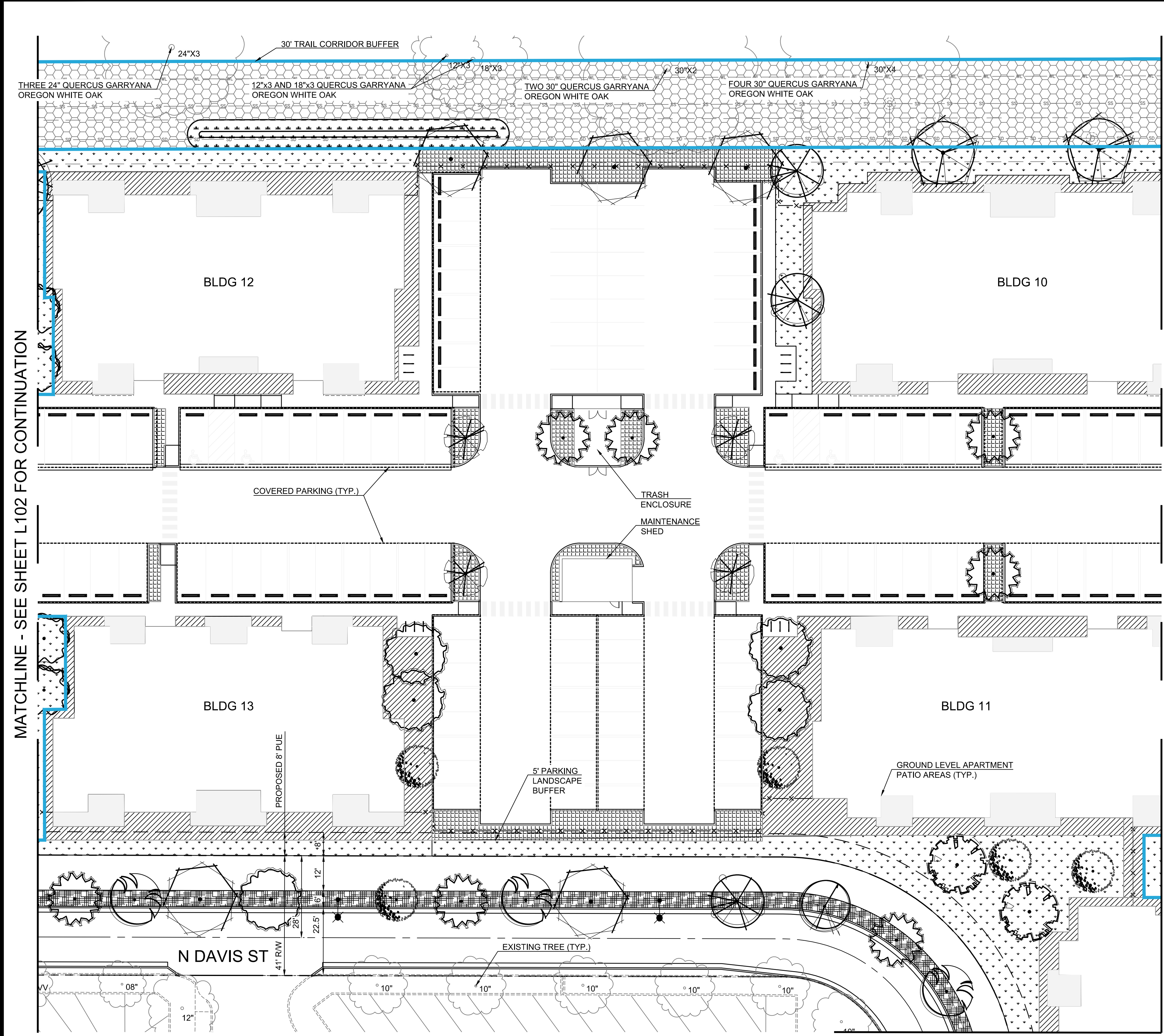
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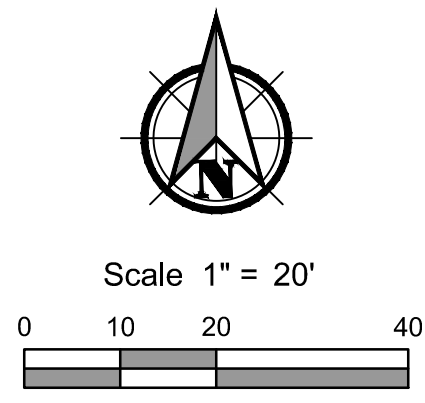
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MATCHLINE - SEE SHEET L102 FOR CONTINUATION

MATCHLINE - SEE SHEET L104 FOR CONTINUATION

MATCHLINE - SEE SHEET L105 FOR CONTINUATION



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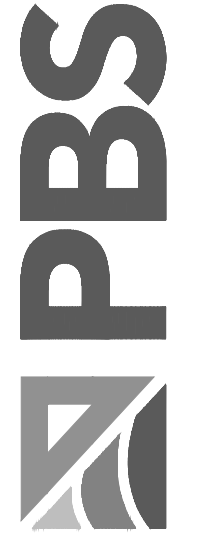
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SHEET 30 OF 37

**PRELIMINARY**

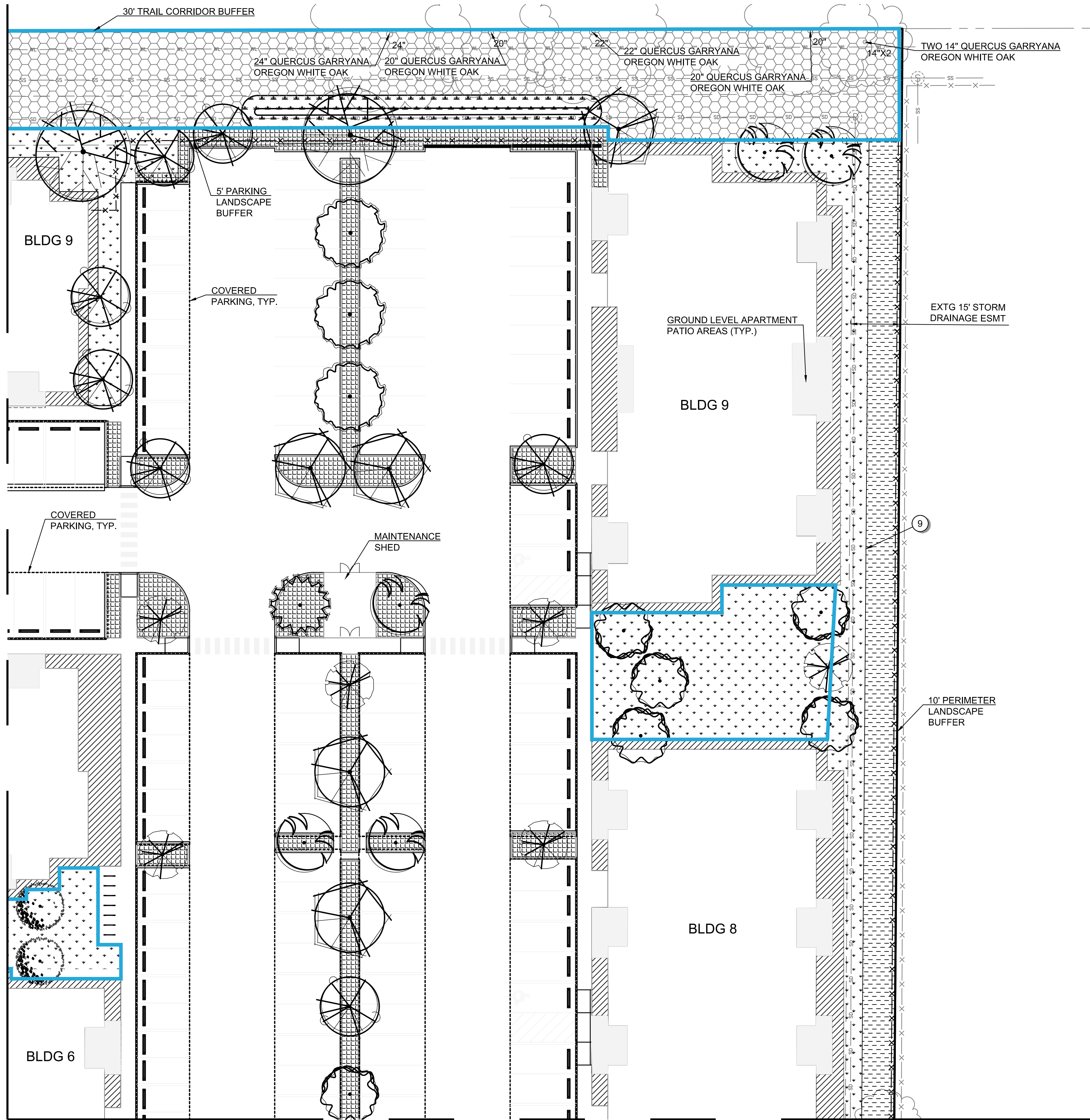
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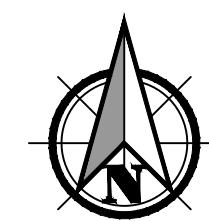


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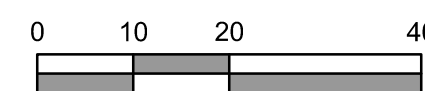
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MATCHLINE - SEE SHEET L105 FOR CONTINUATION



Scale 1" = 20'



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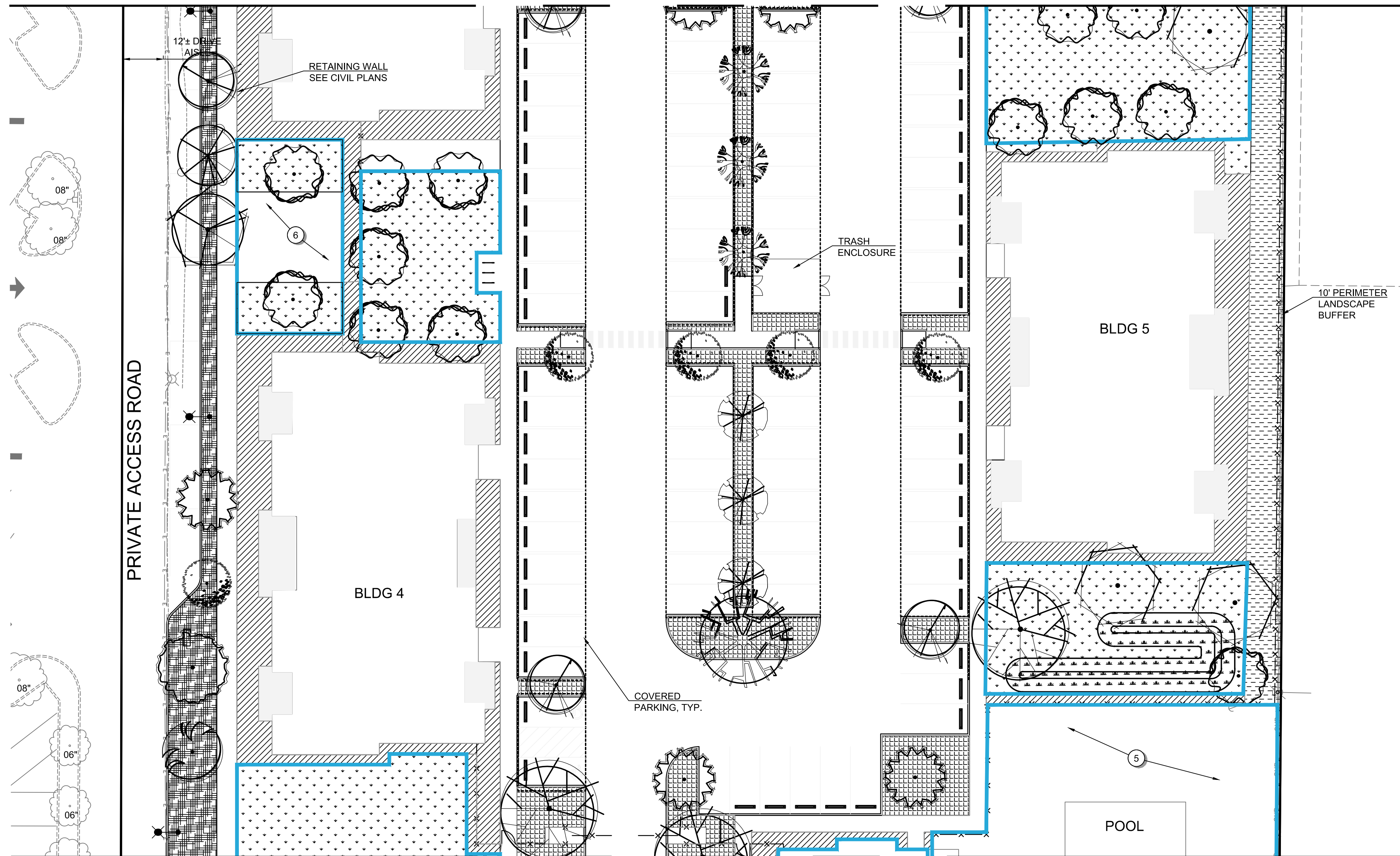
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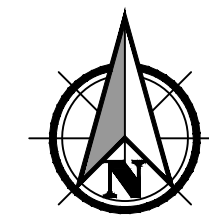




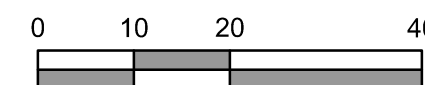
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MATCHLINE - SEE SHEET L107 FOR CONTINUATION



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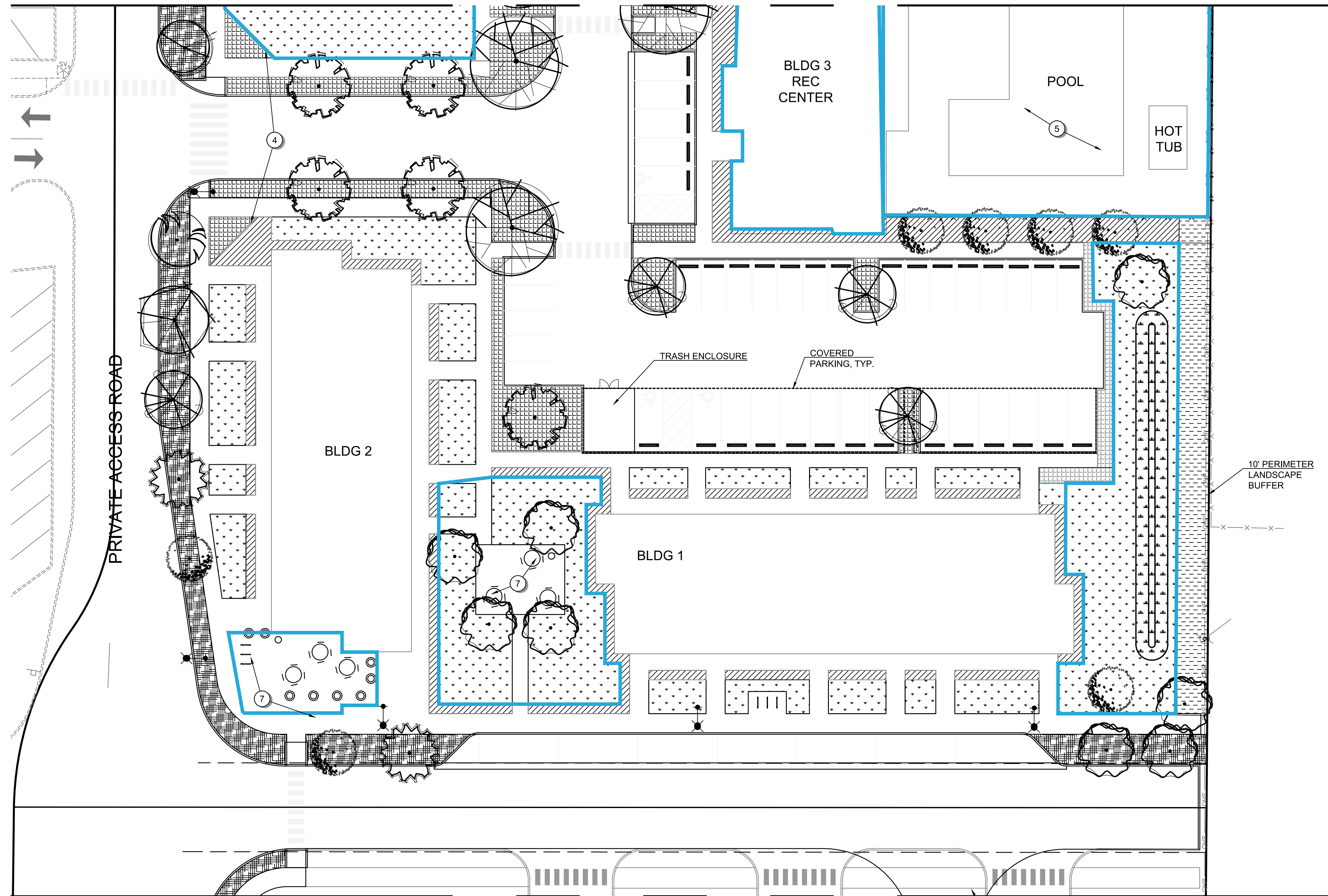
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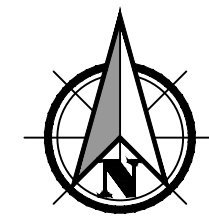
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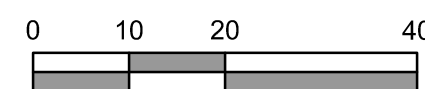
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MATCHLINE - SEE SHEET L108 FOR CONTINUATION



Scale 1" = 20'



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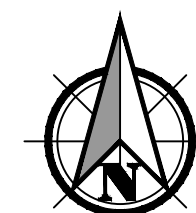
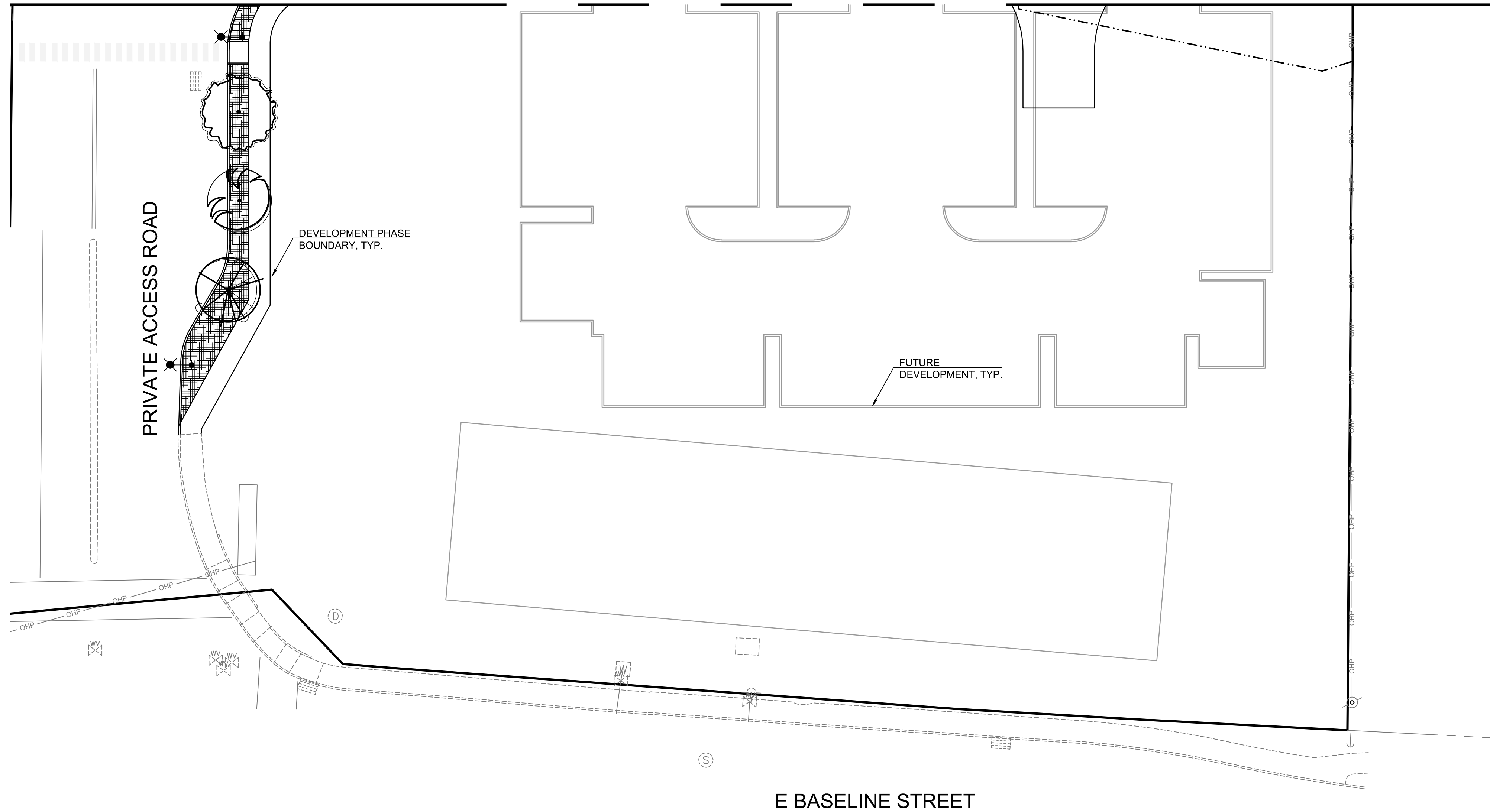
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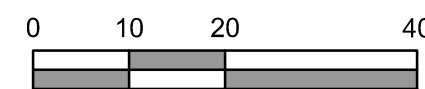
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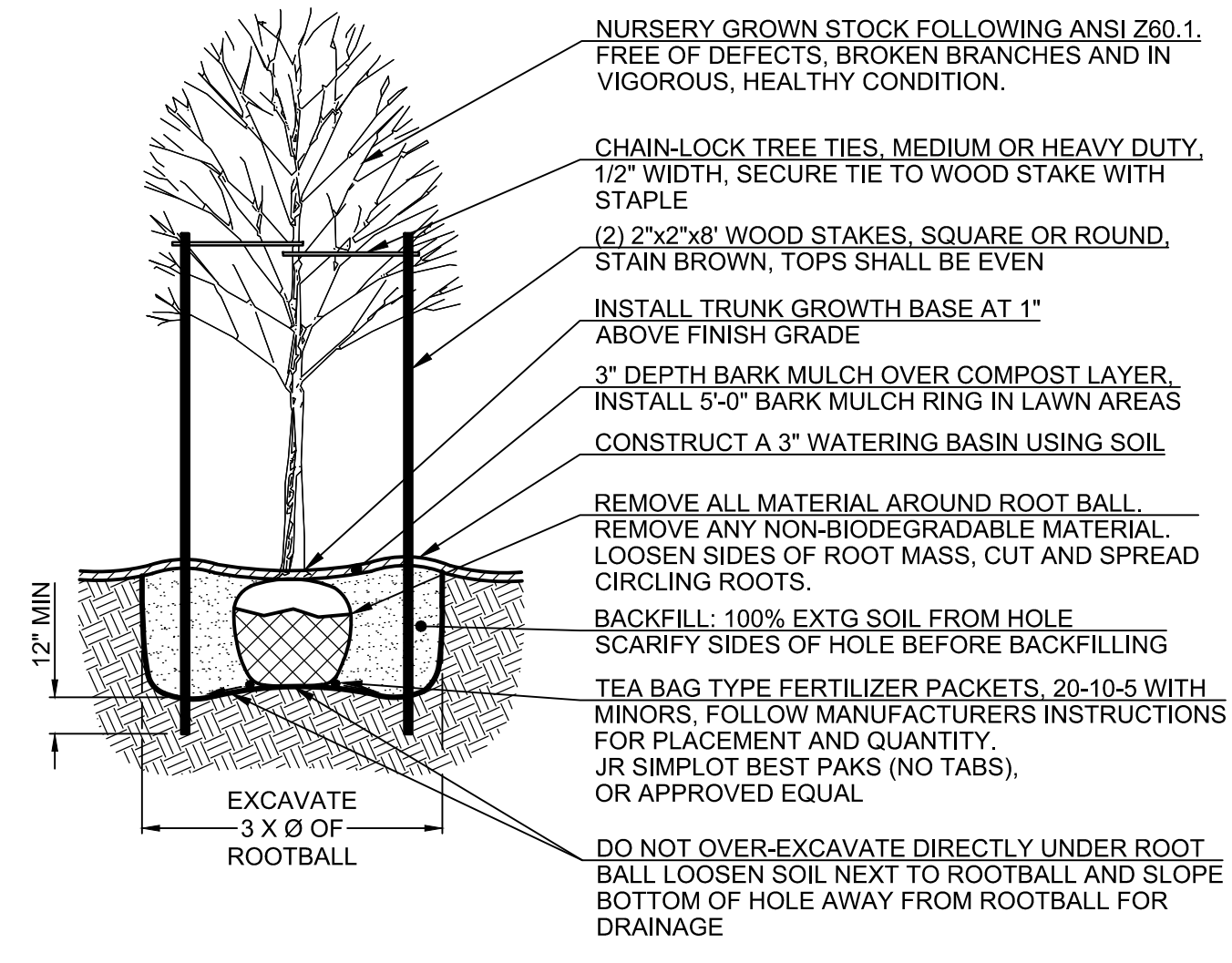
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SHEET **35** OF **37**

**PRELIMINARY**





NOTE: THOROUGHLY WATER ROOTBALL REGARDLESS OF SEASON

### Broadleaf Tree Planting Detail - Staked

NOT TO SCALE

#### UB 18-2 Specifications

Specified root barriers are a mechanical barrier or root deflector to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

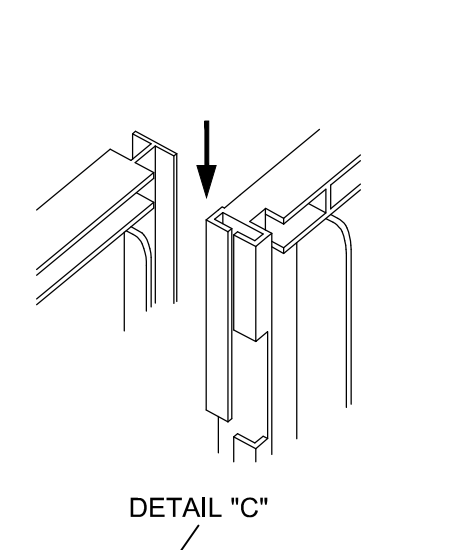
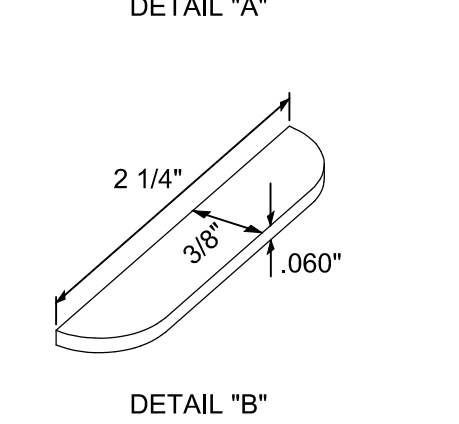
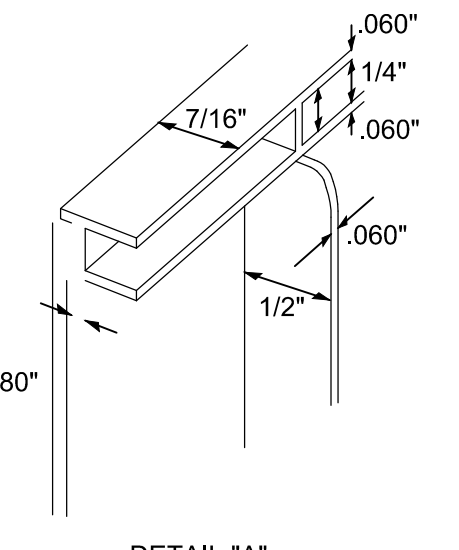
**A. Materials**  
The tree root barriers shall be produce #UB 18-2 as manufactured by Deep Root Partners, L.P. or approved equal. The barrier shall be recyclable, black, injection molded panels of .075" wall thickness in modules 24" long by 18" deep; manufactured with a minimum 75% reprocessed polypropylene plastic with added ultraviolet inhibitors.

Root barrier shall be comprised of 24" (609 mm) panels. Each panel shall have no less than four (4) Molded Integral Vertical Root Directing Ribs of a minimum 0.060" thickness, protruding 1/2" at 90° from interior of the barrier panel, spaced 6" apart. (See Details A & D).

Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.060" thickness, 3/8" (9.53 mm) wide and 1/4" apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).

Root barrier shall have a minimum of nine (9) Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.060" thickness in the shape of a segment of a circle, the 2-1/4" chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (See Details B & D).

An integrated zipper joining system providing for instant assembly by sliding one panel into another (Detail "C").

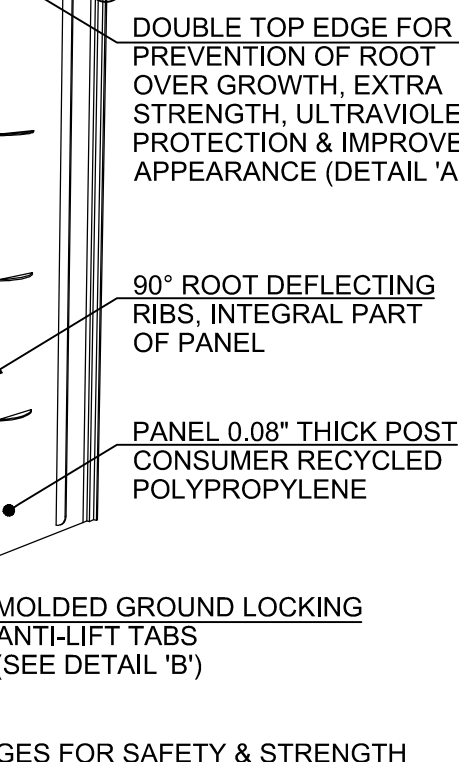


#### 2. The basic properties of the material shall be:

Test	ASTM Test Method	Typical Value Copolymer Polypropylene
Tensile strength @ yield - Wall	D638	2,354 PSI
Tensile strength @ yield - Hinge	D638	2,354 PSI
Yield Elongation - Wall	D638	7.44%
Yield Elongation - Hinge	D638	7.01%
Flexural Modulus	D790B	119,625 PSI
Notched Izod Impact - Wall	D256A	3.84 (ft-lbs)
Rockwell Hard. r. scale - Wall	D785A	84.4

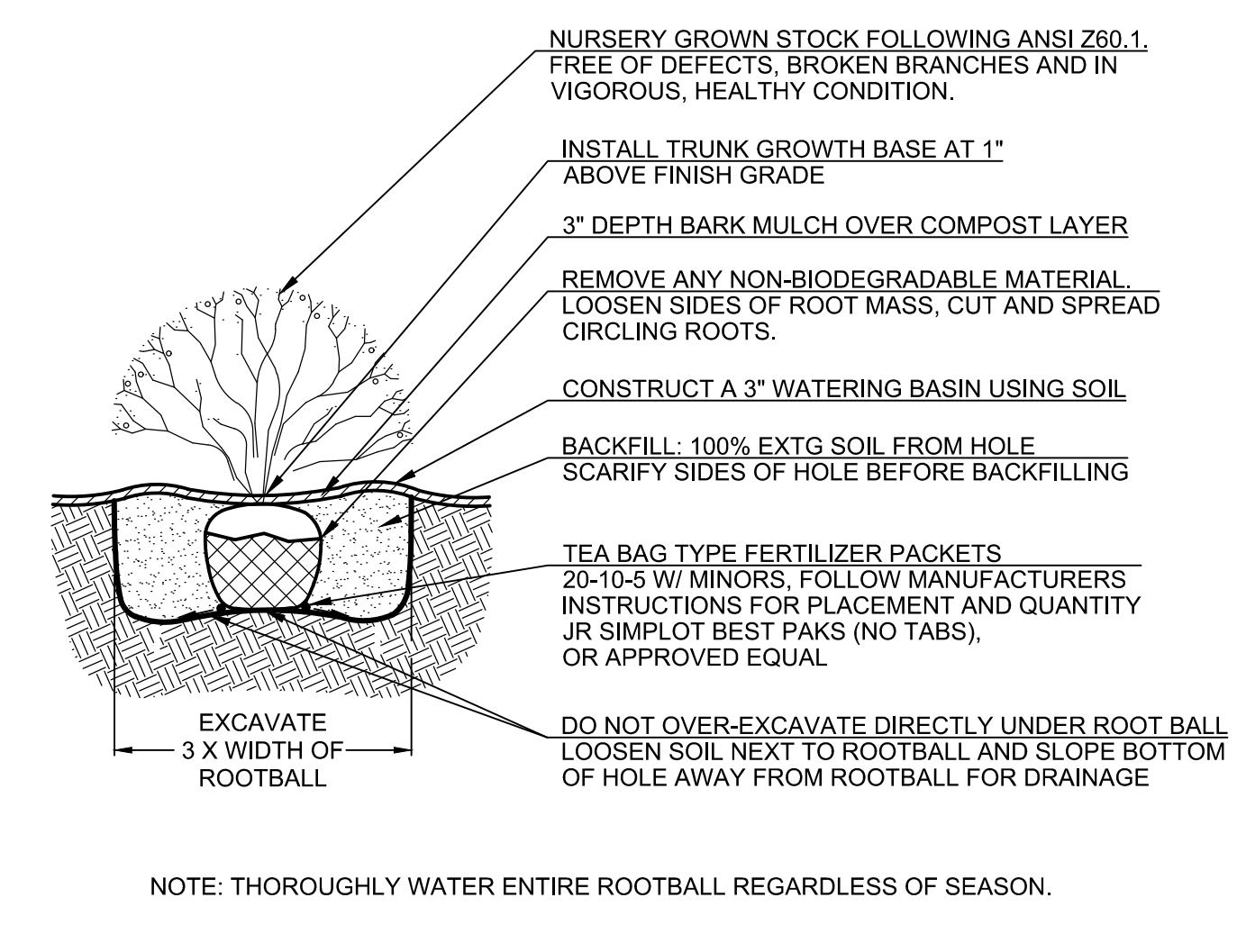
#### B. Construction and Installation

- The contractor shall install the tree root barriers with the number of panels and in the manner shown on the plans. The vertical root deflecting ribs shall be 1/2" above grade. Each of the required number of panels shall be connected to form a circle around the rootball or joined in a linear fashion and placed along the adjacent hardscape.
- Excavation and soil preparation shall conform to the plans.
- The tree root barrier shall be backfilled on the outside with 3/4" to 1-1/2" gravel or crushed rock as shown on the plans. No gravel backfill is required for linear planting.



### 18" Root Barrier

NOT TO SCALE



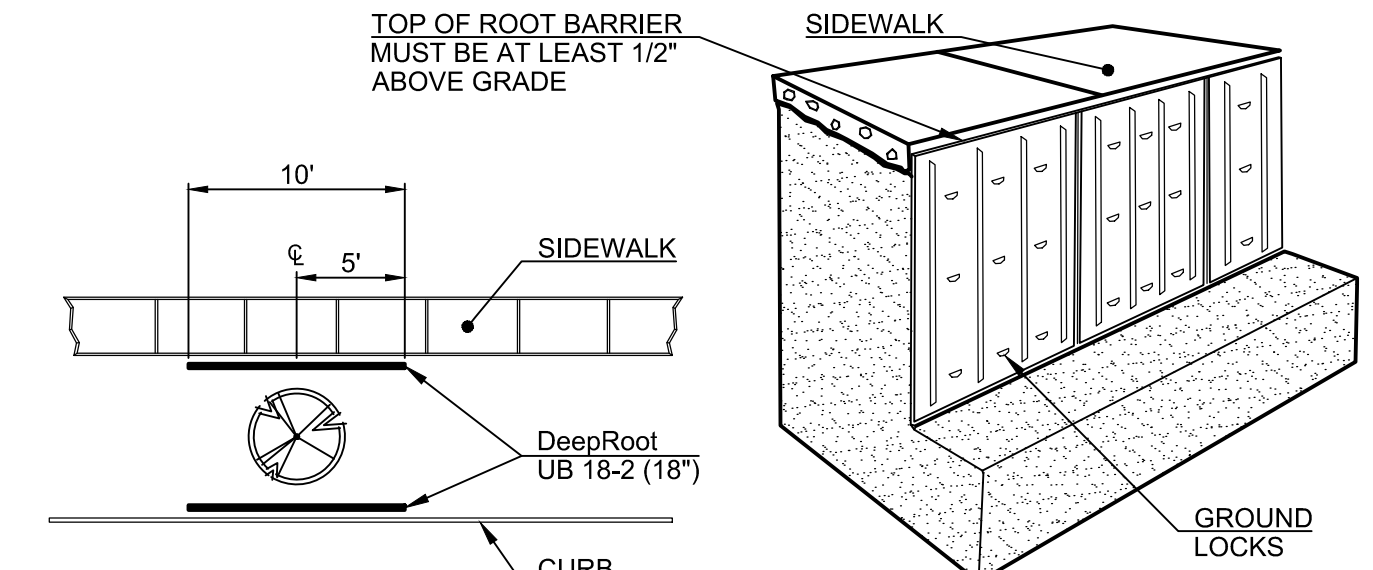
NOTE: THOROUGHLY WATER ENTIRE ROOTBALL REGARDLESS OF SEASON.

### Shrub Container Planting Detail

NOT TO SCALE

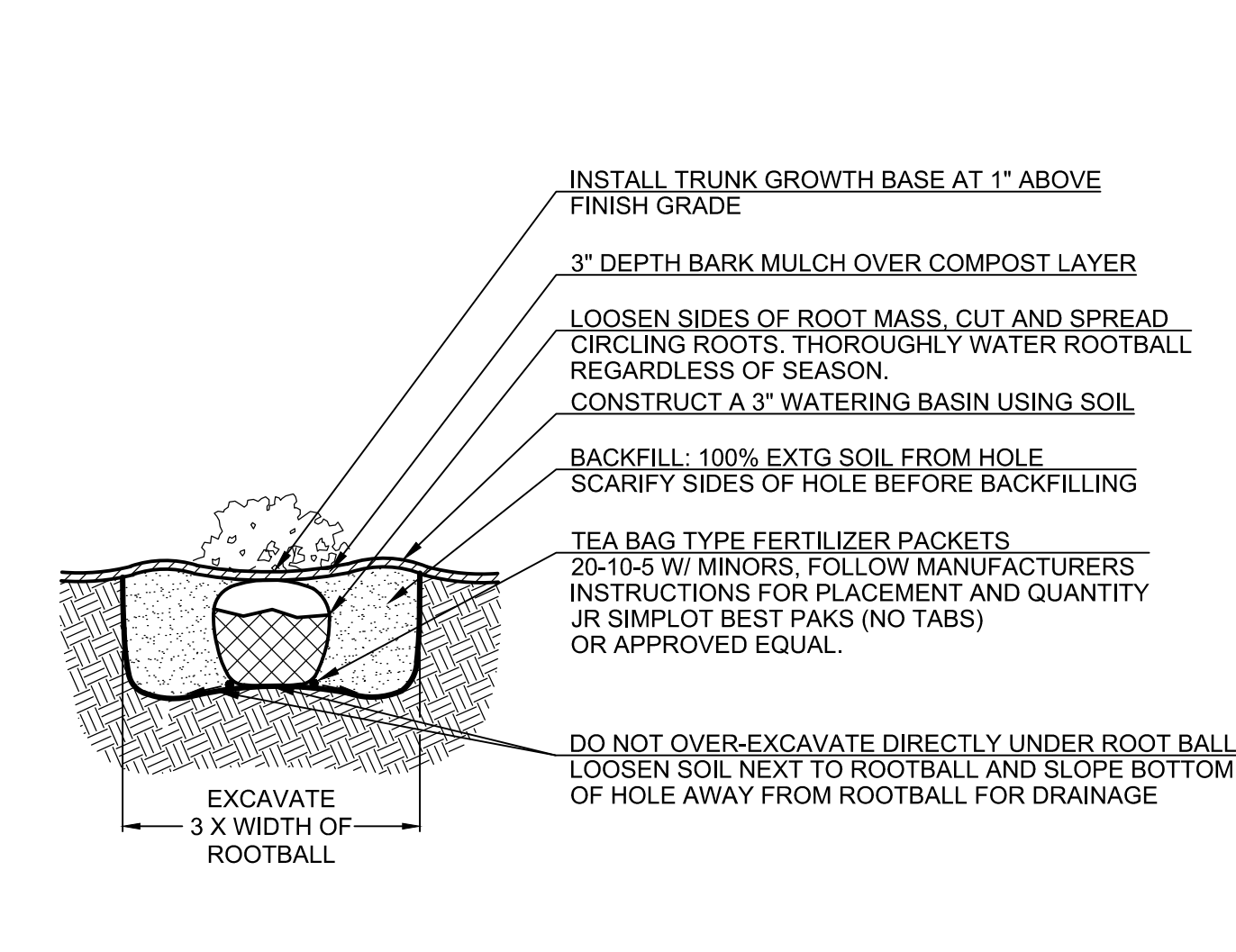
#### Linear Style Planting with Root Barriers

- Determine the number of panels to be used.
- Dig the trench to the depth based upon the particular barrier. Take steps to ensure healthy growth of the tree at planting. Consult with a local Arborist for planting tips and recommendations.
  - Next place the barrier in the trench with the vertical ribs facing toward the tree and align in a straight fashion. It is helpful to place the barrier against the hardscape. Use the hardscape as a guide to backfill against the barrier to promote a clean, smooth fit to the hardscape. Be sure to keep the barrier's double top edge at least 1/2" above grade to ensure roots do not grow over the top.
  - Plant the tree(s). The linear style offers a more expansive root growth area, however, adverse soil and drainage conditions may exist in the actual planting area.
- Take steps to ensure healthy growth of the tree at planting. Consult with a local Arborist for planting tips and recommendations.
- Install root barriers at all trees when the tree is within 8' of hardscape on any side.
- Trees do require care and nurturing after planting. Consult with your local supplier for proper care procedures for the species you are planting. The planting instructions given here are by no means a comprehensive guide. Rather they are general guide lines to planting with Root Barriers and a survey of current planting methods. Conditions will vary however, and it is recommended that an Arborist be consulted before planting.



### Linear Root Barrier Installation

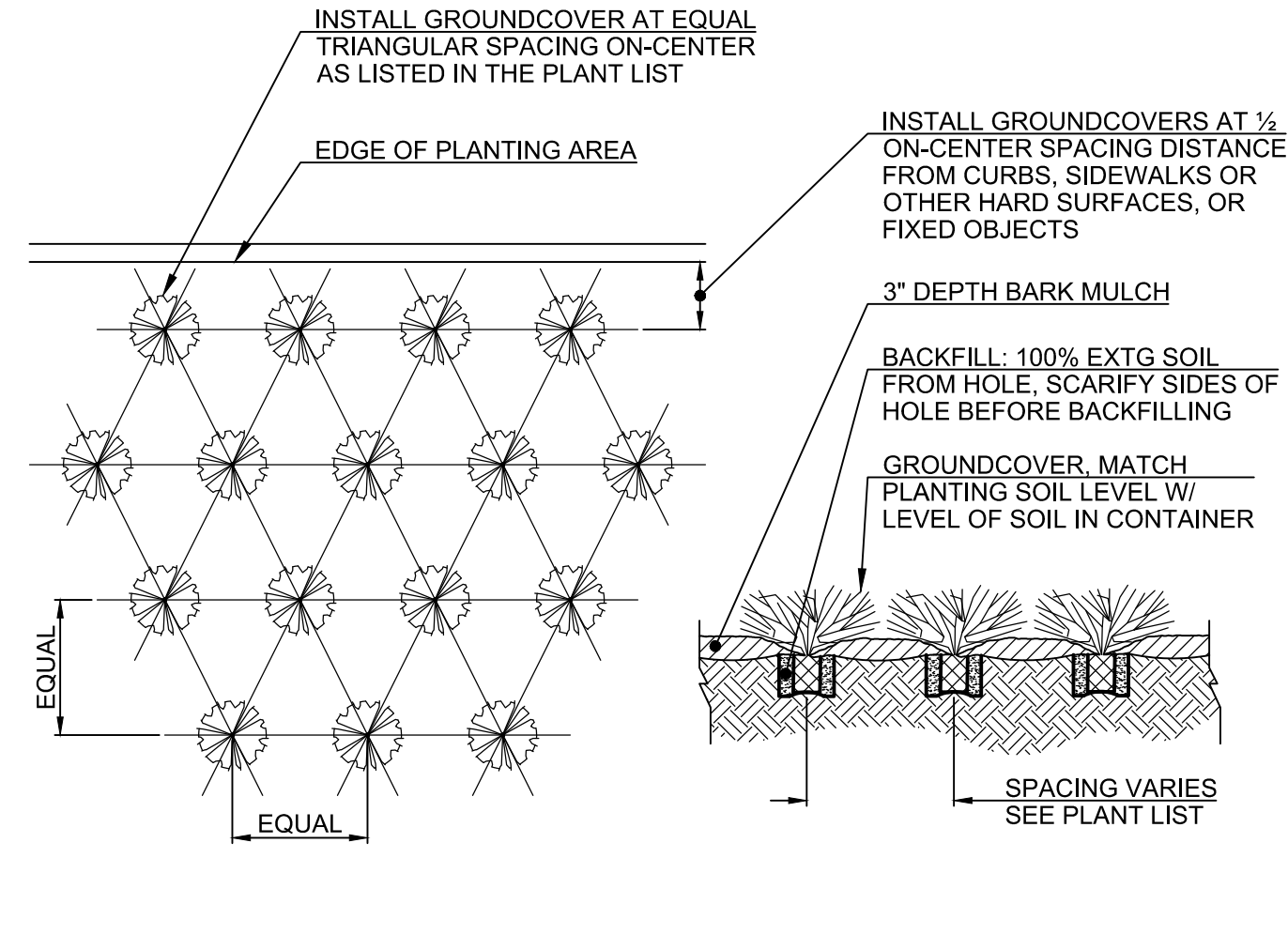
NOT TO SCALE



NOTE: THOROUGHLY WATER ROOTBALL REGARDLESS OF SEASON

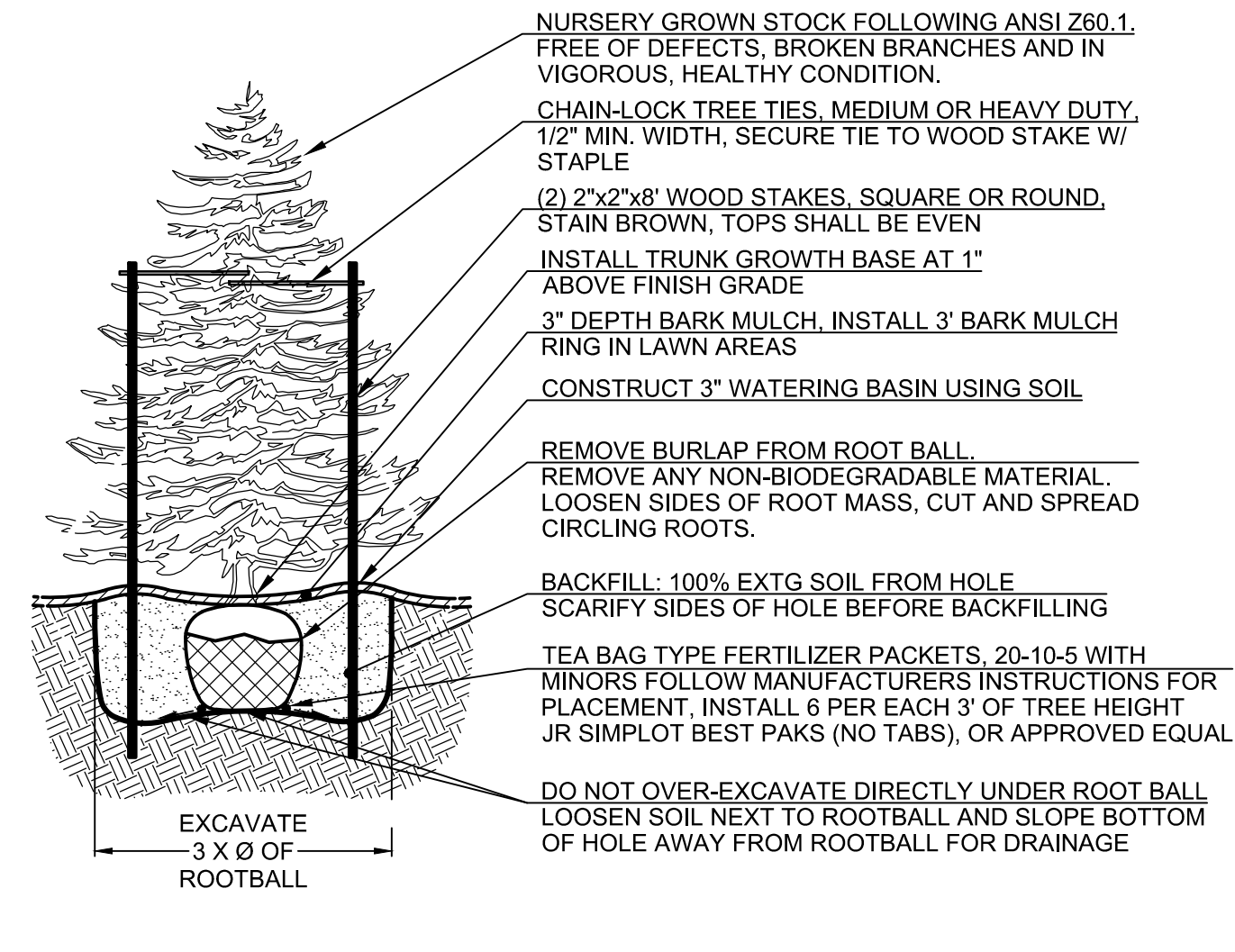
### Groundcover Planting Detail

NOT TO SCALE



### Planting Spacing Detail

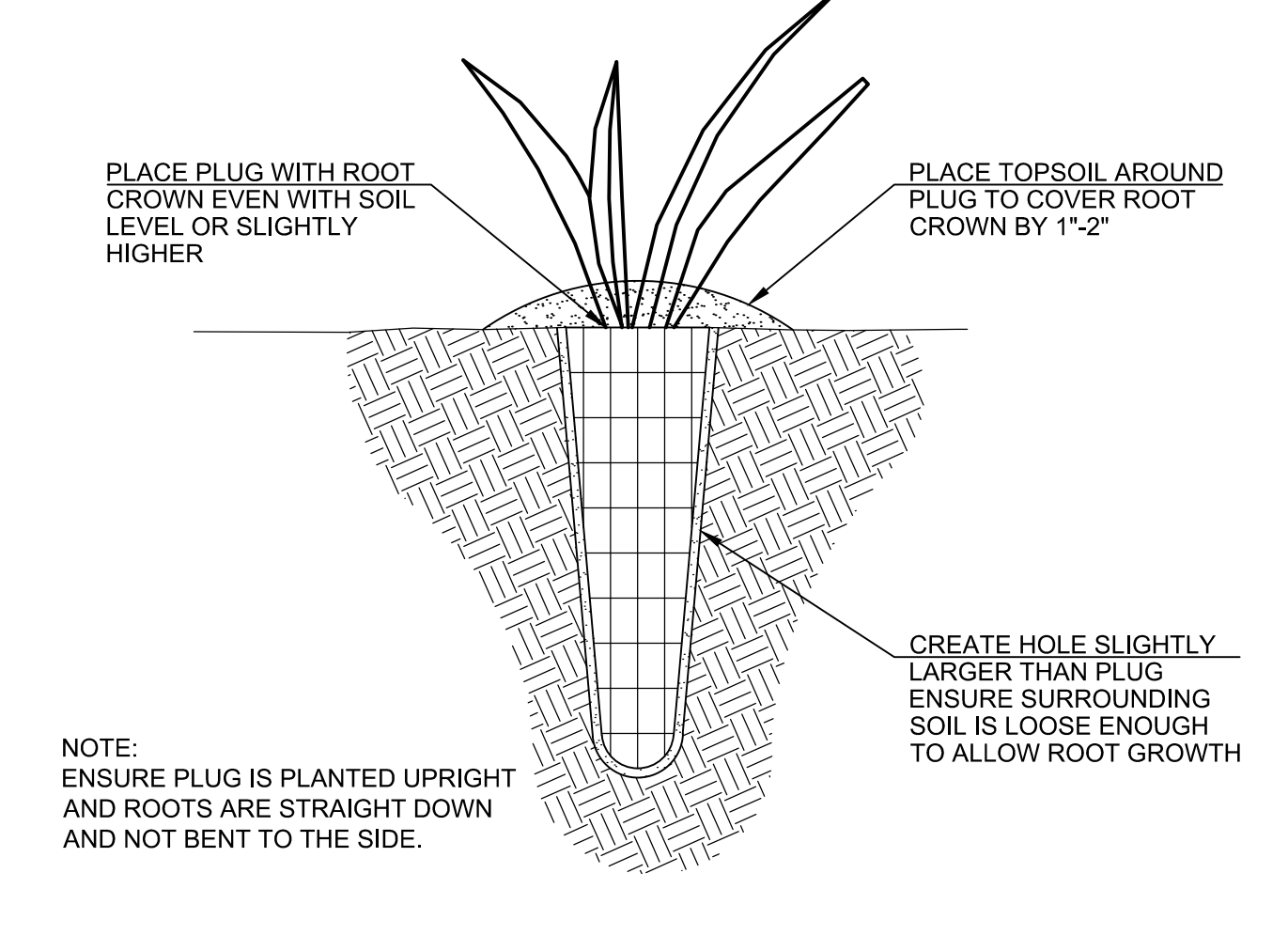
NOT TO SCALE



NOTE: THOROUGHLY WATER ROOTBALL REGARDLESS OF SEASON

### Coniferous Tree Planting Detail - Staked

NOT TO SCALE



### Plug Planting Detail

NOT TO SCALE

#### TREE PLANTING—CONTAINER/ BURLAPPED

NOTE: IF TREE IS CONTAINER GROWN STOCK, BREAK ROOT BALL APART BEFORE PLACING IN PLANTING HOLE. IF PLANT IS ROOT BOUND MAKE A VERTICAL CUT THROUGH THE LOWER 1/4 OF THE SOIL MASS, PULL OUT AND STRAIGHTEN LARGE, CIRCLING ROOTS.

REMOVED TWINE FROM AROUND BASE OF THE TREE. PUSH BURLAP AND ROPE FLAT AGAINST GROUND (TREATED OR SYNTHETIC BURLAP MUST BE REMOVED).

MULCH NO CLOSER THAN 1" FROM TRUNK. 3"-4" COMPOSTED MULCH.

LOOSEN AND MIX ORIGINAL SOIL WITH SHOVEL.

SUBGRADE

3 x DIA OF ROOTBALL

CleanWater Services

#### CONSTRUCTION

- Water Quality Swale shall be over-excavated and filled to final grade with 12-inch amended topsoil. Topsoil amendments shall be garden compost, not conventional fertilizer amendments.
- A biodegradable Erosion Control Matting shall be placed over the topsoil throughout the swale cross section, fabric shall be held in place in accordance with the manufacturer's installation requirements. Anchor spacing shall be based on 3 fps flow over the fabric.
  - Treatment area - high-density jute matting (Geojute Plus or other approved equal)
  - All other areas - low-density jute matting (Ecojute or other approved equal)
- 2.5-3 inches of 2"-3" river run rock shall be placed over the matting evenly throughout the length and width of the swale.
- Plant materials shall be placed in accordance with the plan and plant table as shown on approved plans.
- The water quality swale treatment area plantings can be deemed "substantially complete" once active green growth has occurred to an average growth of 3" and plant density is an average of approx. 6 plants (minimum 1-inch plugs or equivalent) per square foot.
- The facility shall be deemed acceptable to begin the maintenance period when plant growth and density matches the engineer's design as shown on the approved plans and all other requirements have been met. The engineer must certify the facility to be functional, in accordance with the approved plan design to begin the two-year maintenance period.

#### MAINTENANCE

- The permittee is responsible for the maintenance of this facility for a minimum of two years following construction and acceptance of this facility per Chapter 2.
- Irrigation is to be provided per separate irrigation plan as approved.
 

Note: Irrigation needs are to be met using a temporary irrigation system with a timer during the dry season. Systems should be winterized during the wet season to assure longevity and guard against damage from freezing temperatures. Water source shall be as shown on the approved plans.
- Engineer or Owners Representative is to visit and evaluate the site a minimum of twice annually (Spring and Fall). The landscaping shall be evaluated and replanted as necessary to ensure a minimum of 80% survival rate of the required vegetation and 90% aerial coverage. Non-native, invasive plant species shall be removed when occupying more than 20% of the site.
- The facility shall be re-excavated and planted if situation greater than 3 inches in depth occurs within the two-year maintenance period.

WATER QUALITY SWALE CONSTRUCTION & MAINTENANCE NOTES

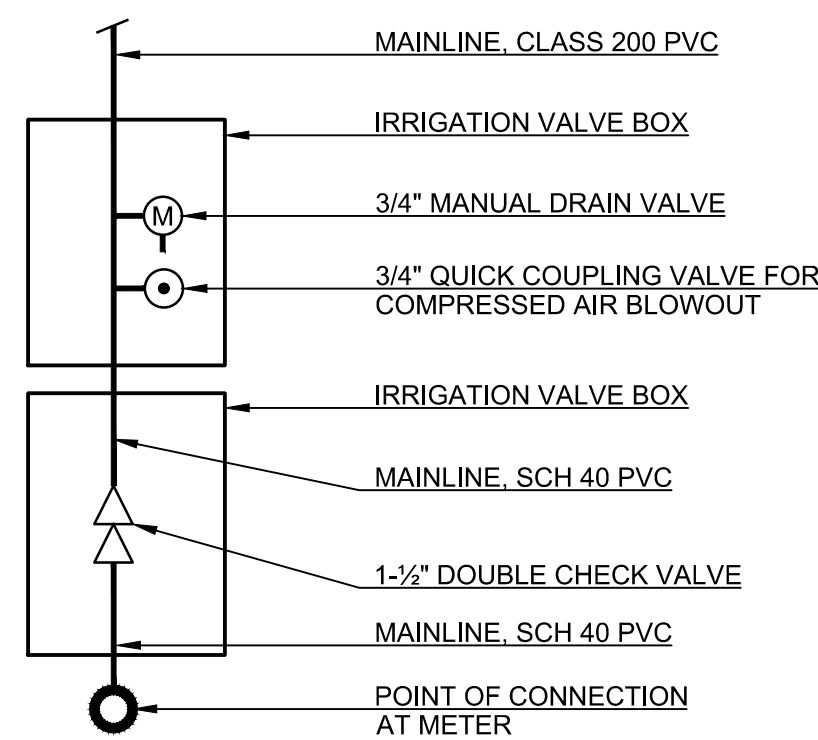
CleanWater Services

WATER QUALITY SWALE

CleanWater Services

**PRELIMINARY**

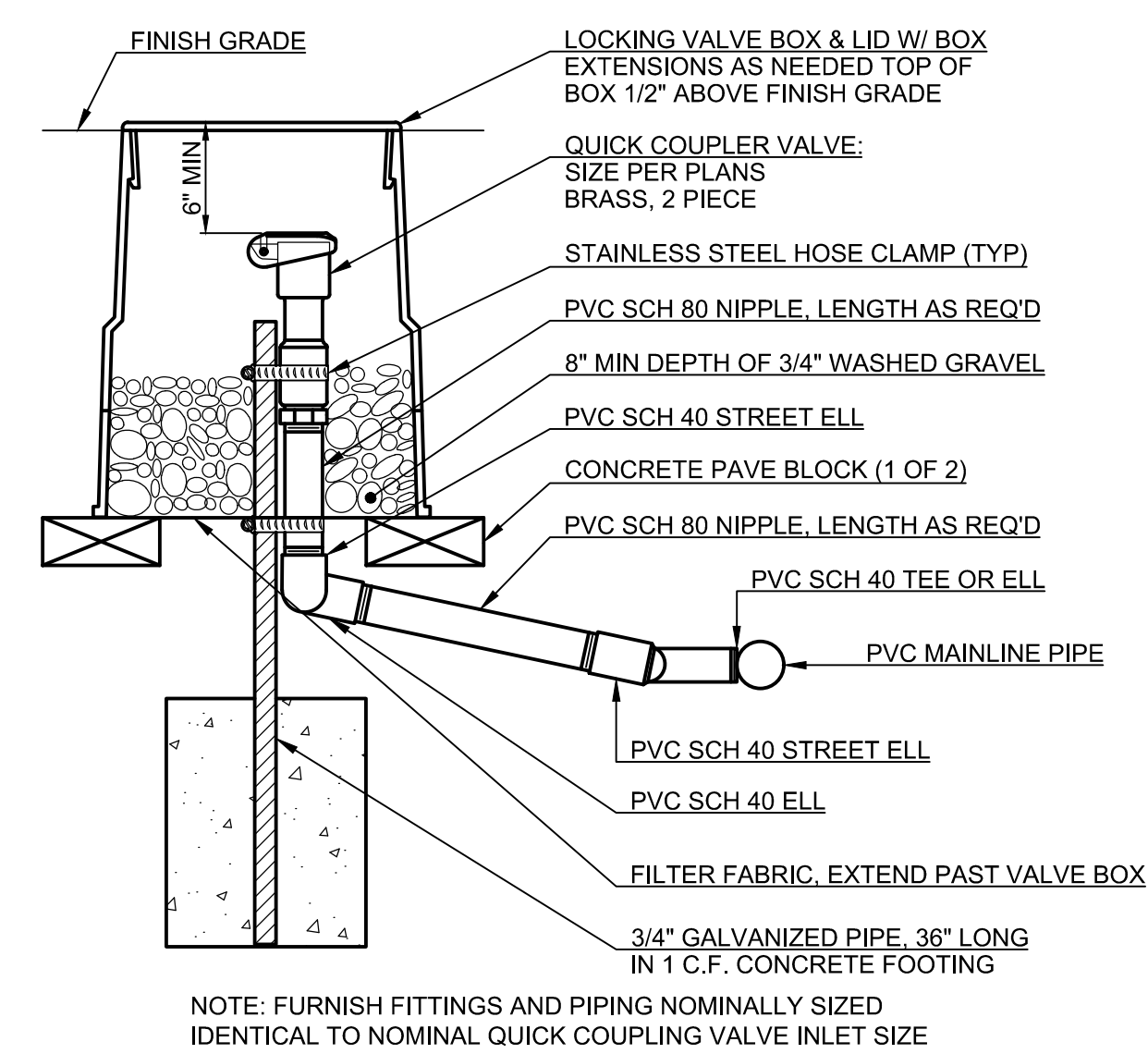




NOTES:  
 1. DOUBLE CHECK VALVE MUST BE ON THE WASHINGTON STATE APPROVED LIST.  
 2. INSTALLATION AND COMPONENTS SHALL FOLLOW JURISDICTION'S STANDARD PLANS.

**Point of Connection**

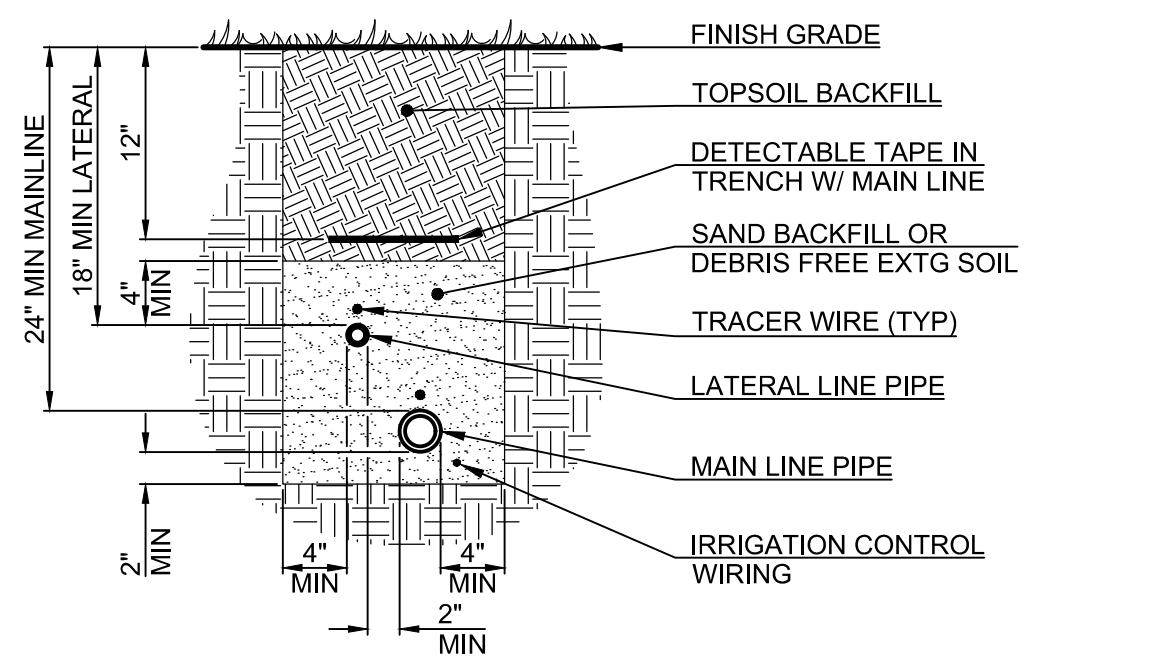
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NOTE: FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE

**Quick Coupling Valve**

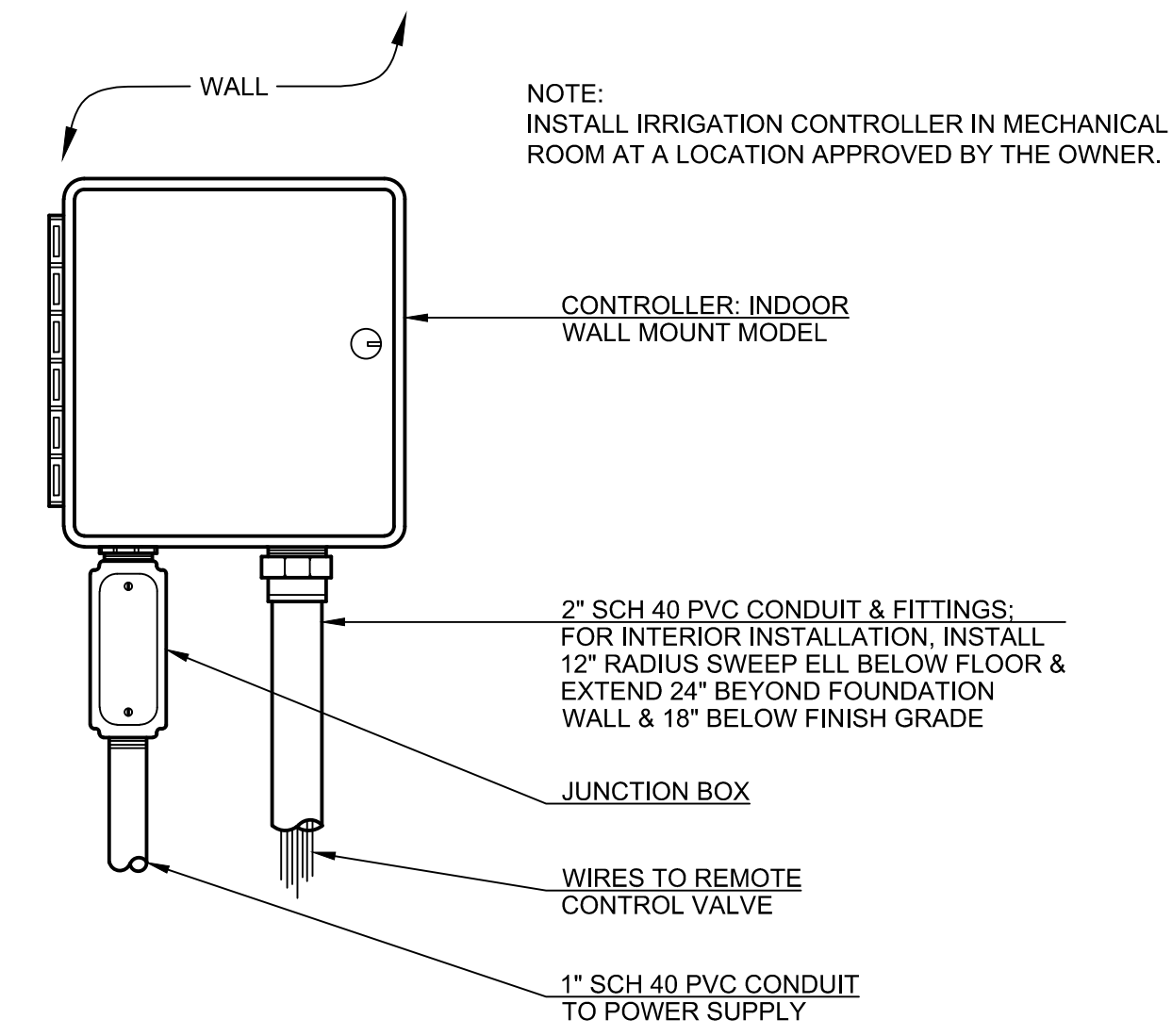
NOT TO SCALE



NOTES:  
 1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH 40 PIPE.  
 2. FOR PIPE AND WIRE BURIAL DEPTHS SEE SPECIFICATIONS.  
 3. PROVIDE 48" COIL OF TRACER WIRE IN EACH VALVE BOX.

**Trench Detail**

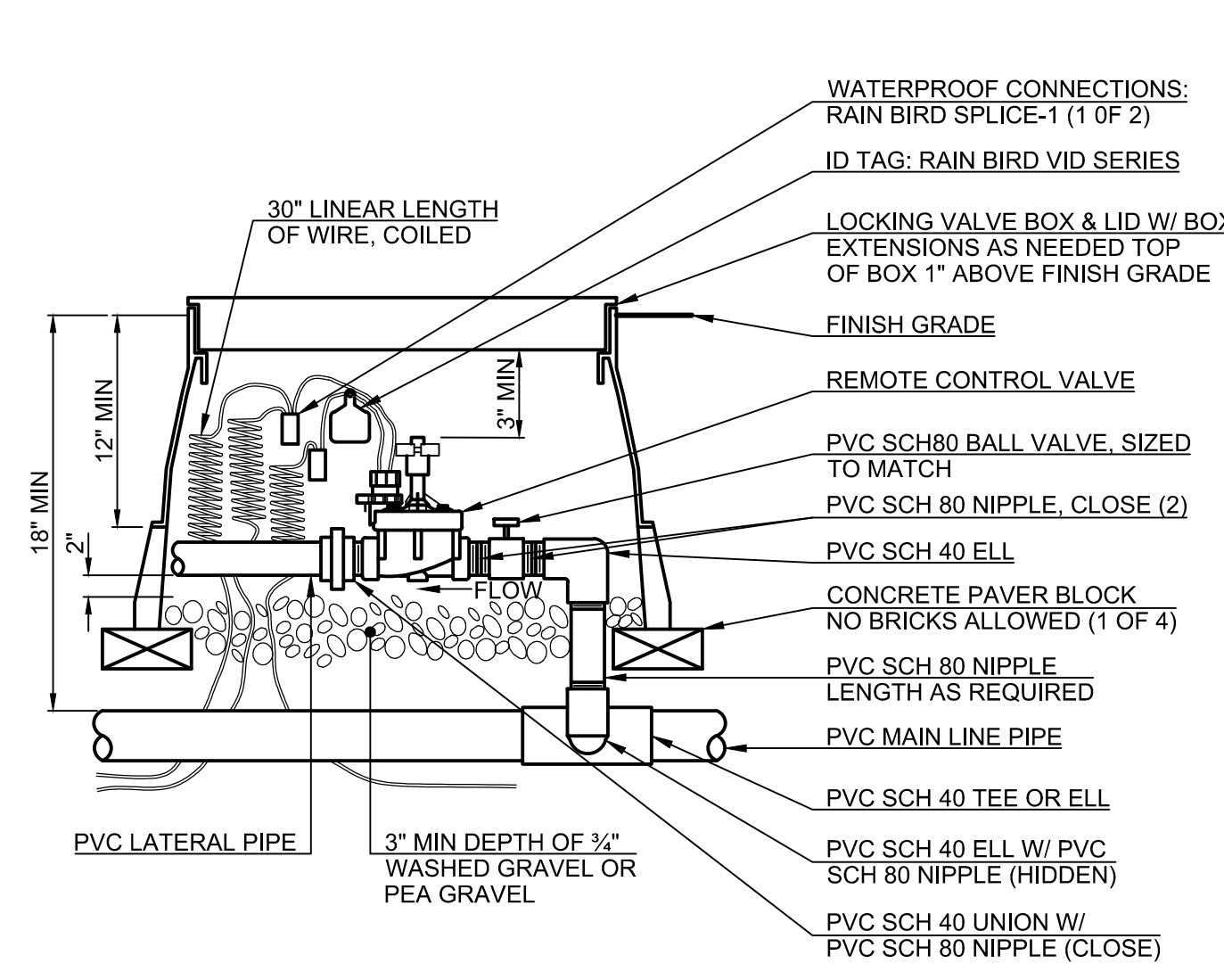
NOT TO SCALE



NOTE:  
 INSTALL IRRIGATION CONTROLLER IN MECHANICAL ROOM AT A LOCATION APPROVED BY THE OWNER.

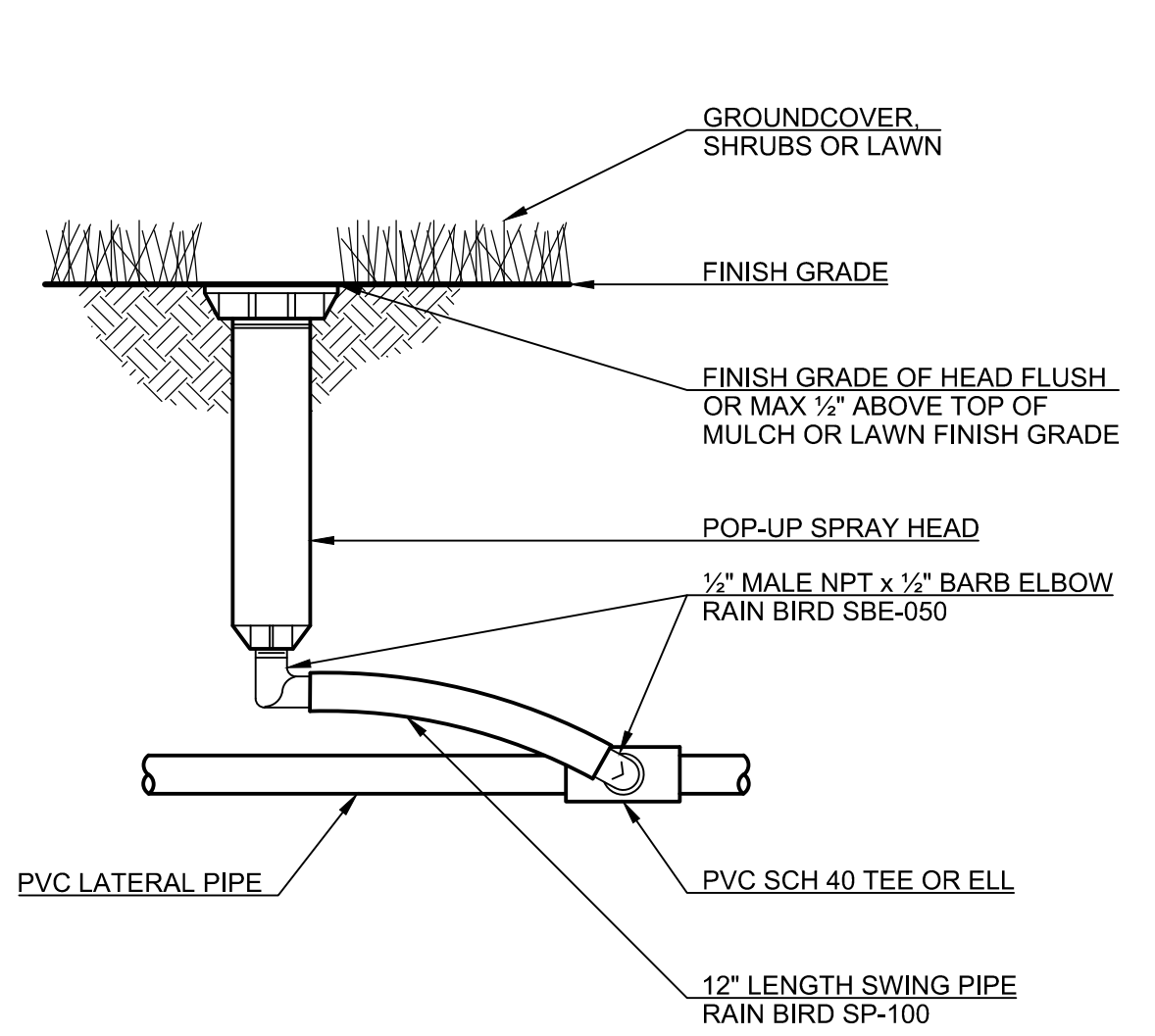
**Controller**

NOT TO SCALE



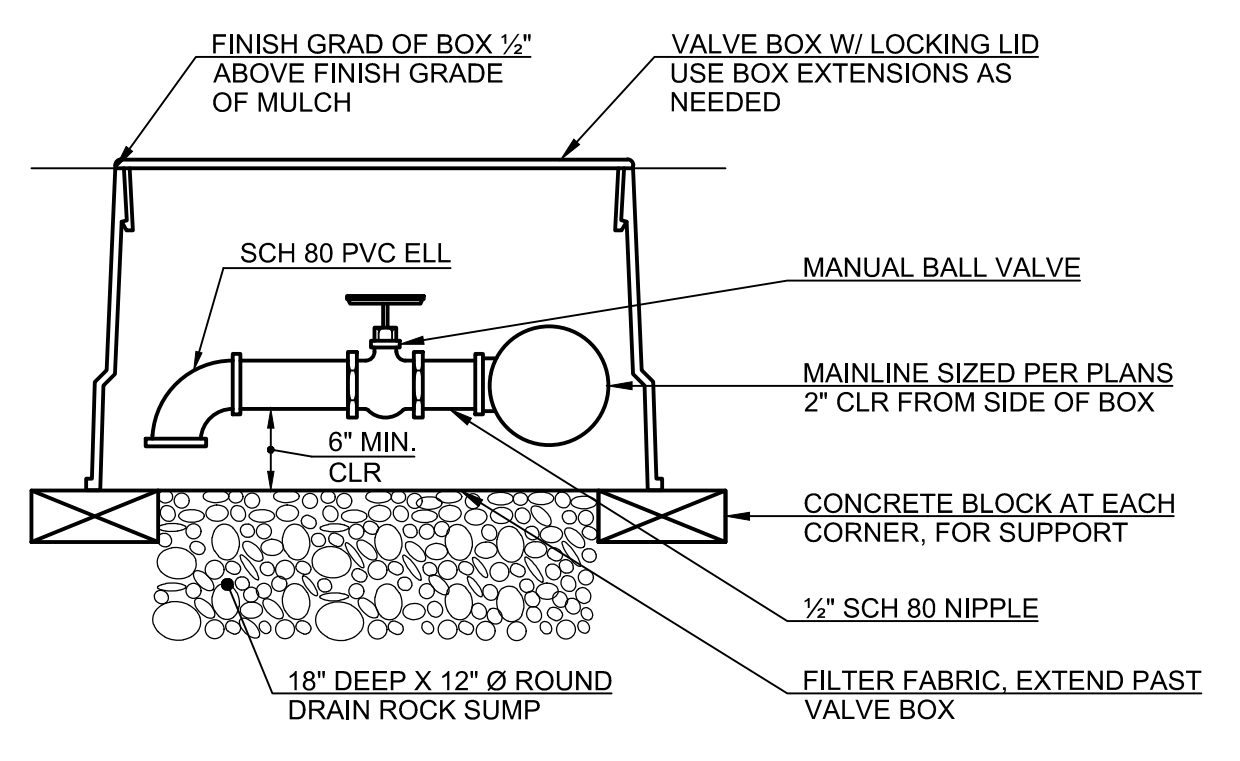
**Remote Control Valve**

NOT TO SCALE



**Pop-up Spray Head w/ Swing Pipe**

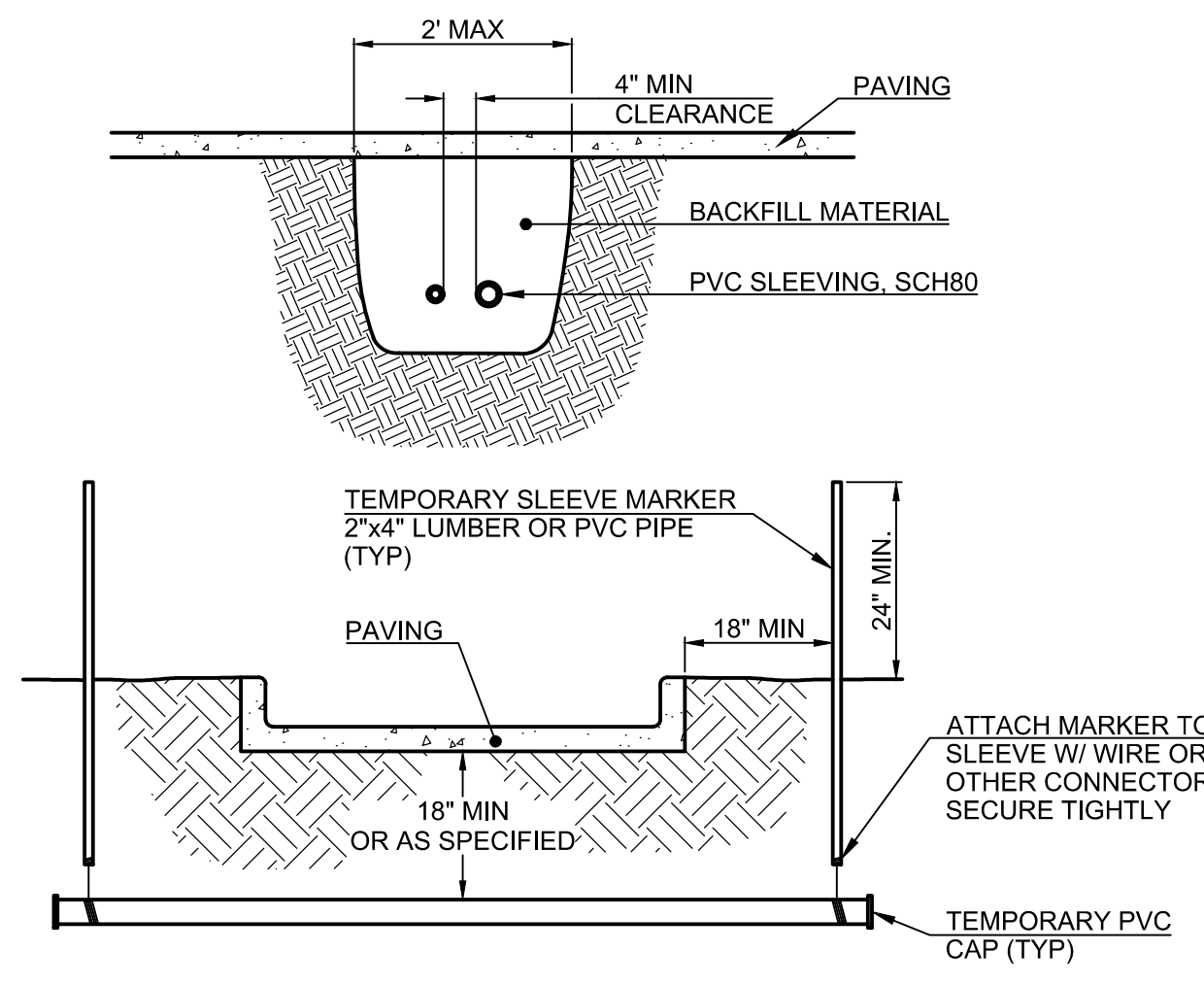
NOT TO SCALE



NOTES:  
 LOCATE VALVE AT POINT OF CONNECTION AND LOWEST POINTS ALONG MAINLINE PIPE AND AS SHOWN IN THE PLANS.

**Manual Drain Valve**

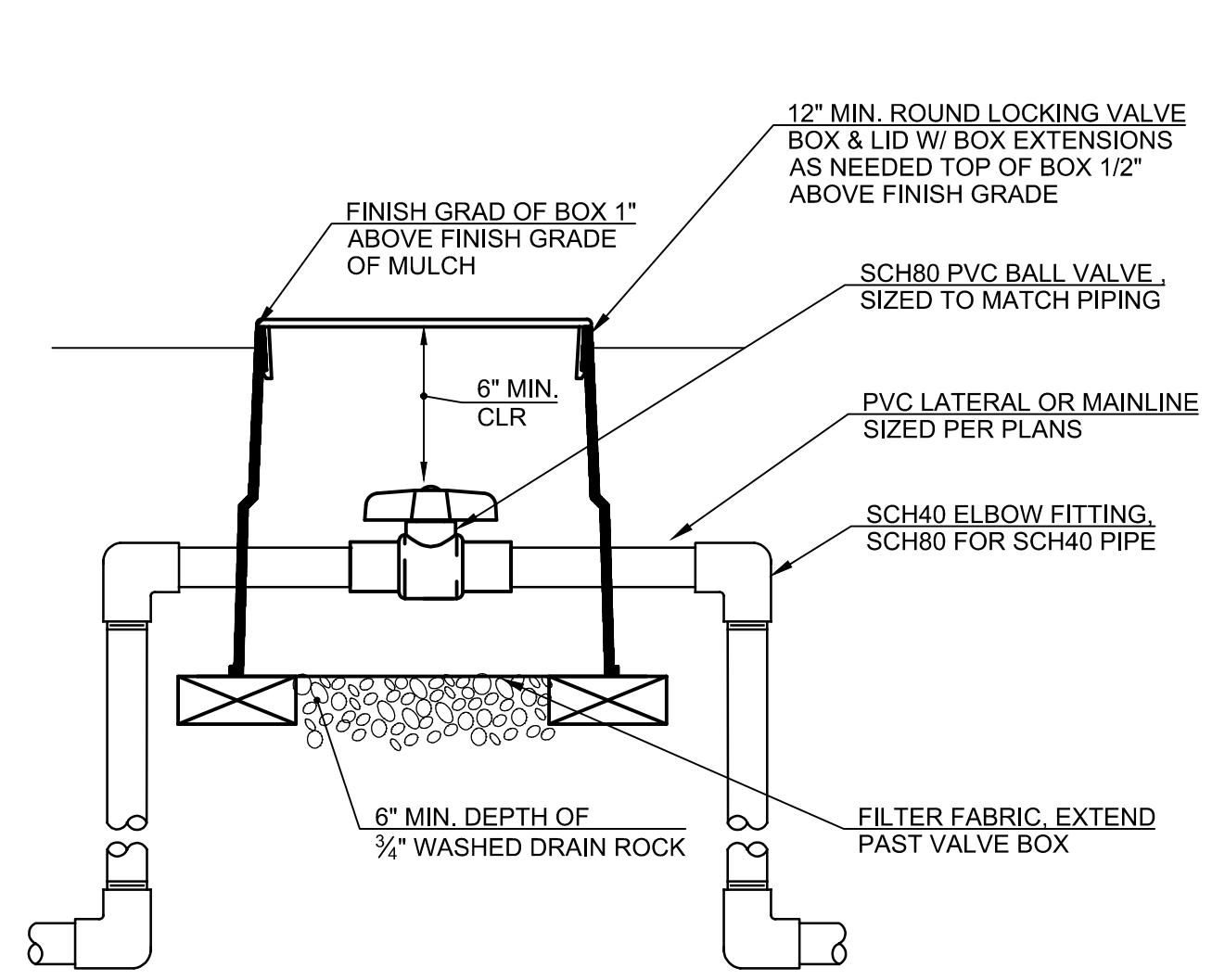
NOT TO SCALE



NOTES:  
 1. ALL PVC IRRIGATION SLEEVES TO BE SCHEDULE 40 PVC PIPE.  
 2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.  
 3. MECHANICALLY TAMP TO 95% PROCTOR.

**Sleeving**

NOT TO SCALE



**Ball Valve**

NOT TO SCALE

**IRRIGATION DESIGN BUILD NOTES:**  
 CONTRACTOR SHALL PROVIDE IRRIGATION THROUGH DESIGN BUILD BY AN AUTOMATIC UNDERGROUND SYSTEM CAPABLE OF PROVIDING ADEQUATE WATER TO PLANTING THROUGHOUT THE YEAR.

CONTRACTOR SHALL SUBMIT THE FOLLOWING DATA TO THE LANDSCAPE ARCHITECT PRIOR TO START OF WORK:

- CONTRACTOR SHALL SUBMIT ALL PRODUCTS TO BE INSTALLED IN THIS SYSTEM. PRODUCT DATA SHALL INCLUDE THE MANUFACTURER'S NAME, CATALOG NUMBER, TECHNICAL DATA, AND MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION. ALL IRRIGATION COMPONENTS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO START OF INSTALLATION.
- CONTRACTOR SHALL SUBMIT AN IRRIGATION PLAN THAT SHOWS ALL IRRIGATION SYSTEM PIPING INCLUDING LAYOUT, LOCATION, TYPE, SIZE, CAPACITIES, AND FLOW CHARACTERISTICS OF IRRIGATION SYSTEM COMPONENTS; INCLUDE WATER METERS, BACKFLOW PREVENTORS, CONTROLLER, VALVES, PIPING, DRAIN VALVES, SPRINKLERS AND DEVICES, ACCESSORIES AND WIRING.
- CONTRACTOR SHALL TEST THE EXISTING WATER PRESSURE AT POINT OF CONNECTIONS AND SUBMIT THE FINDINGS.

**IRRIGATION DESIGN/BUILD INSTALLATION NOTES:**

- LOCATE AND VERIFY ALL UTILITY LINES PRIOR TO EXCAVATION OR CONSTRUCTION. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ALL DAMAGES CAUSED AS A RESULT OF THEIR WORK.
- PIPING SHALL SHARE COMMON TRENCH WHEREVER POSSIBLE.
- IRRIGATION SLEEVES ARE SHOWN AT APPROXIMATE LOCATIONS. ALL PIPING AND CONTROL WIRING PROPOSED UNDER PAVEMENT SHALL BE INSTALLED IN 4" SCH80 PVC SLEEVING. ONE BALL VALVE SHALL BE INSTALLED EACH UPSTREAM AND DOWNSTREAM OF THE MAINLINE PIPING OF THE SLEEVE.
- LOCATE VALVES AT EDGE WITHIN PLANTING BEDS FOR EASE OF ACCESS AND MAINTENANCE WHEREVER POSSIBLE. PLANTING AND GRASS AREAS SHALL BE DESIGNED ON SEPARATE ZONES UNLESS OTHERWISE LABELED.
- ALL IRRIGATION HEADS SHALL BE LOCATED 3" OF EDGE OF PAVEMENT AND 12" POP-UP UNLESS OTHERWISE NOTED.
- ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND PROPERLY ADJUSTED TO PROVIDE ADEQUATE COVERAGE AND MINIMIZATION OF OVER SPRAY ONTO SIDEWALKS, BUILDINGS, PARKING AREAS, ETC.
- PLANTING AREAS SHALL BE SUPPLIED AT MINIMUM HEAD TO HEAD COVERAGE, GRASS AREAS SHALL BE SUPPLIED AT TRIPLE HEAD TO HEAD COVERAGE UNLESS NOTED OTHERWISE.
- LOCATE CONTROLLER AS APPROVED BY OWNER OR OWNER'S REPRESENTATIVE. COORDINATE POWER CONNECTIONS FOR CONTROLLER LOCATIONS. PROGRAM WATERING SCHEDULE TO ALLOW 1 INCH OF WATER PER WEEK DURING MONTHS OF APRIL TO SEPTEMBER.
- DURING THE MAINTENANCE OF THE PROJECT, ENSURE PROPER WINTERIZATION, INCLUDING DRAINAGE OF ALL PIPES BY COMPRESSED AIR AND SPRING START-UP INCLUDING ANY REQUIRED CERTIFICATIONS BY STATE.
- FOLLOWING COMPLETION OF INSTALLATION, THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE OWNER:

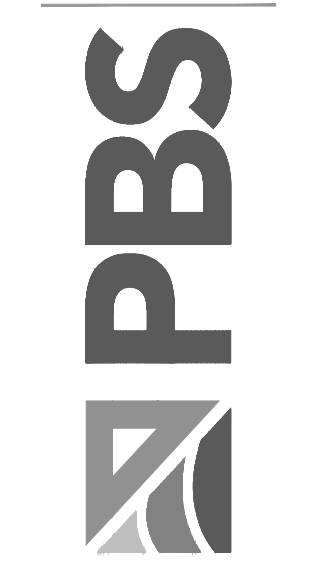
SUBMIT THREE SETS OF ALL KEYS, TOOLS, OR OTHER SPECIAL ITEMS TO ADJUST, MAINTAIN, GAIN ACCESS TO, OR OTHERWISE OPERATE THE SYSTEM TO THE OWNER.

SUBMIT AN AS-BUILT DRAWING SHOWING THE LOCATION OF ALL IRRIGATION COMPONENTS TO THE OWNER AND LANDSCAPE ARCHITECT.

**PRELIMINARY**

File Name: L:\Projects\74000\74217\74217-Civil\CAD\Working\Sheets\74217-000\_L100-L108-L109.dwg  
 User: Peter Reich  
 CAD Plot Date/Time: 5/20/2022 10:42:24 AM  
 Layout Tab: IRRIGATION DETAILS

PBS Engineering and  
 Environmental Inc.  
 4412 S Corbett Avenue  
 Portland, OR 97239  
 503.946.1939  
 pbsusa.com



IRRIGATION DETAILS FOR:  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON

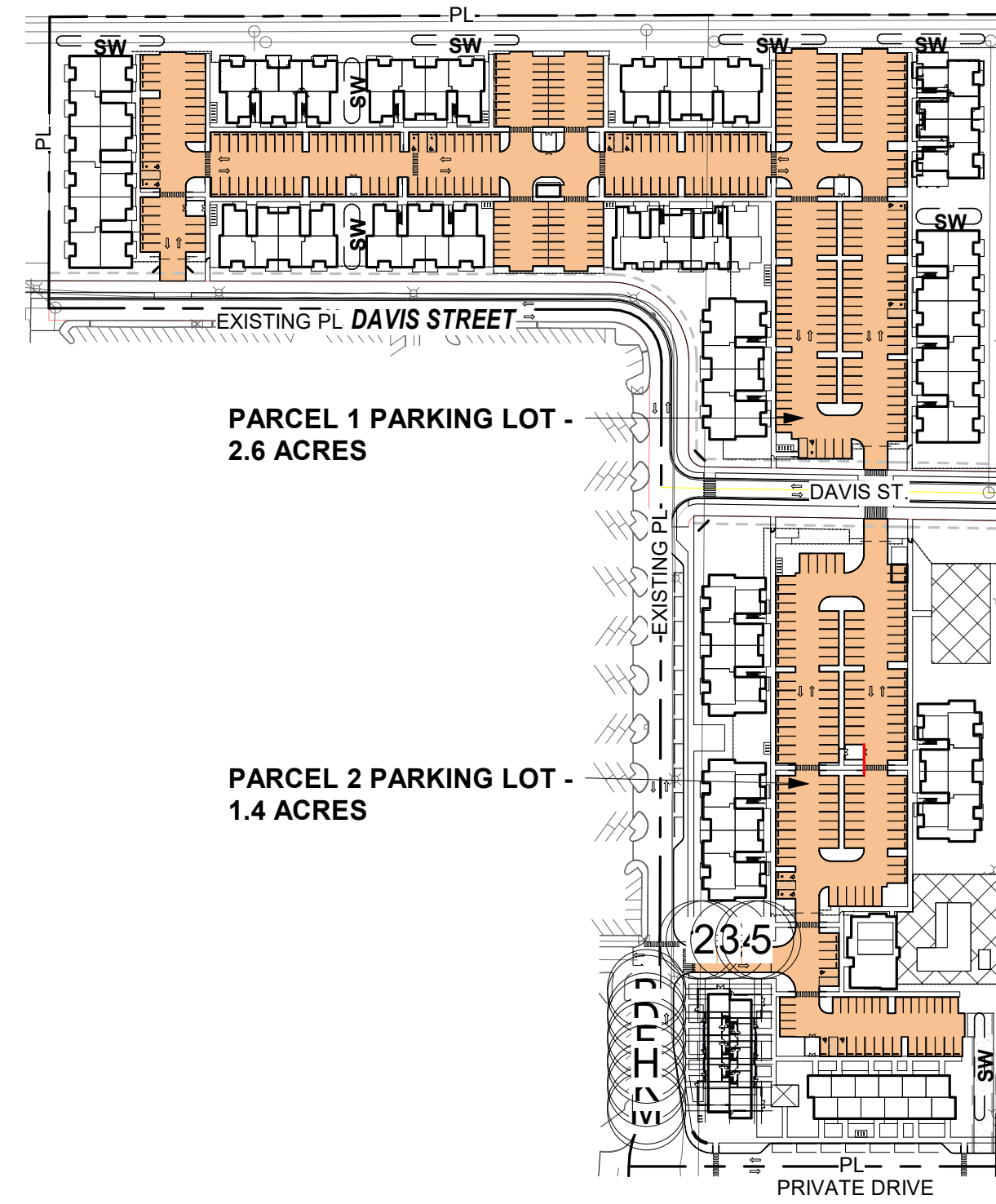


REGISTERED  
 682  
 REBECCA J WAHLSTROM  
 OREGON  
 11-30-2022  
 LANDSCAPE ARCHITECT

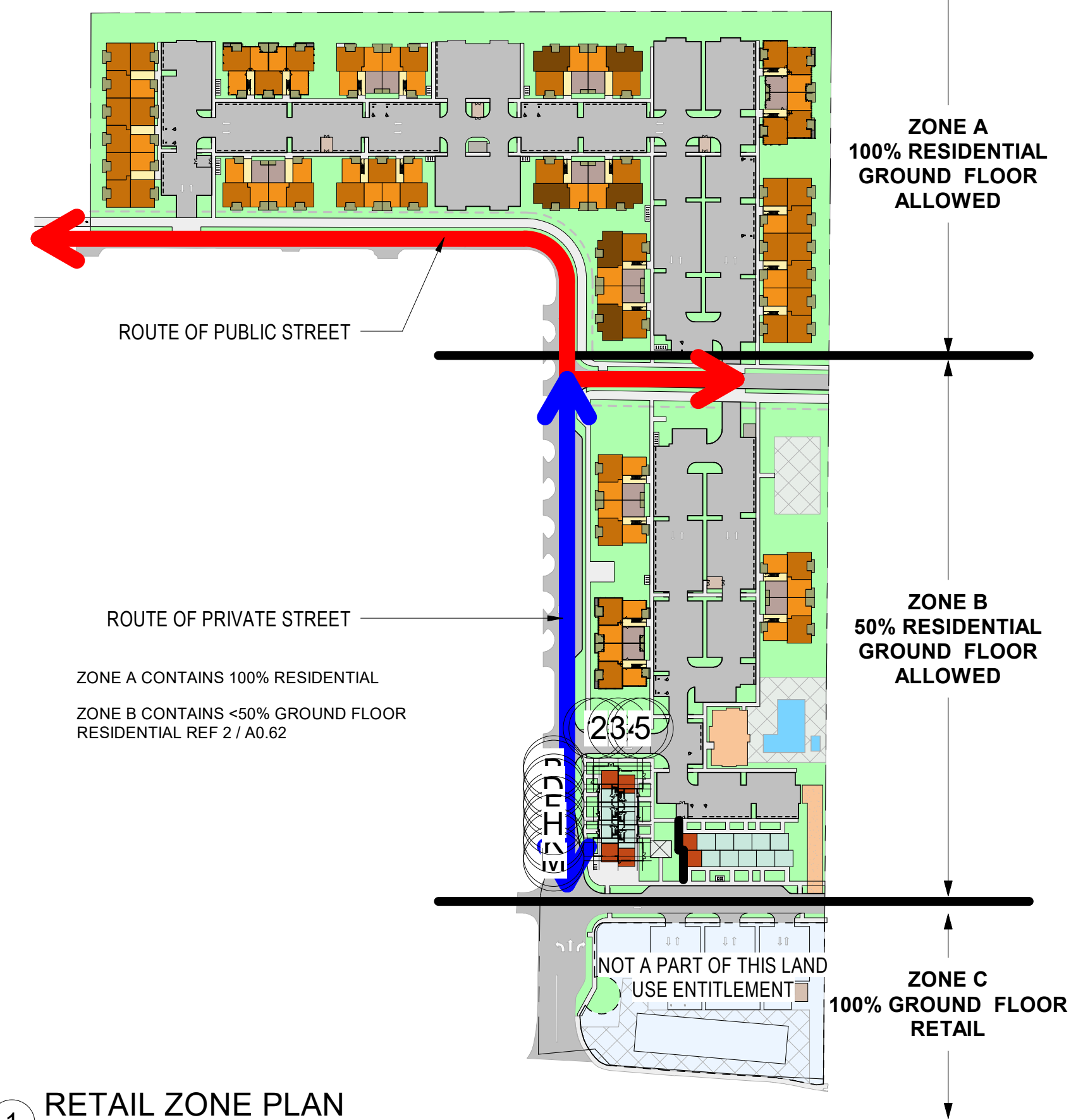
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 OAG  
 CHECKED:  
 RJW  
 MAY 20, 2022  
 74217.000

SHEET ID  
**L110**  
 SHEET 37 OF 37

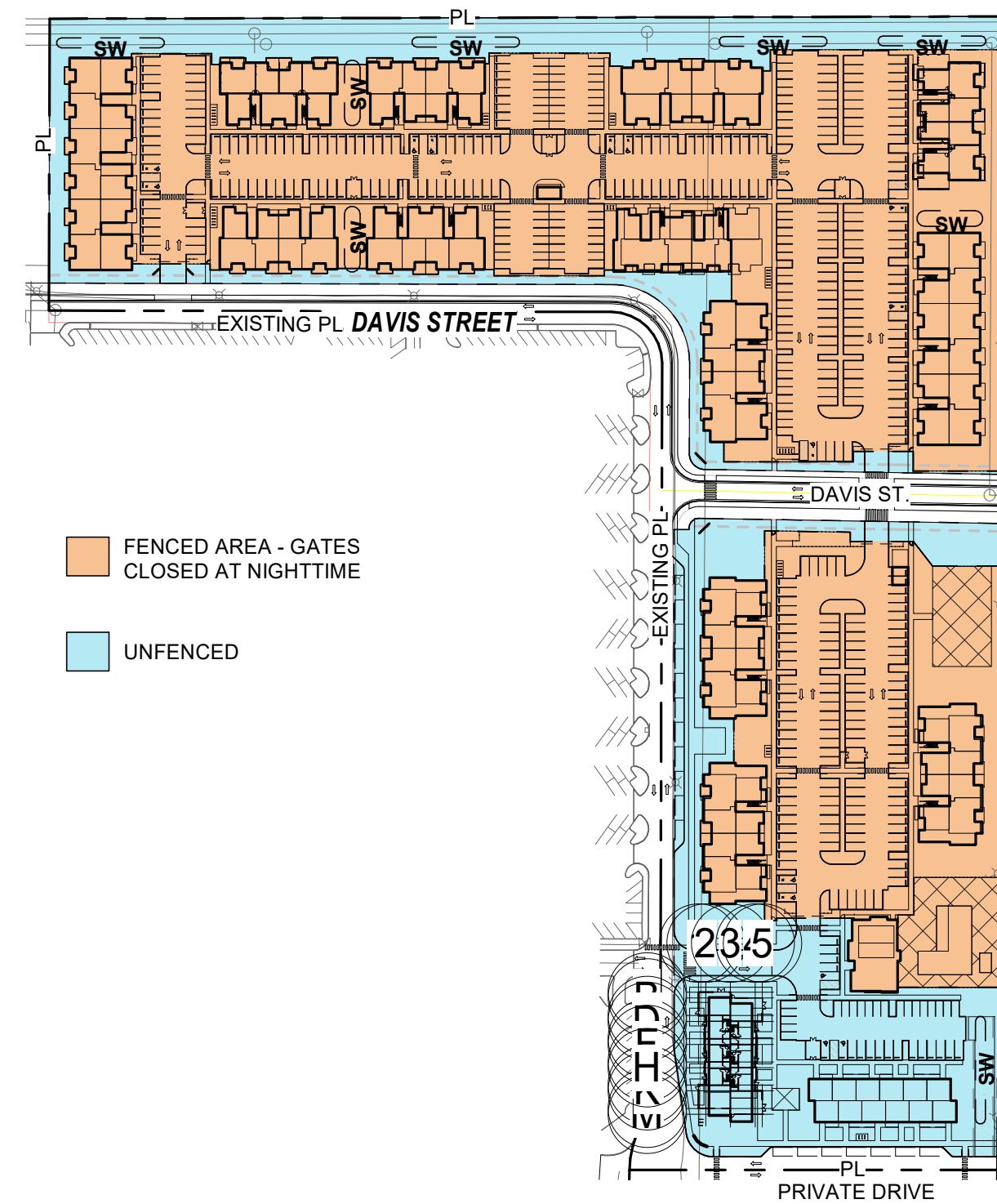




3 PARKING LOT AREAS BY PARCEL  
1" = 160'-0" @ FULL SIZE



1 RETAIL ZONE PLAN  
1" = 160'-0" @ FULL SIZE



4 FENCED SITE AREA  
1" = 160'-0" @ FULL SIZE

LEGEND

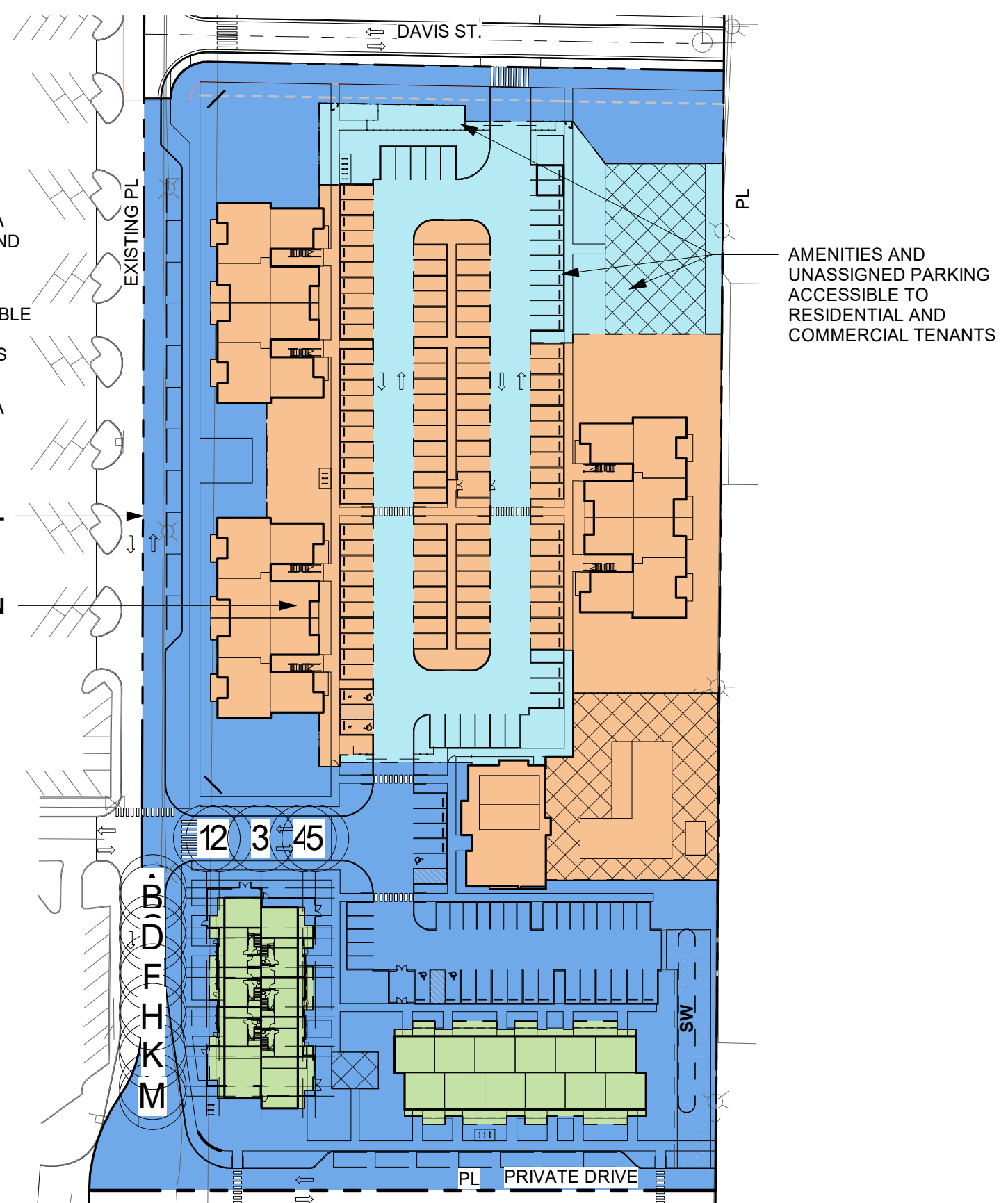
- GROUND FLOOR RESIDENTIAL AREA
- GROUND FLOOR COMMON AREA ACCESSIBLE TO RESIDENTIAL AND COMMERCIAL TENANTS
- GROUND FLOOR AREA ACCESSIBLE TO COMMERCIAL / BUSINESS TENANTS, CLIENTS, CUSTOMERS
- GROUND FLOOR COMMON AREA ACCESSIBLE TO PUBLIC

PARCEL 2 IN ZONE B - 230,426 SF

RESIDENTIAL AREA IN ZONE B - 79,002 SF < 50%

18.75.065 (1) IN SUBDISTRICT A, UP TO 100 PERCENT OF A LOT OR MULTIPLE LOTS IF DEVELOPED CONCURRENTLY MAY BE DEVELOPED AS GROUND-FLOOR RESIDENTIAL USES, INCLUDING PARKING TO SERVE RESIDENTIAL USES.

18.75.065 (2) IN SUBDISTRICT B, UP TO 50 PERCENT OF A LOT OR MULTIPLE LOTS IF DEVELOPED CONCURRENTLY MAY BE DEVELOPED AS GROUND-FLOOR RESIDENTIAL USES, INCLUDING PARKING TO SERVE RESIDENTIAL USES.



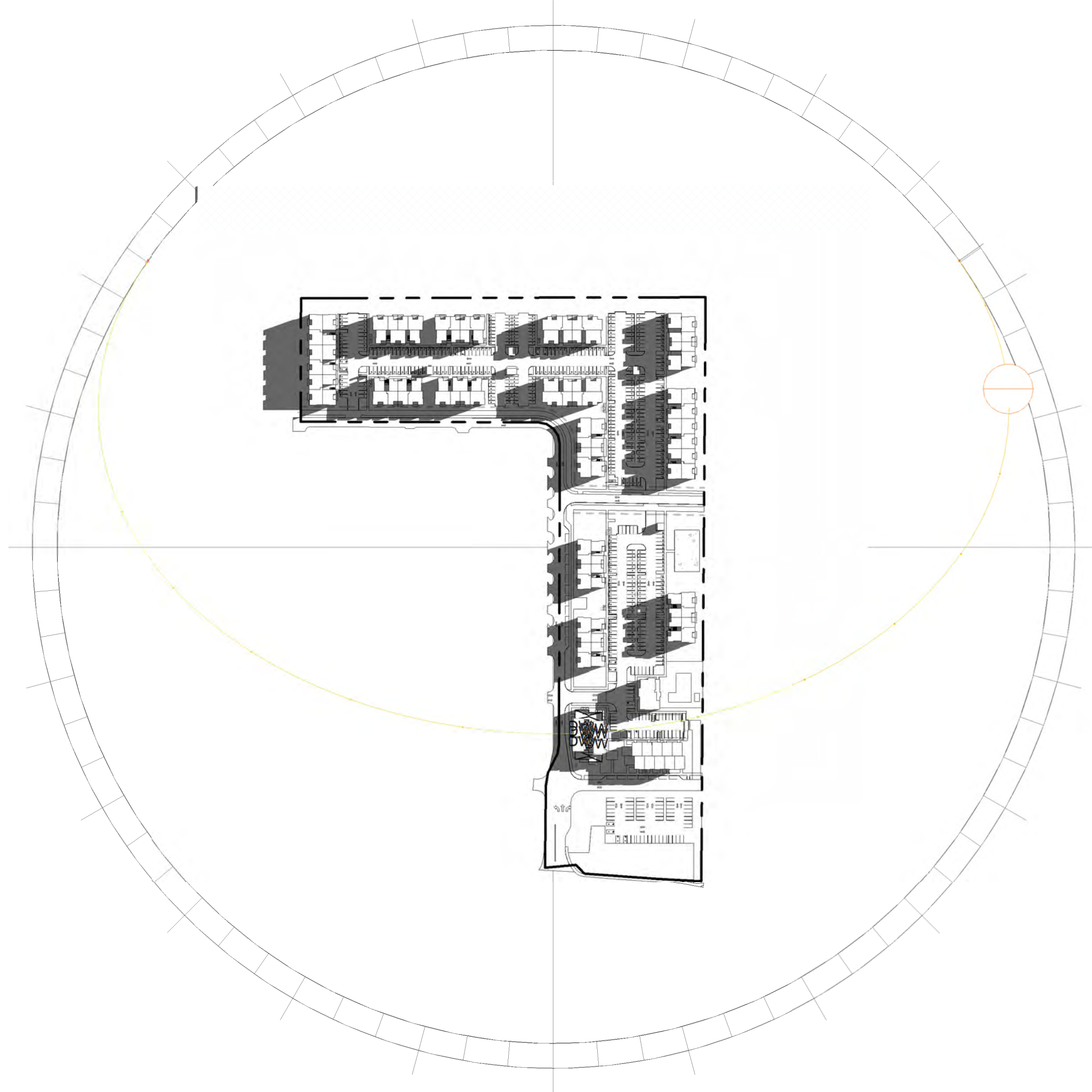
2 ZONE B RESIDENTIAL V NON-RESIDENTIAL DIAGRAM  
1" = 80'-0" @ FULL SIZE

DRAWING REVISIONS	
#	Description

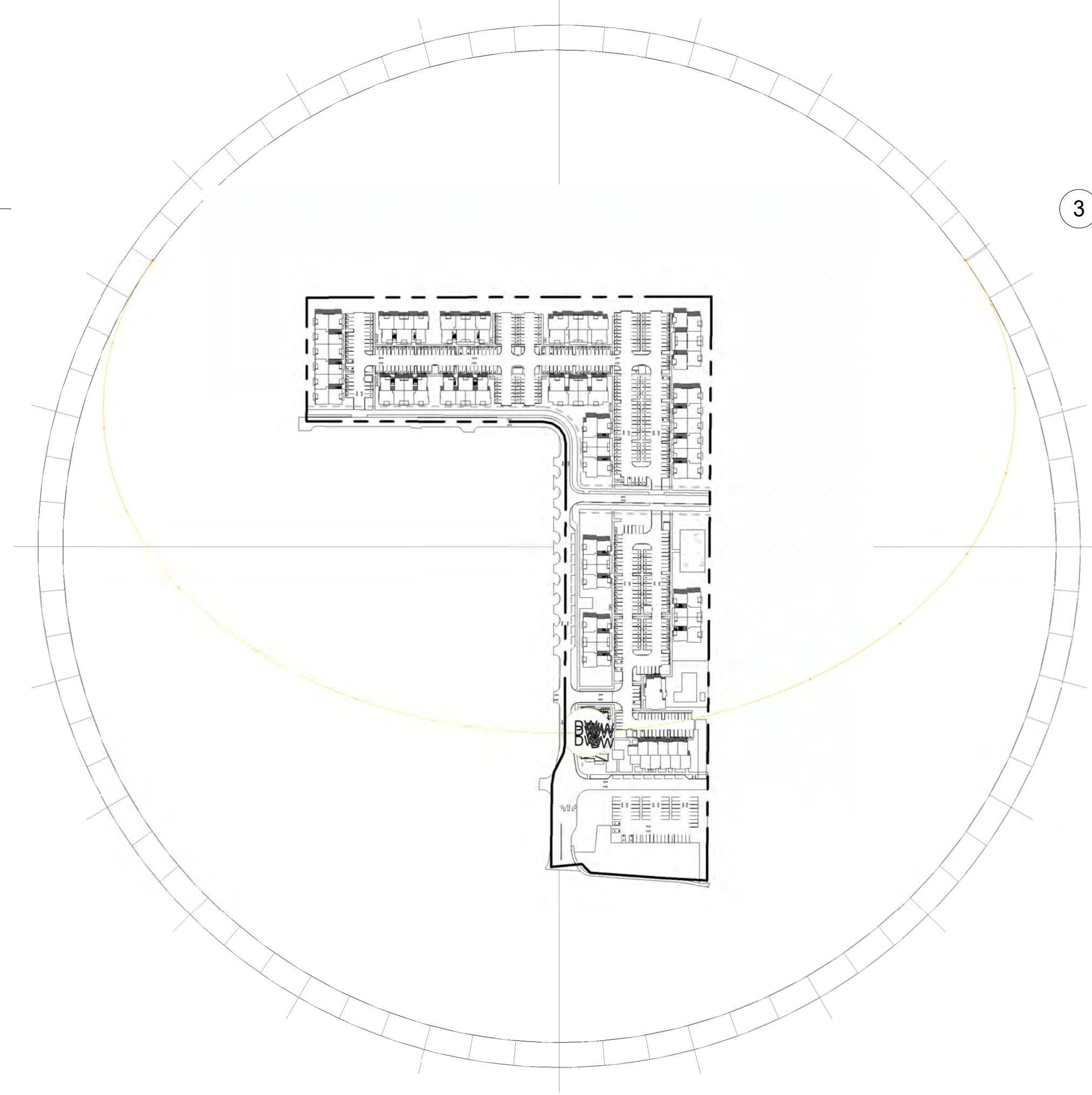
CORNELIUS MULTIFAMILY  
CALIDA RESIDENTIAL, LLC  
LAND USE SUBMITTAL

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Date: 03/10/2022	Drawn By: Author
Revised: 05/20/2020	Project No. 021112

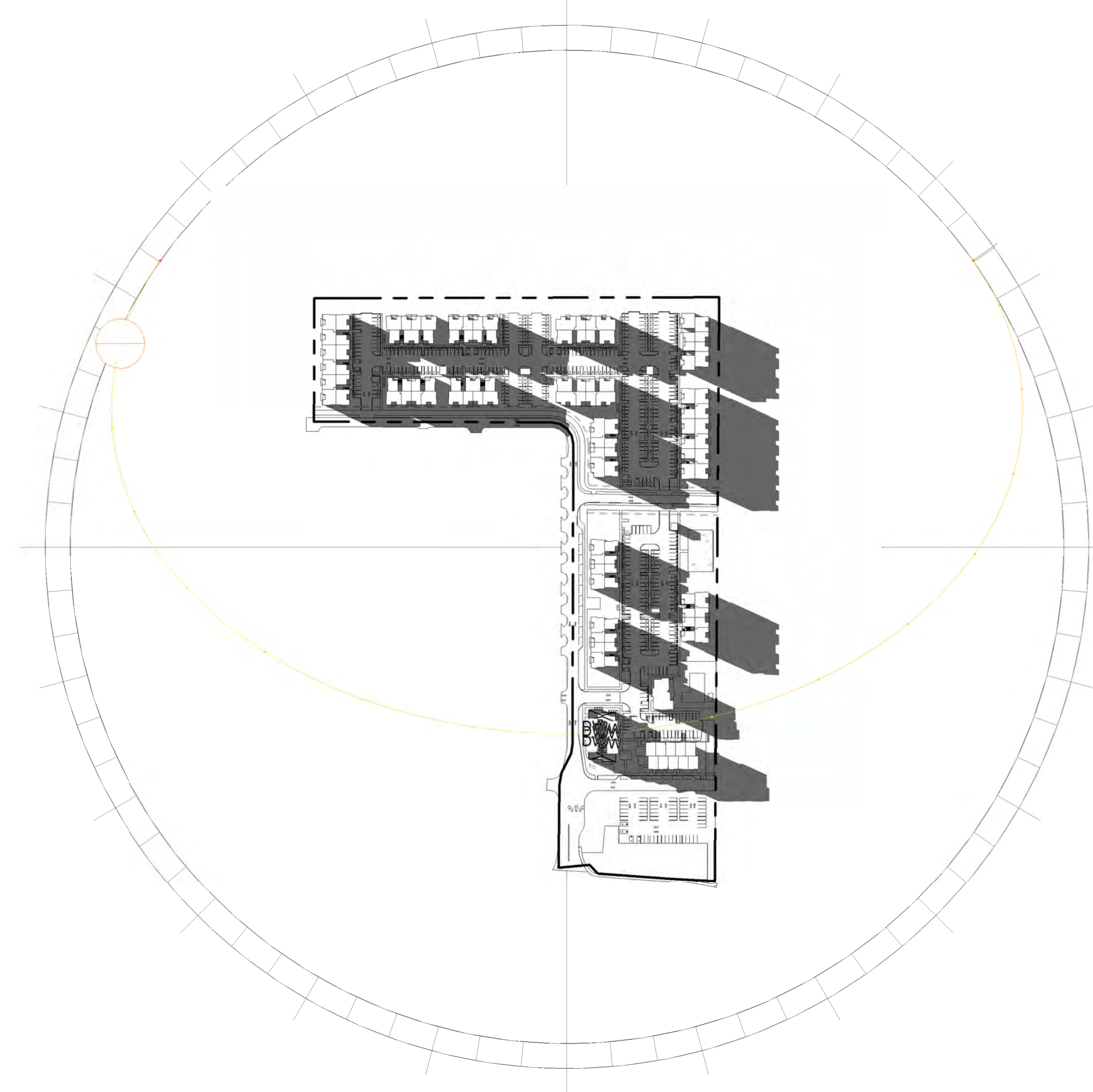




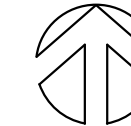
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1:3000@ FULL SIZE



2 SOLAR ACCESS STUDY - JUNE (1200)  
1:3000@ FULL SIZE



3 SOLAR ACCESS STUDY - JUNE (1900)  
1:3000@ FULL SIZE



Sheet No.

**A0.61**

Drawing Title:  
**SOLAR ACCESS STUDY -  
SUMMER**

Date: 03/10/2022  
Drawn By: AAE

Revised: 05/20/2020  
Project No. 021112

**CORNELIUS MULTIFAMILY**

CALIDA RESIDENTIAL, LLC

**LAND USE SUBMITTAL**

DRAWING REVISIONS

#	Date	Description

Stamp

**BLRB architects**

TACOMA | SPOKANE | PORTLAND | BEND

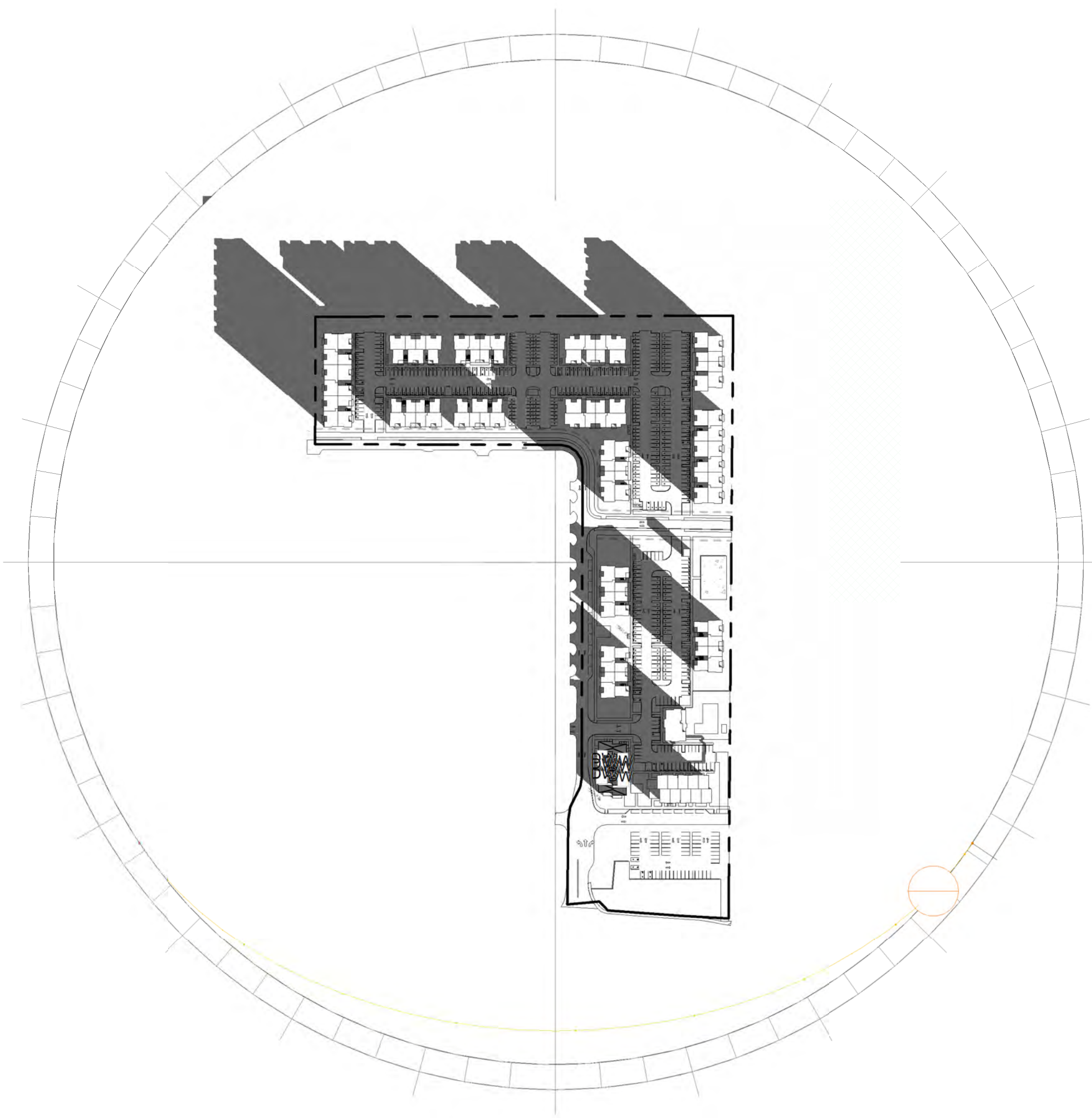
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253.627.5599

505 W Riverside  
Spokane, WA 99201  
509.252.5090

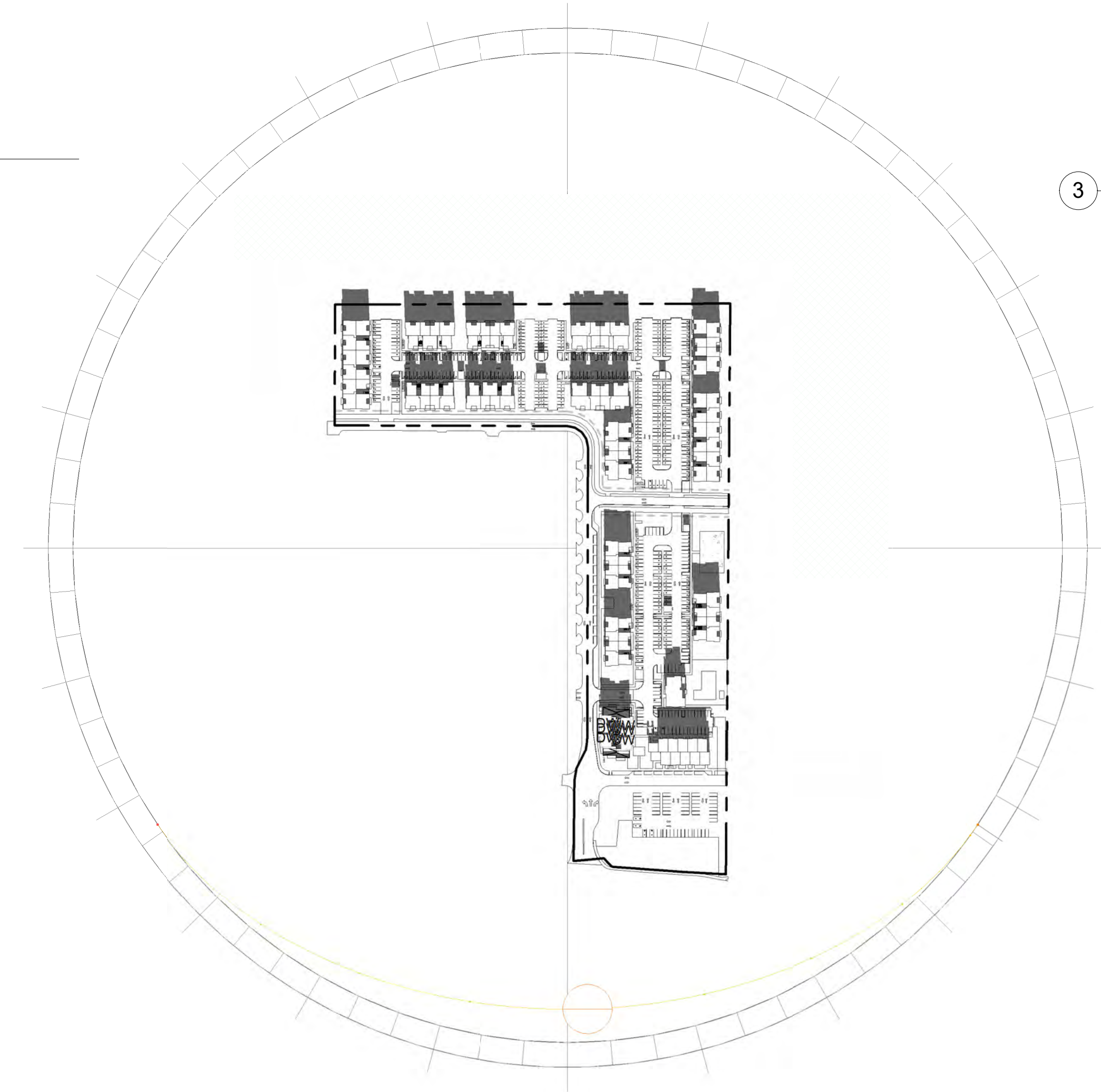
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Portland, OR 97205  
503.595.0270

721 SW Industrial  
Bend, OR 97702  
541.330.6906

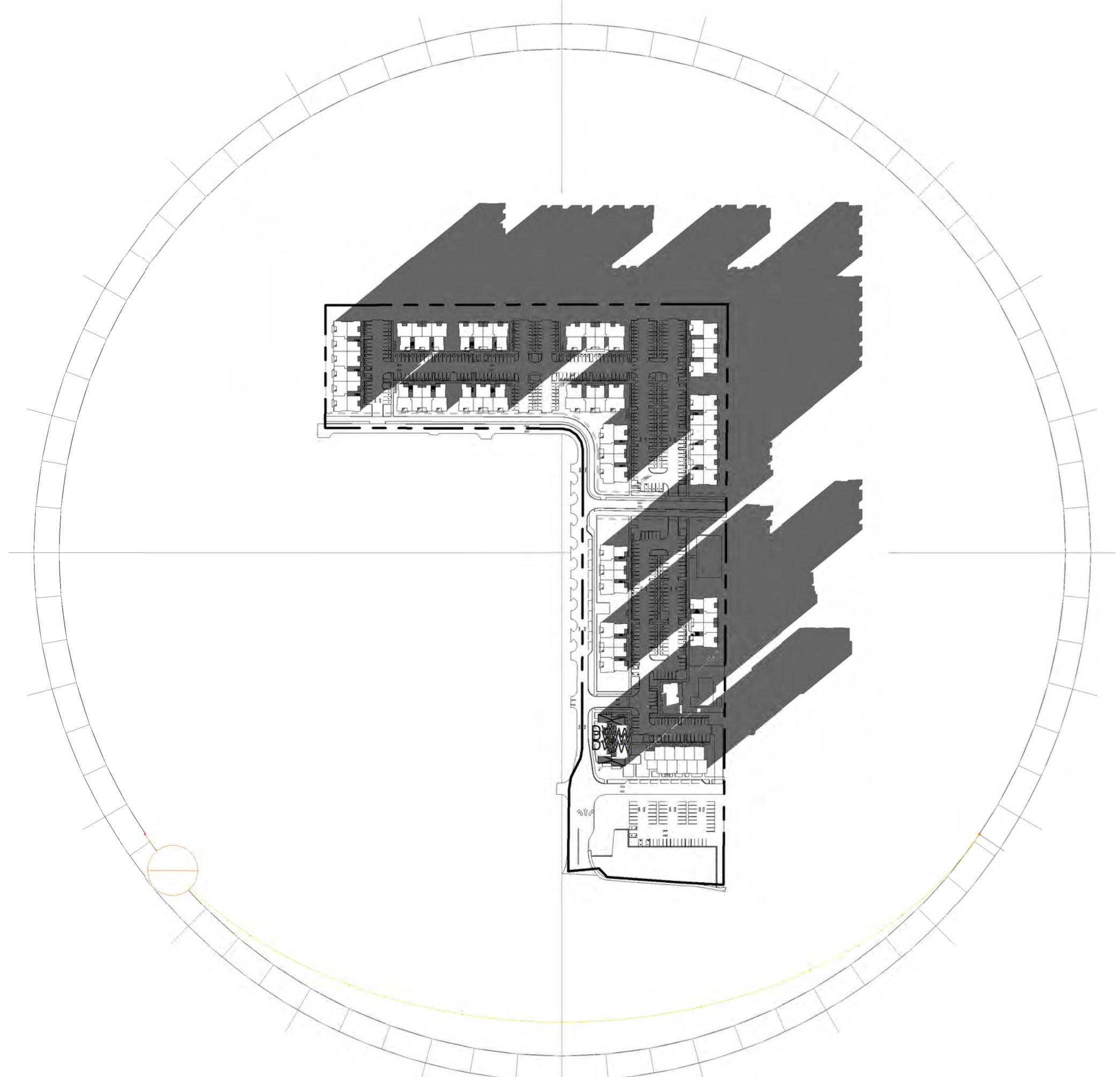




1 SOLAR ACCESS STUDY - DECEMBER (0800)  
1 : 3000@ FULL SIZE



2 SOLAR ACCESS STUDY - DECEMBER (1200)  
1 : 3000@ FULL SIZE



3 SOLAR ACCESS STUDY - DECEMBER (1600)  
1 : 3000@ FULL SIZE



Sheet No.

A0.62

Drawing Title:  
**SOLAR ACCESS STUDY - WINTER**

Date : 03/10/2022  
Revised : 05/20/2020

Drawn By : Author  
Project No. 021112

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Stamp

DRAWING REVISIONS

#	Date	Description

**BLRB architects**

TACOMA | SPOKANE | PORTLAND | BEND

1250 Pacific Ave  
TACOMA, WA 98402  
253.627.5599

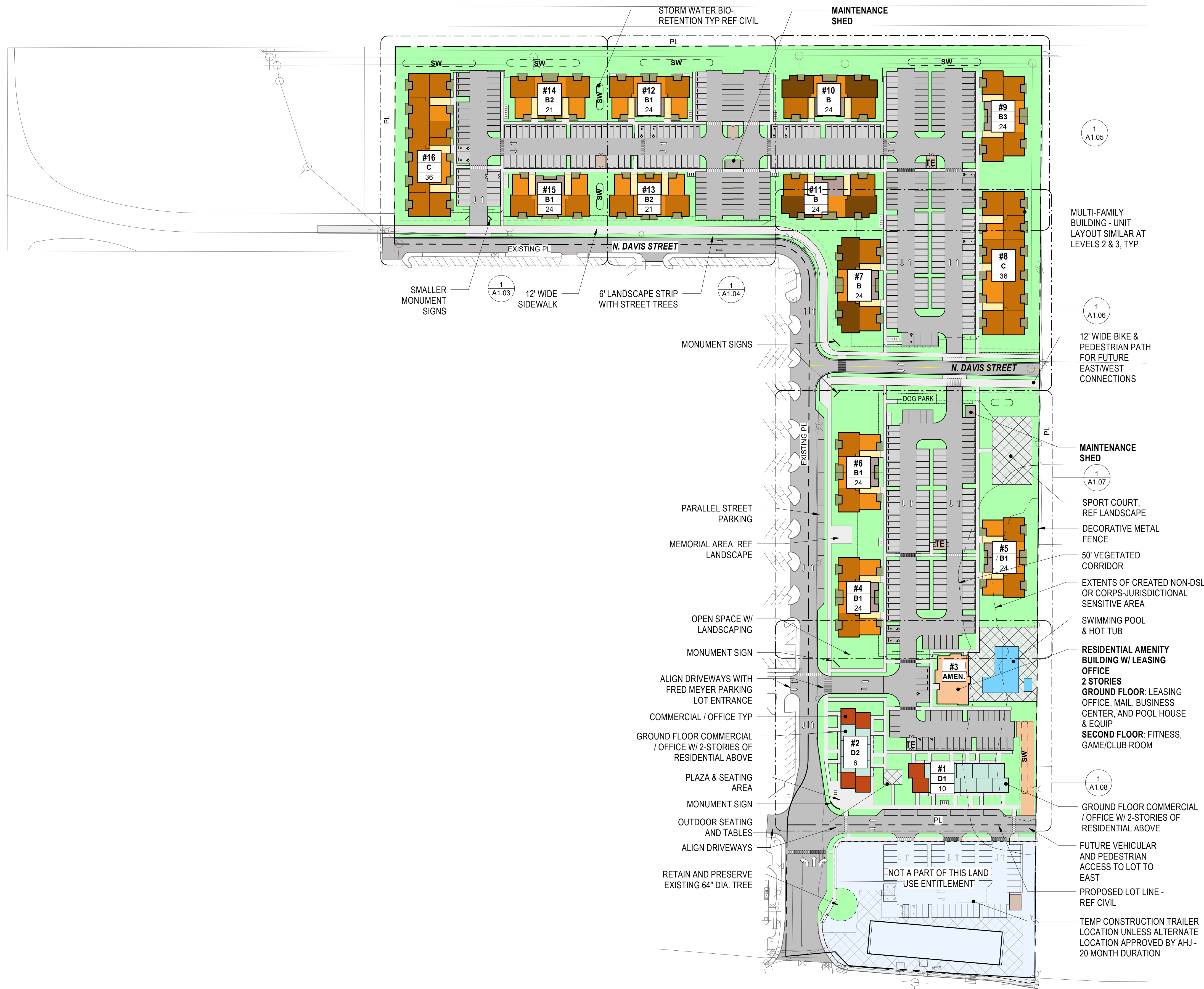
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509.252.5090

621 SW Morrison St.  
PORTLAND, OR 97205  
503.595.0270

721 SW Industrial  
BEND, OR 97702  
541.330.6906



5/20/2022 11:55:23 AM



**1 OVERALL SITE PLAN**  
 1" = 80'-0" @ FULL SIZE

**SITE PLAN GENERAL NOTES**

- A. SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED TO THE FOLLOWING REQUIREMENTS:
  - MAXIMUM CROSS SLOPE OF SIDEWALKS & LANDINGS: 1:50
  - MAXIMUM SLOPE OF SIDEWALKS 1:20
  - MAXIMUM SLOPE OF RAMPS: 1:12
  - MAXIMUM SLOPE OF DISABLED PARKING STALLS: 2% IN ANY DIRECTION
  - 2% MAXIMUM SLOPE FOR 5'-0" IN DIRECTION OF TRAVEL AT ALL BUILDING ENTRANCES.
- B. LIMITS OF WORK: THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS.
- C. STAGING AREA: THE CONTRACTOR AND SUBCONTRACTORS SHALL LIMIT STORAGE OF MATERIALS AND PORTABLE FIELD OFFICES WITHIN THE AREAS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- D. GENERAL CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR DISRUPT EXISTING UTILITIES, INCLUDING DRAINS, WHILE EXCAVATING OR GRADING DURING CONSTRUCTION. CONFIRM LOCATION OF EXISTING UTILITIES ON ADJACENT PROPERTIES.
- E. PRIOR TO START OF WORK THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE GOVERNING AUTHORITY IN VERIFYING THE LOCATION (INVERT ELEVATIONS, HORIZONTAL CONTROLS, EASEMENTS) OF EXISTING SANITARY AND STORM SEWER, WATER, NATURAL GAS, ELECTRICAL, FIBER OPTIC, TELEPHONE, OVERHEAD POWER LINES AND OTHER UTILITY SYSTEMS, BOTH ONSITE AND OFFSITE. THE CONTRACTOR SHALL COMPARE UTILITY INFORMATION WITH THE CONTRACT DOCUMENTS. IF A CONSTRUCTION CONFLICT IS DISCOVERED BETWEEN THE UTILITY INFORMATION OBTAINED AND THE CONTRACT DOCUMENTS NOTIFY THE ARCHITECT IMMEDIATELY.
- F. EMERGENCY VEHICLE ACCESS: THE CONTRACTOR SHALL MAINTAIN FIRE TRUCK ACCESS TO THE SITE THROUGHOUT THE CONSTRUCTION PROCESS UNLESS AN ALTERNATE PLAN IS APPROVED BY THE FIRE DEPARTMENT.

**LEGEND**

- COMMERCIAL SPACE
- COMMERCIAL: LIVE-WORK - GROUND FLOOR / OFFICE W/ 2-BEDROOM RESIDENTIAL ABOVE
- RESIDENT AMENITIES: LEASING, FITNESS, ETC.
- STUDIO APARTMENT UNIT
- 1-BEDROOM APARTMENT UNIT
- 2-BEDROOM APARTMENT UNIT
- 3-BEDROOM APARTMENT UNIT
- BALCONY OR PATIO
- CORRIDOR/STAIR
- MAINTENANCE BUILDING
- TRASH ENCLOSURE (TE)
- LANDSCAPE AREA
- PLAZA, POOL DECK, SPORT COURT AND SIMILAR HARDSCAPED AREAS
- POOL, HOT TUB, OR OTHER WATER FEATURE
- SIDEWALK
- PRIVATE OR PUBLIC DRIVEWAYS, ROADS, ETC.
- CARPORT/ COVERED PARKING
- FENCE OR GATE
- LINE OF STORMWATER (SW) AREA
- PROPERTY LINE
- |    |                 |
|----|-----------------|
| #2 | BUILDING NUMBER |
| B  | BUILDING TYPE   |
| 24 | # UNITS         |

**ABBREVIATIONS**  
 SW STORMWATER  
 TE TRASH ENCLOSURE

**BLRB Architects**  
 TACOMA | SPOKANE | PORTLAND | BEND  
 1250 Pacific Ave | 505 W Riverside | 627 SW Morrison St | 721 SW Industrial  
 WA 98402 | WA 98201 | OR 97205 | OR 97102  
 253.627.5599 | 509.262.0090 | 503.595.0270 | 541.330.6906

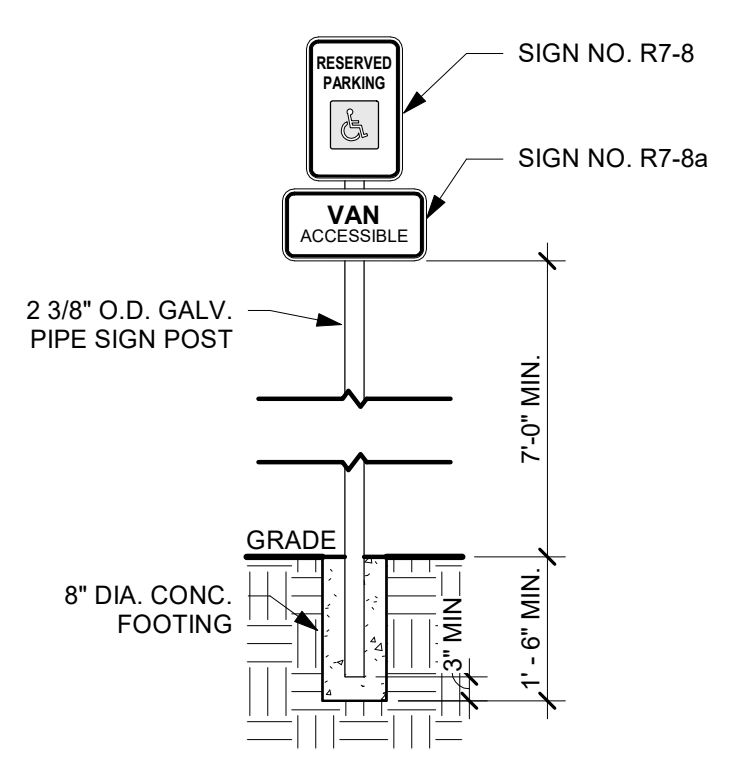
DRAWING REVISIONS	
#	Description

**CORNELIUS MULTIFAMILY**  
 CALIDA RESIDENTIAL, LLC  
**LAND USE SUBMITTAL**

<b>OVERALL SITE PLAN</b>	
Drawn By: <b>Author</b>	Project No: <b>021112</b>
Date: <b>03/10/2022</b>	Revised: <b>05/20/2020</b>

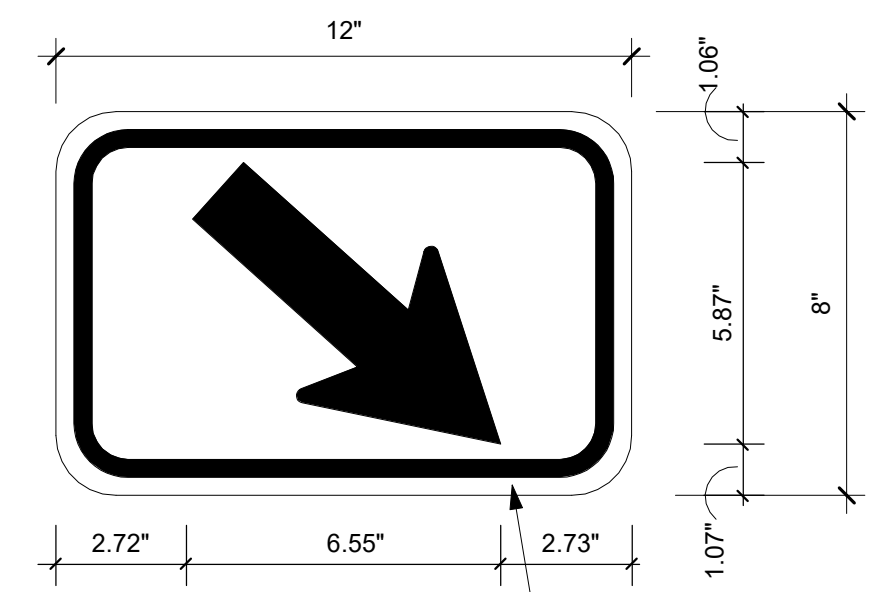
Sheet No. **A1.01**





**NOTE:**  
Post-mounted signs shall be installed with a vertical clearance of 7' (±3") between the bottom of the sign to the ground line. If more than one sign is required for an accessible parking space, all signs shall be mounted on a single post except for the "ACCESS AISLE NO PARKING" and Arrow signs. When signs are mounted on buildings or piers, a vertical clearance of 5' minimum shall be maintained between the bottom of the sign and the floor of the parking space. The sign(s) shall be laterally placed as shown in details on this sheet.

**10 VAN ACC. PARKING SIGN MOUNTING**  
1/2" = 1'-0" @ FULL SIZE



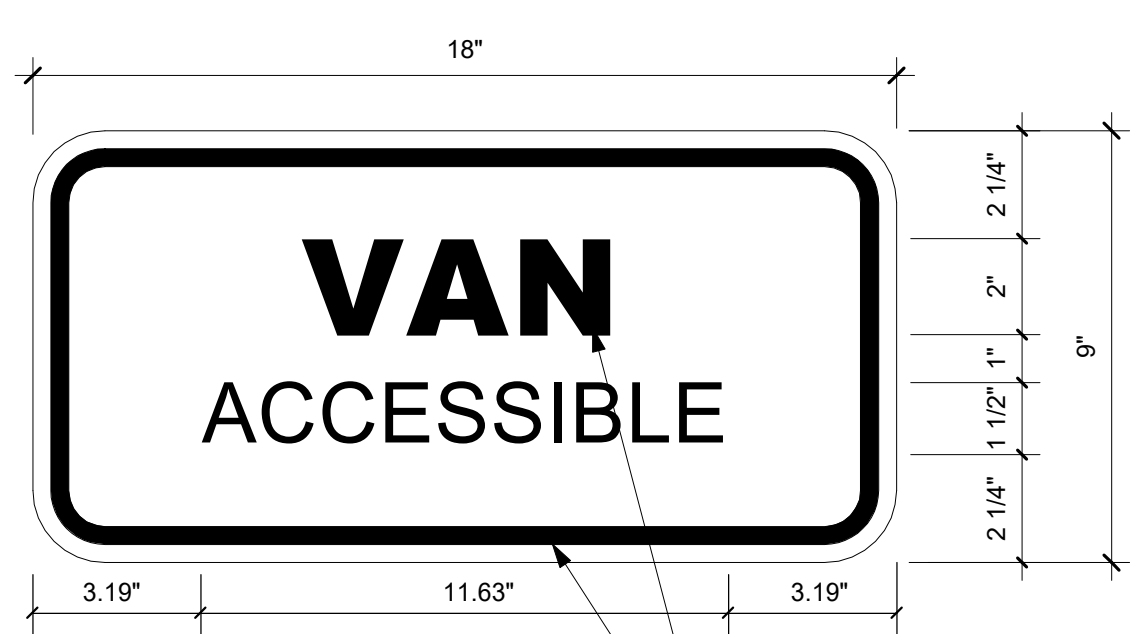
**SIGN DESIGN NO. R7-9a**  
PER THE STANDARDS FOR ACCESSIBLE PARKING PLACES BY THE OREGON TRANSPORTATION COMMISSION 2018

**BORDER:**  
CORNER RADIUS = 1.25", TYP.  
TH = 0.325"  
IN = 0.325"

**SIGN NOTES:**  
1. SIGN BACKGROUND IS TO BE WHITE, RETROREFLECTIVE SHEETING.  
2. SIGN LEGEND IS TO BE RED, RETROREFLECTIVE SHEETING.  
3. SIGN SYMBOL IS TO BE WHITE ON BLUE BACKGROUND, RETROREFLECTIVE SHEETING.

**NOTE:** USE WHEN BACK OF WALK DIRECTLY BEHIND ACCESS AISLE IS NOT AVAILABLE FOR SIGN PLACEMENT AND SIGN MUST BE PLACED TO ONE SIDE OF PEDESTRIAN ACCESS RAMP.

**5 ACCESSIBLE PARKING SIGN R7-9a**  
3" = 1'-0" @ FULL SIZE



**SIGN DESIGN NO. R7-8a**  
PER THE STANDARDS FOR ACCESSIBLE PARKING PLACES BY THE OREGON TRANSPORTATION COMMISSION 2018

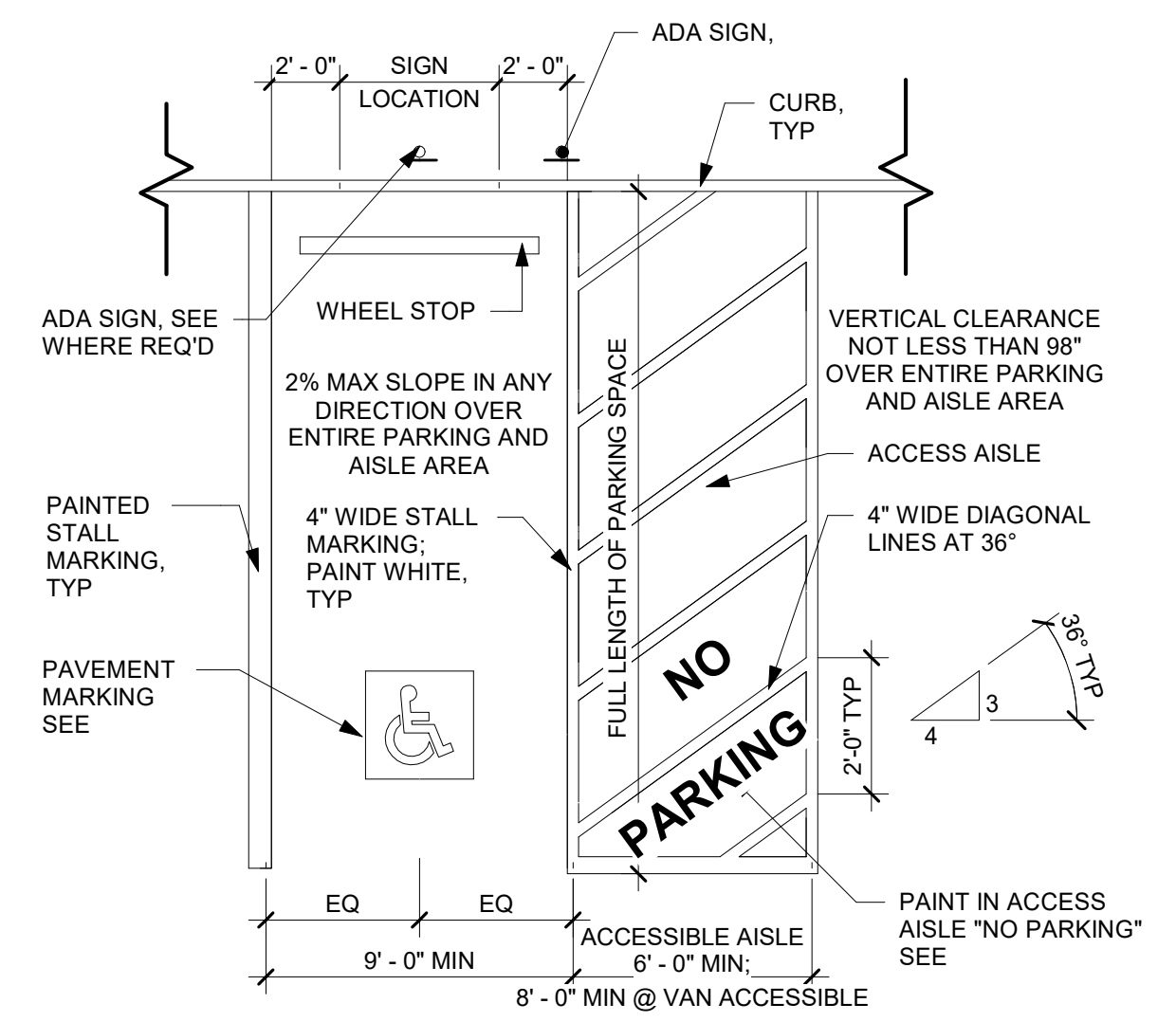
**TEXT = SERIES "D" LETTERING, TYP.**

**BORDER:**  
CORNER RADIUS = 1.5", TYP.  
TH = 0.438"  
IN = 0.325"

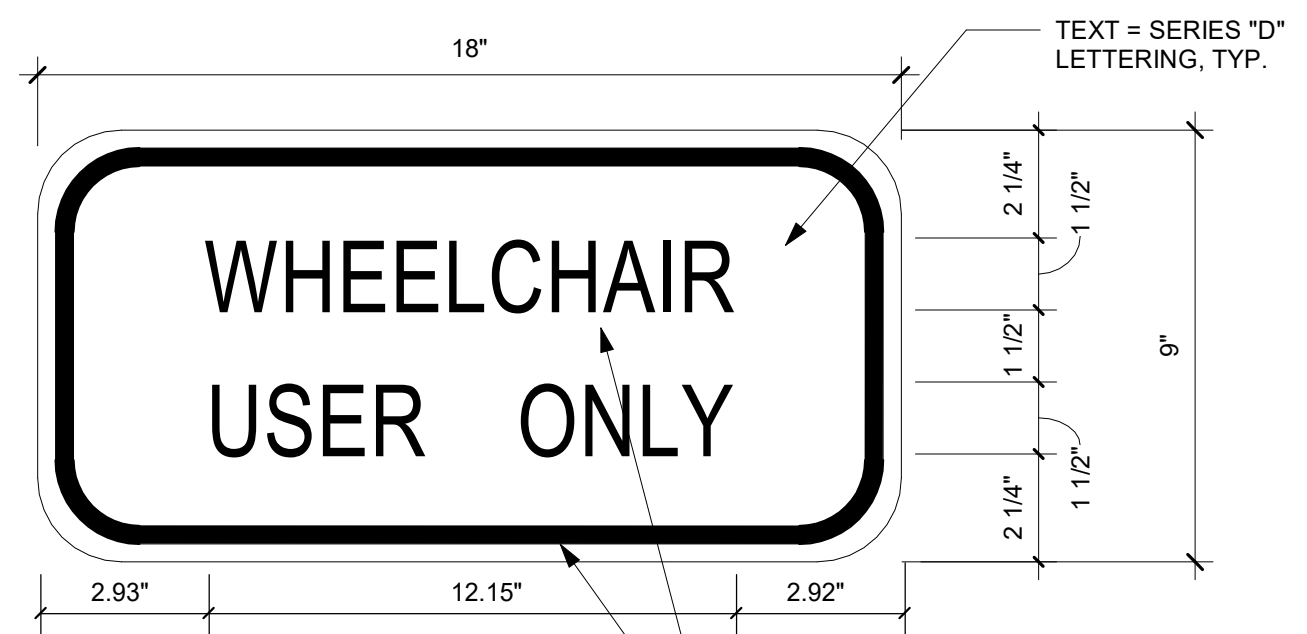
**SIGN NOTES:**  
1. SIGN BACKGROUND IS TO BE WHITE, RETROREFLECTIVE SHEETING.  
2. SIGN LEGEND IS TO BE GREEN, RETROREFLECTIVE SHEETING.

**NOTE:** THE VAN-ACCESSIBLE SIGN SHALL ONLY BE USED WITH SIGN R7-8 TO DESIGNATE THE PARKING SPACES THAT HAVE AN ACCESS AISLE 8 FT OR WIDER.

**8 ACCESSIBLE PARKING SIGN R7-8a**  
3" = 1'-0" @ FULL SIZE



**2 ADA PARKING STALL & ACCESS AISLE (NO VAN)**  
3/16" = 1'-0" @ FULL SIZE



**SIGN DESIGN NO. OR7-8c**  
PER THE STANDARDS FOR ACCESSIBLE PARKING PLACES BY THE OREGON TRANSPORTATION COMMISSION 2018

**TEXT = SERIES "D" LETTERING, TYP.**

**BORDER:**  
CORNER RADIUS = 1.5", TYP.  
TH = 0.438"  
IN = 0.325"

**SIGN NOTES:**  
1. SIGN BACKGROUND IS TO BE WHITE, RETROREFLECTIVE SHEETING.  
2. SIGN LEGEND IS TO BE GREEN, RETROREFLECTIVE SHEETING.

**NOTE:** THE WHEELCHAIR USER ONLY SIGN SHALL ONLY BE USED WITH THE DISABLED PERSON PARKING SIGN (R7-9) AND THE VAN ACCESSIBLE SIGN (R7-8a) TO DESIGNATE THE WHEELCHAIR USER ONLY SPACES AS DEFINED IN ORS 447.233.

**13 ACCESSIBLE PARKING SIGN OR7-8c**  
3" = 1'-0" @ FULL SIZE



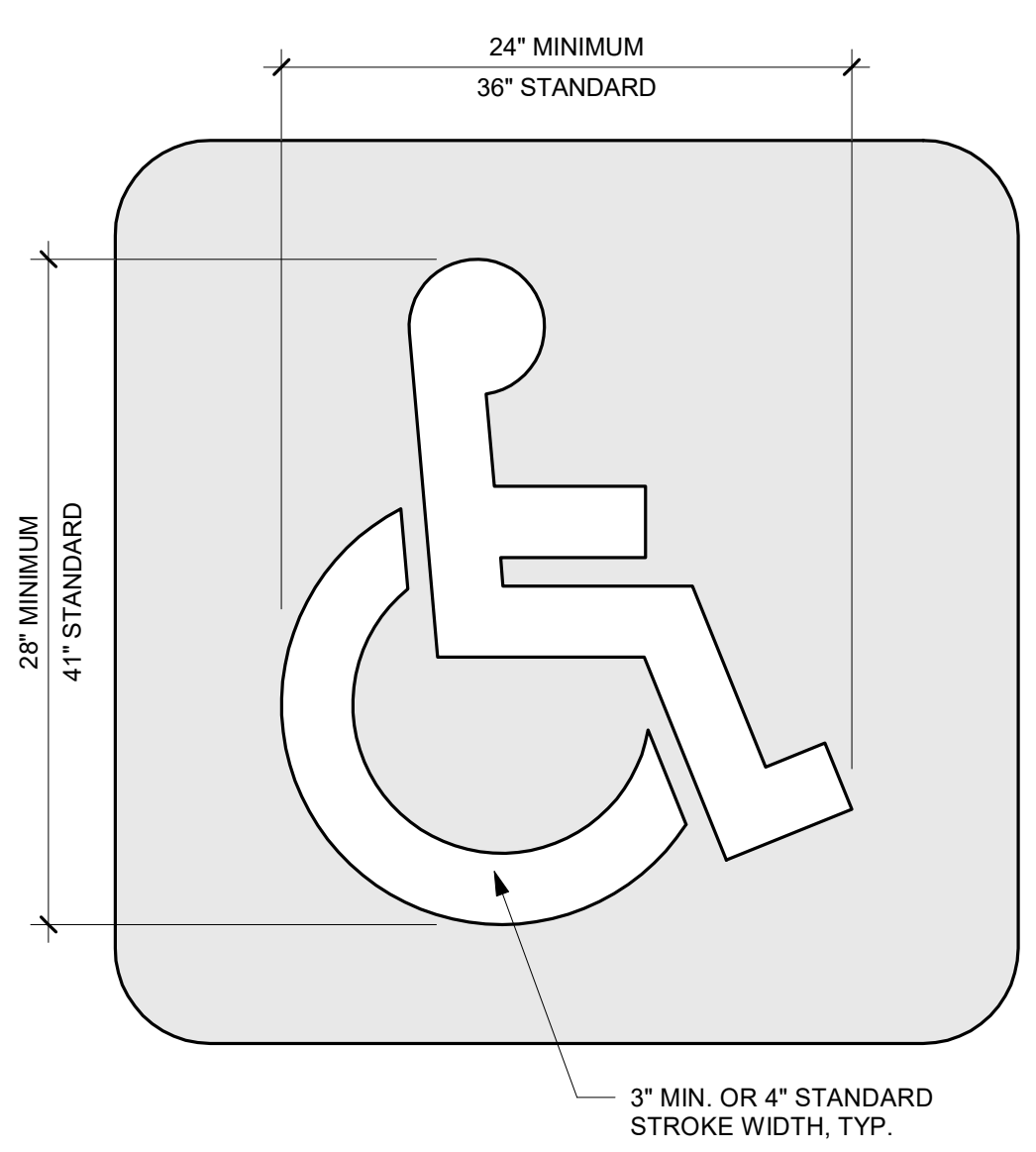
**PAVEMENT MARKING LEGEND**  
PER THE STANDARDS FOR ACCESSIBLE PARKING PLACES BY THE OREGON TRANSPORTATION COMMISSION 2018

**SIGN NOTES:**  
1. SIGN MARKING LEGEND IS TO BE WHITE OR YELLOW, RETROREFLECTIVE

**NOTE:** THE NO PARKING PAVEMENT MARKING IS USED TO DESIGNATE AN ACCESS AISLE RESERVED FOR PERSONS USE PARKING WITH A DMV PERMIT. THIS MARKING SHALL BE REQUIRED FOR ALL ACCESS AISLES NEXT TO ACCESSIBLE PARKING SPACES. ENGINEERING JUDGEMENT SHOULD BE USED FOR PLACEMENT LOCATION TO GIVE BEST VISUAL LOCATION TO PREVENT ILLEGAL USE OF ACCESS AISLE. YELLOW MAY BE USED INSTEAD OF WHITE TO INCREASE CONTRAST BETWEEN ACCESS AISLE WHITE LINES AND THE NO PARKING LEGEND.



**7 ADA SIGNAGE NO PARKING**  
3" = 1'-0" @ FULL SIZE



**PAVEMENT MARKING NOTES:**  
1. PAVEMENT MARKING BACKGROUND IS OPTIONAL. IF USED, IT IS TO BE BLUE, RETROREFLECTIVE.  
2. PAVEMENT MARKING STENCIL IS TO BE WHITE, RETROREFLECTIVE.

**NOTE:** THE PAVEMENT MARKING STENCIL SHALL BE USED TO DESIGNATE AN ACCESSIBLE PARKING AREA RESERVED FOR VEHICLES WITH DMV PERMITS.

**12 ACC. PARKING PAVEMENT MARKING STENCIL**  
1 1/2" = 1'-0" @ FULL SIZE



**SIGN DESIGN NO. R7-9**  
PER THE STANDARDS FOR ACCESSIBLE PARKING PLACES BY THE OREGON TRANSPORTATION COMMISSION 2018

**BORDER:**  
CORNER RADIUS = 1.5", TYP.  
TH = 0.375"  
IN = 0.375"

**SIGN NOTES:**  
1. SIGN BACKGROUND IS TO BE WHITE, RETROREFLECTIVE SHEETING.  
2. SIGN LEGEND IS TO BE RED, RETROREFLECTIVE SHEETING.  
3. SYMBOL IS TO BE WHITE ON BLUE BACKGROUND, RETROREFLECTIVE SHEETING.

**NOTE:** THE NO PARKING IN ACCESS AISLE SIGN IS USED TO DESIGNATE AN ACCESS AISLE RESERVED FOR PERSONS USE PARKING WITH DMV PERMIT. INSTALL SIGN IN LOCATIONS WHERE "NO PARKING" PAVEMENT MARKING MAY NOT BE VISIBLE REGULARLY FROM SNOW OR SAND. PLACE SIGN TO HAVE DIRECT VIEW FROM END OF ACCESS AISLE WHEN POSSIBLE OUTSIDE OF ACCESSIBLE ROUTE.

**6 ACCESSIBLE PARKING SIGN R7-9**  
3" = 1'-0" @ FULL SIZE



**SIGN DESIGN NO. R7-8**  
PER THE STANDARDS FOR ACCESSIBLE PARKING PLACES BY THE OREGON TRANSPORTATION COMMISSION 2018

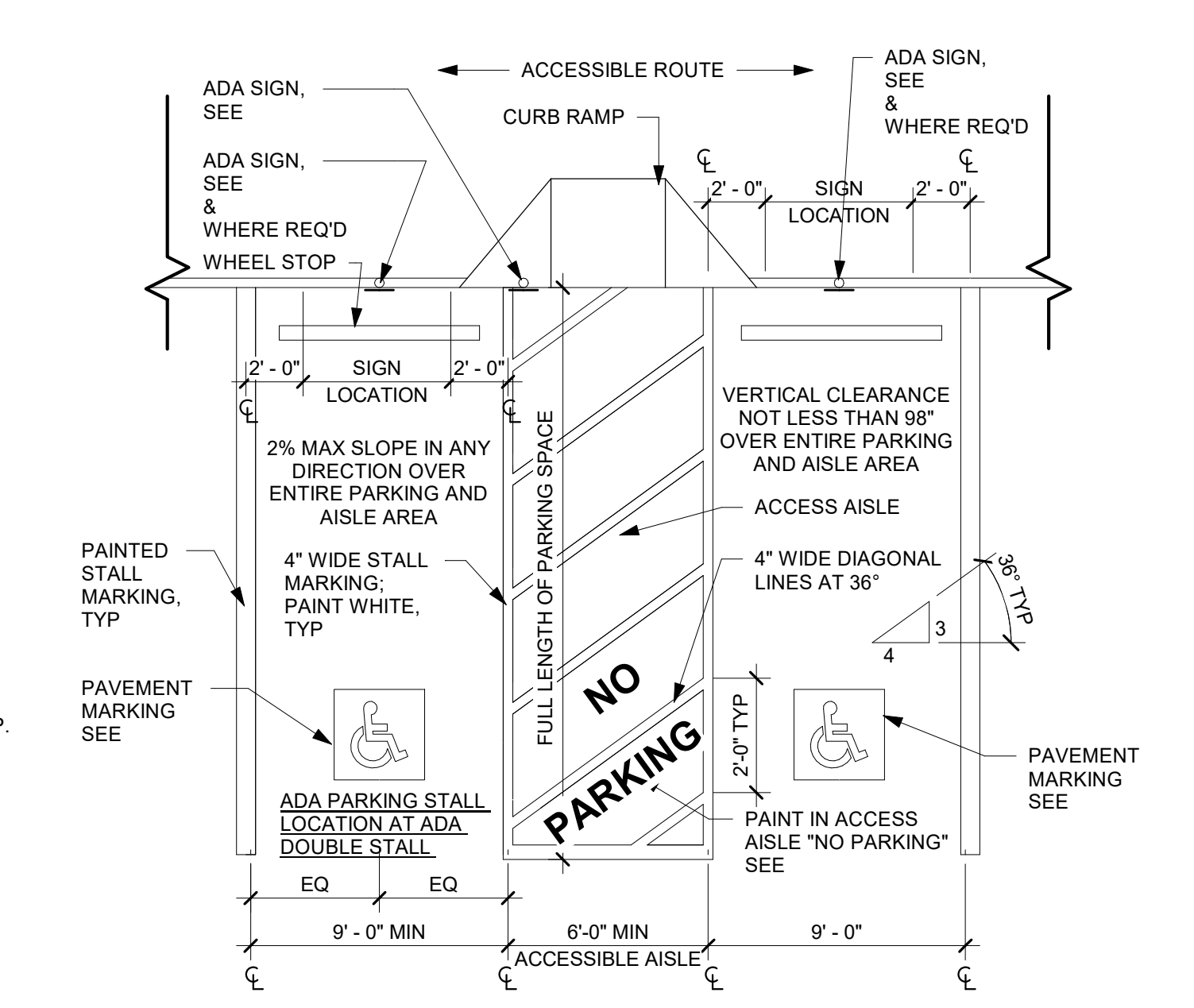
**BORDER:**  
CORNER RADIUS = 1.5", TYP.  
TH = 0.375"  
IN = 0.375"

**SIGN NOTES:**  
1. SIGN BACKGROUND IS TO BE WHITE, RETROREFLECTIVE SHEETING.  
2. SIGN LEGEND IS TO BE GREEN, RETROREFLECTIVE SHEETING.  
3. SYMBOL IS TO BE WHITE ON BLUE BACKGROUND, RETROREFLECTIVE SHEETING.

**NOTE:** THE ACCESSIBLE PERSON PARKING SIGN IS USED TO DESIGNATE A PARKING AREA RESERVED FOR VEHICLES WITH DMV PERMIT AS STATED.

**9 ACCESSIBLE PARKING SIGN R7-8**  
3" = 1'-0" @ FULL SIZE

**3 ADA DOUBLE PARKING STALL & ACCESS AISLE**  
3/16" = 1'-0" @ FULL SIZE



**4 ADA DOUBLE PARKING STALL & ACCESS AISLE (NO VAN)**  
3/16" = 1'-0" @ FULL SIZE

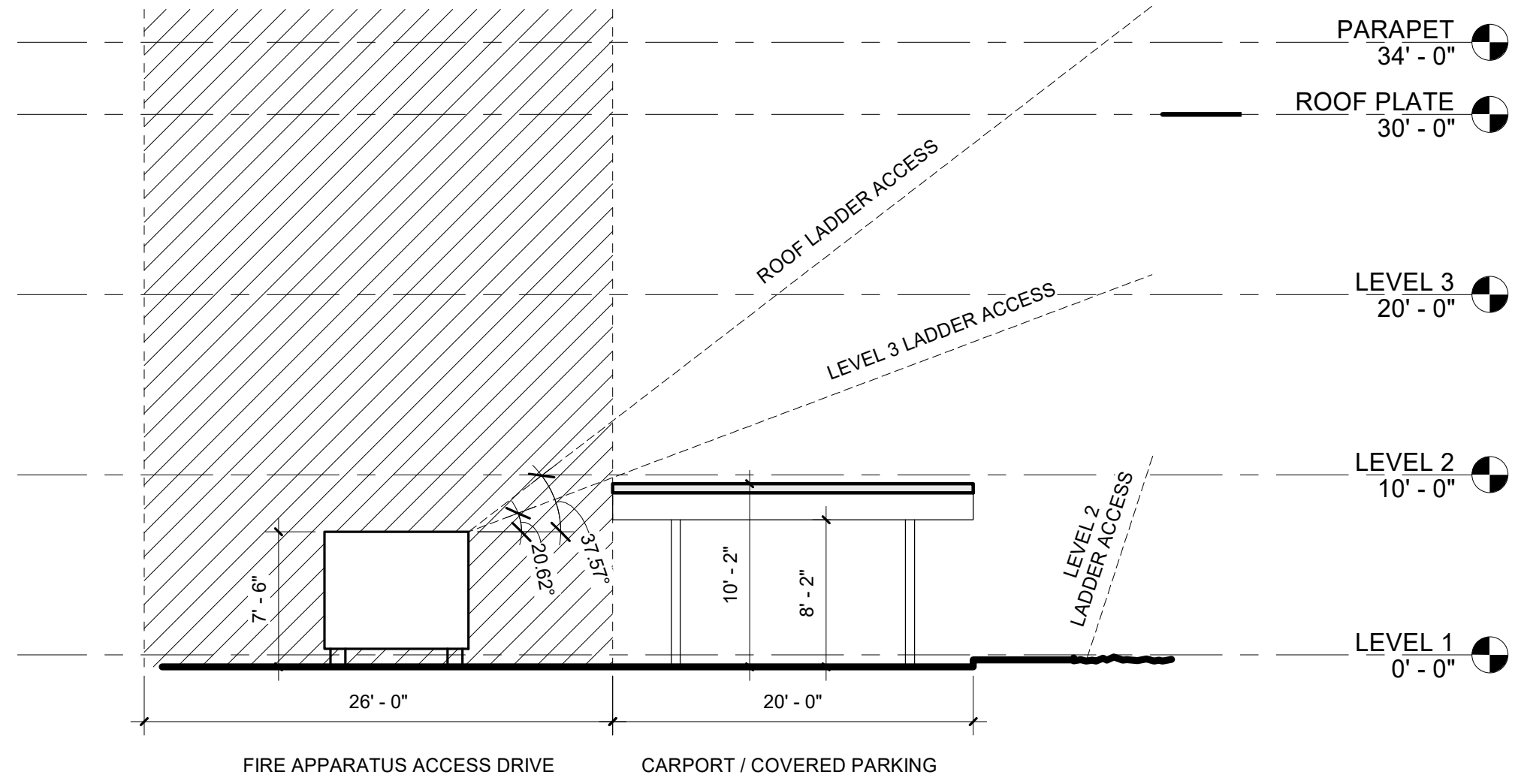
DRAWING REVISIONS	
#	Description

**CORNELIUS MULTIFAMILY**  
CALIDA RESIDENTIAL, LLC  
LAND USE SUBMITTAL

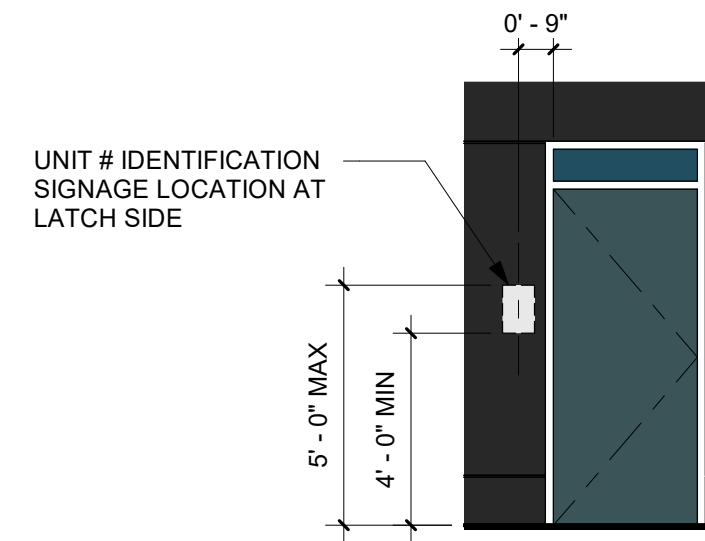
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Drawing Title:	
Date:	03/10/2022
Drawn By:	BT
Project No.:	021112
Revised:	09/20/2020



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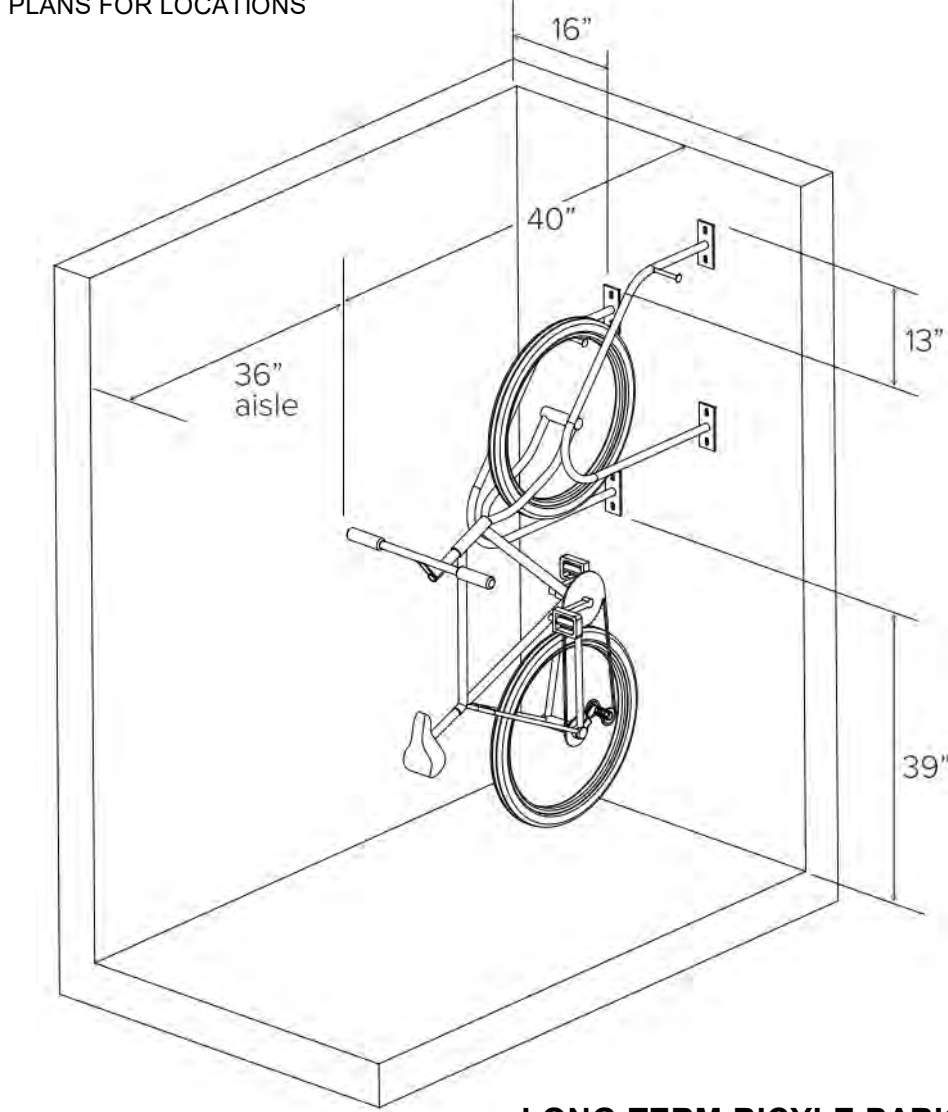


**8 LADDER TRUCK ACCESS AT CARPORTS**  
1/8" = 1'-0" @ FULL SIZE

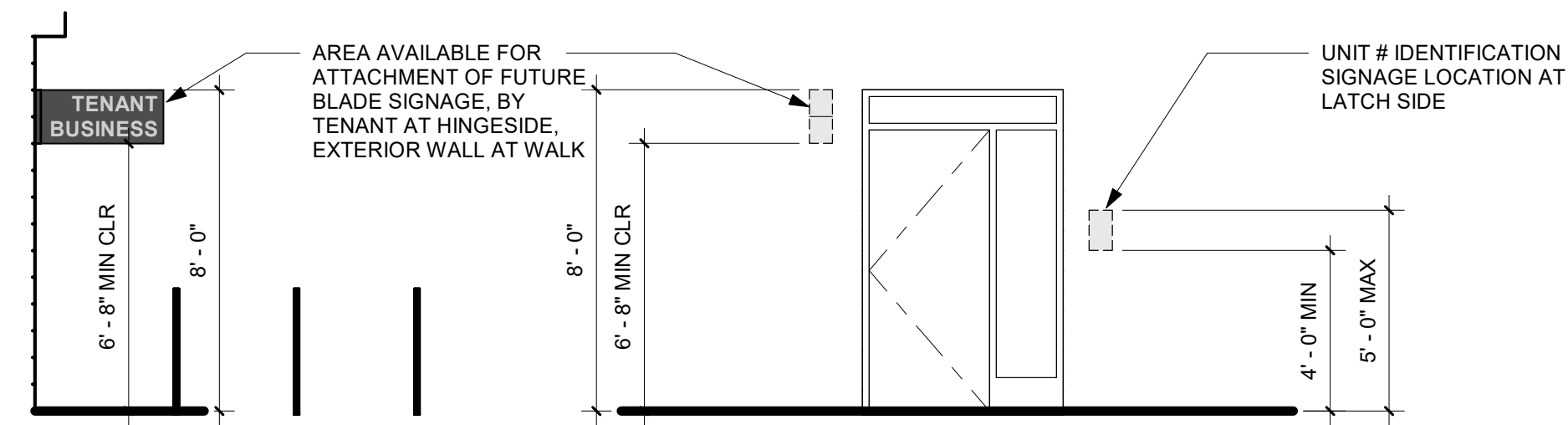


**2 RESIDENTIAL UNIT IDENTIFICATION**  
1/4" = 1'-0" @ FULL SIZE

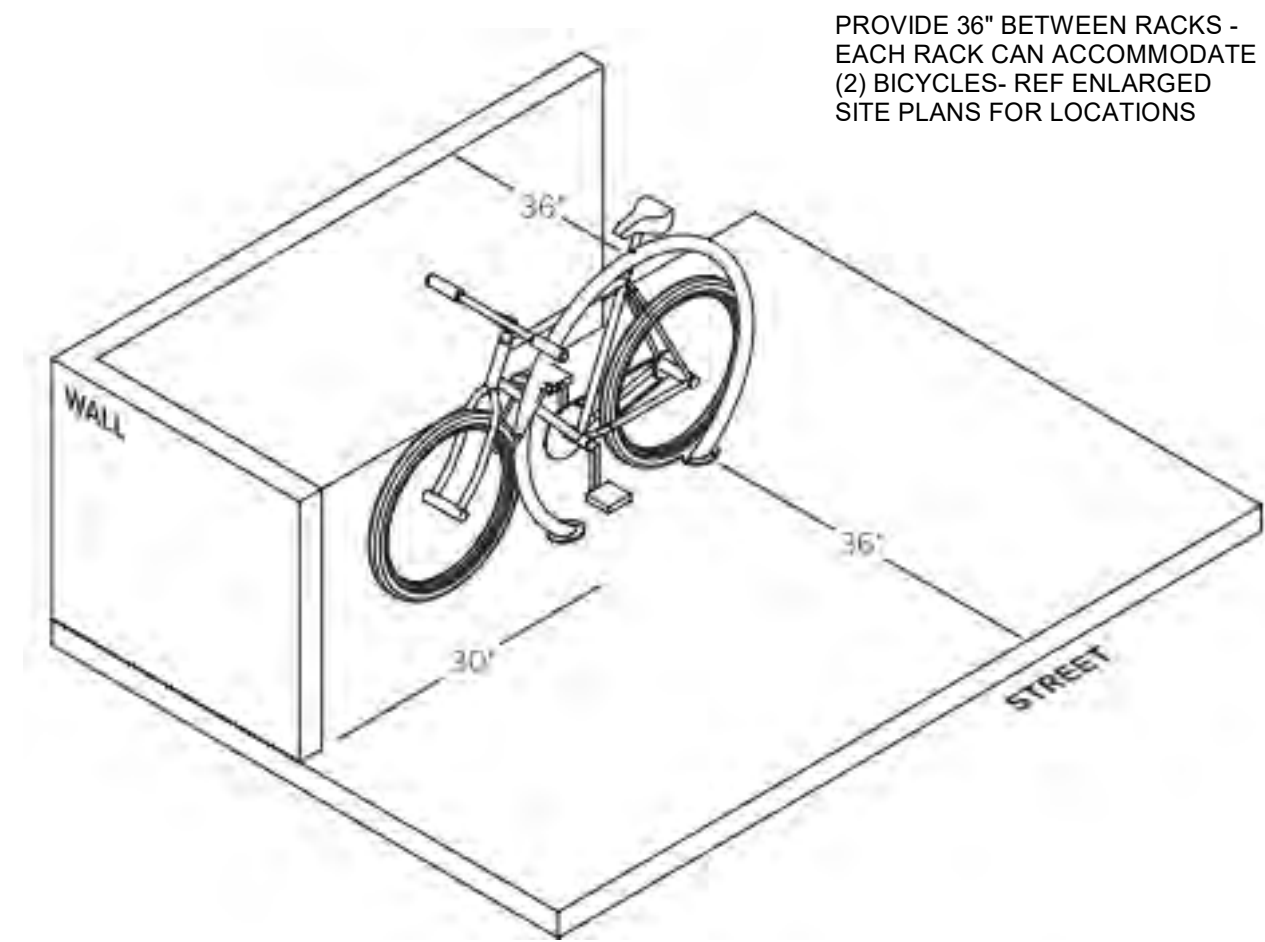
INSTALL (3) or (4) AT EACH FIRST FLOOR SHARED ENTRY, COVERED BY ROOF ABOVE - REF ENLARGED SITE PLANS FOR LOCATIONS



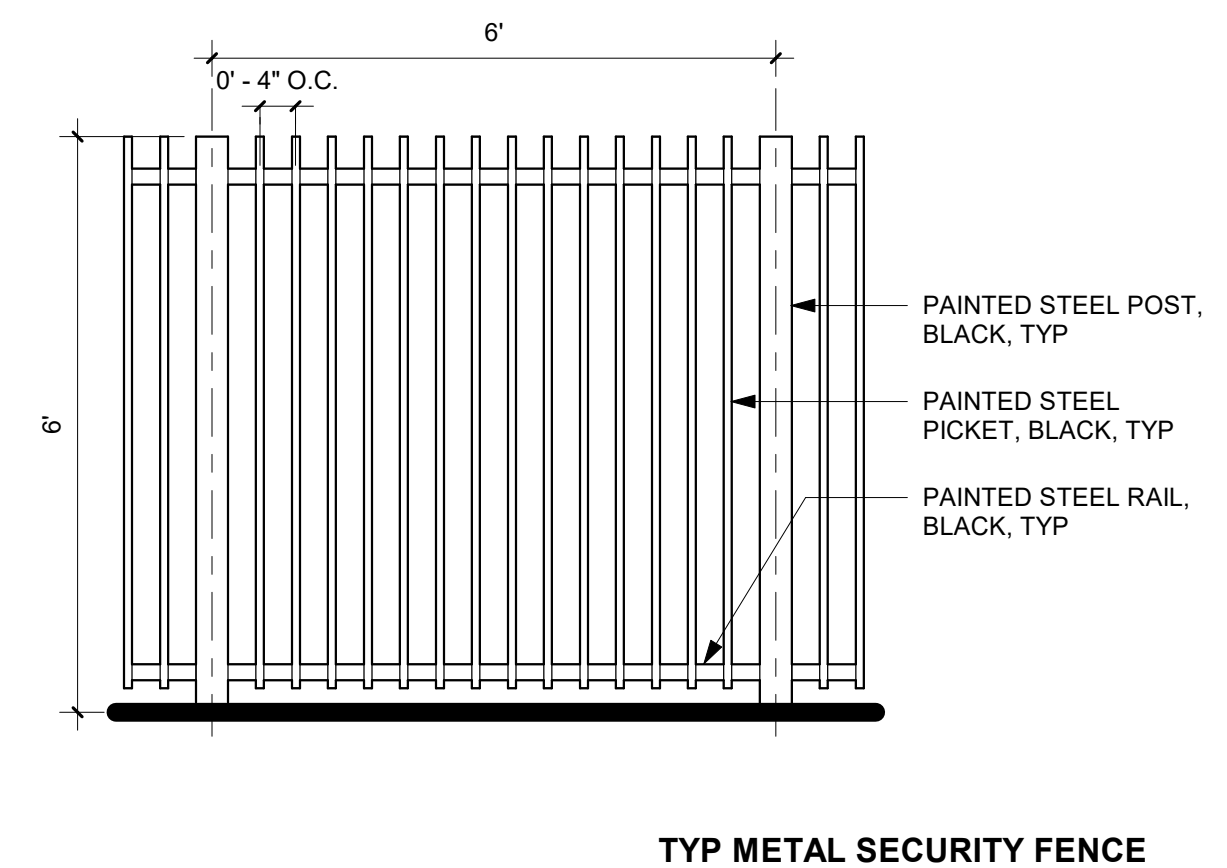
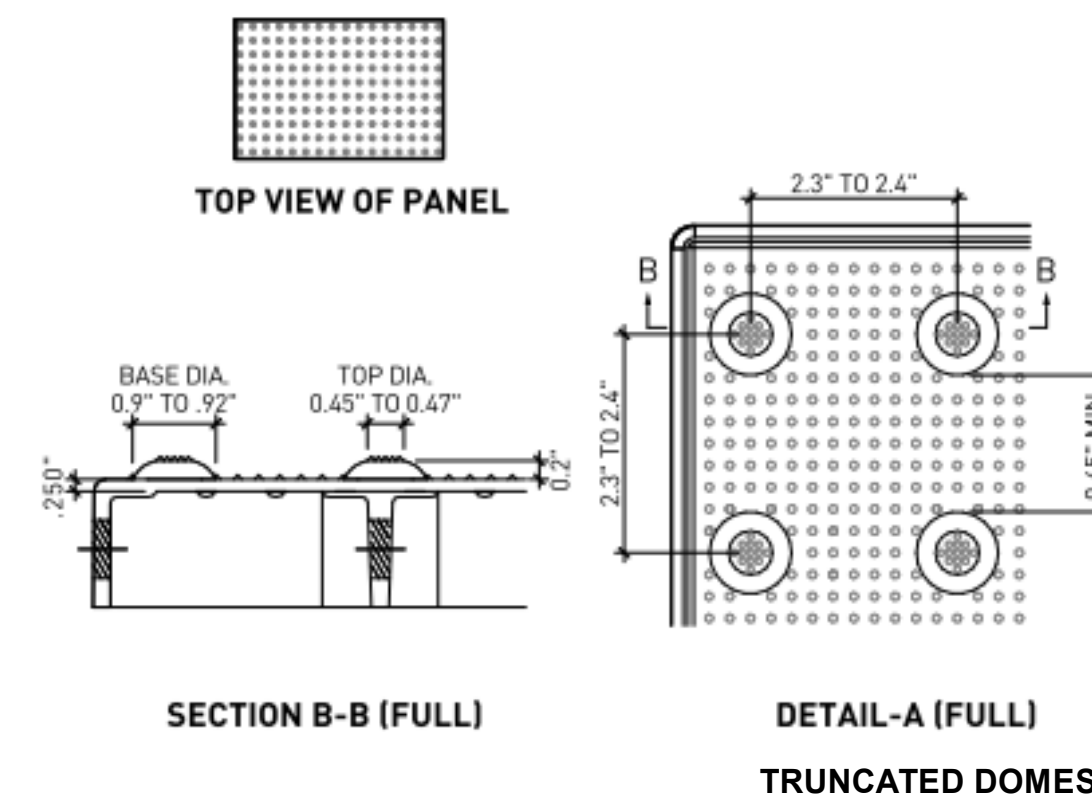
**LONG-TERM BICYCLE PARKING**



**5 BUILDING TYPE D - TYP ADDRESS & SIGNAGE LOCATION**  
1/4" = 1'-0" @ FULL SIZE



**SHORT-TERM BICYCLE PARKING**



**TYP METAL SECURITY FENCE**

Stamp

DRAWING REVISIONS

#

Date

Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

SITE DETAILS

Drawing Title:

Drawn By: Author

Date: 03/10/2022

Project No. 021112

Revised: 05/20/2020

Sheet No.

A1.02B

BLRB ARCHITECTS, P.S.

BLRB Architects

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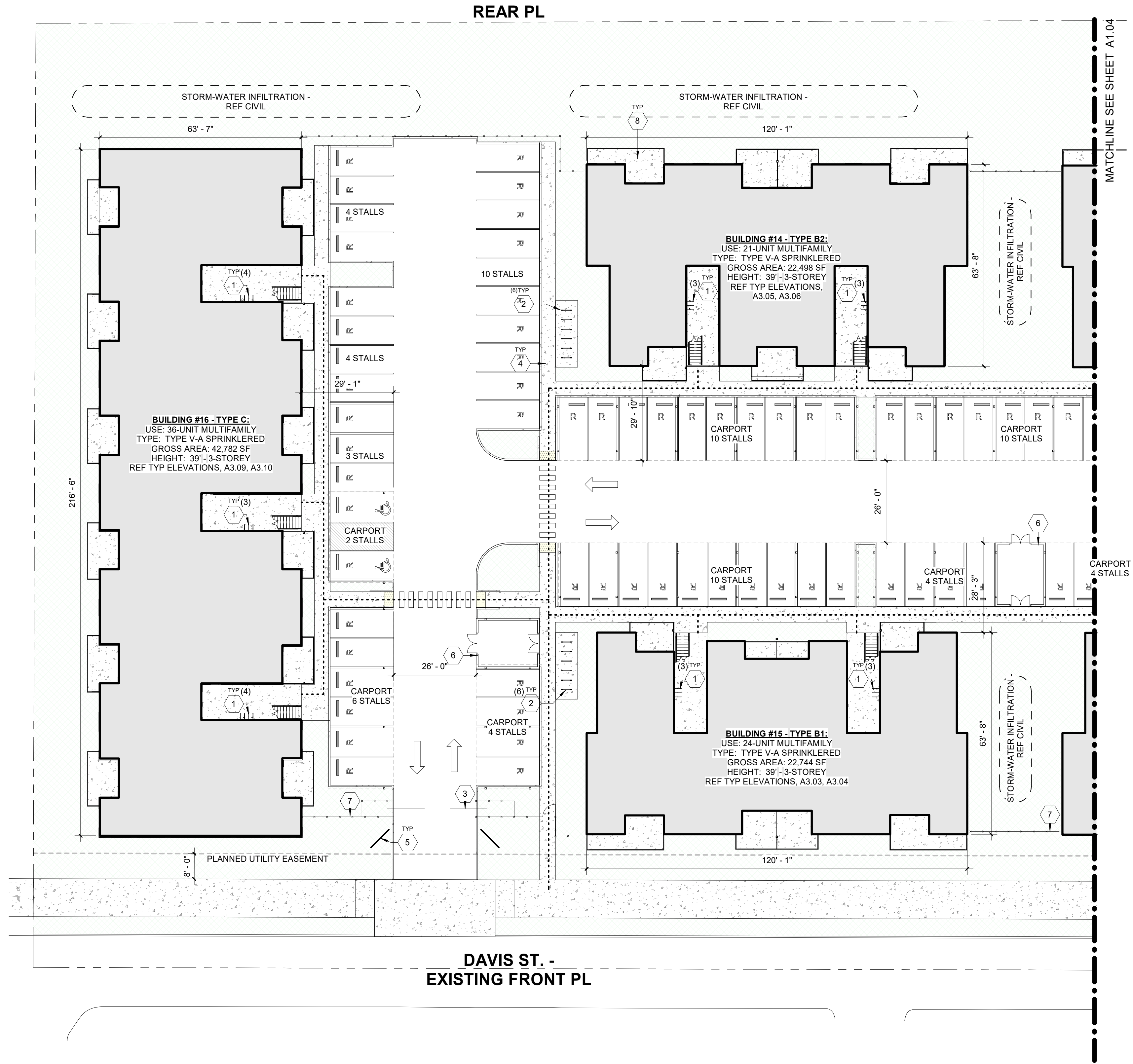
621 SW Morrison St.  
Portland, OR 97205  
503.595.0270

721 SW Industrial  
Bend, OR 97702  
541.330.6906



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1 ENLARGED SITE PLAN - SECTOR A  
1" = 20'-0" @ FULL SIZE



SITE PLAN LEGEND

- PROPERTY BOUNDARY
- - - BUILDING SETBACK
- - - UTILITY EASEMENT
- - - ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY
- FENCE
- WALKWAY
- TRUNCATED DOMES

KEYNOTES

1	BICYCLE RACK - LONG TERM
2	BICYCLE RACK - SHORT TERM (2) BICYCLES PER RACK
3	VEHICULAR GATE
4	CONC WALK - REF CIVIL
5	MONUMENT SIGN
6	COVERED TRASH ENCLOSURE SCREENED TO 6' AFF - REF TYP. ELEVATIONS, A3.10
7	SECURITY FENCE
8	RESIDENTIAL GROUND FLOOR PATIO

SITE PLAN GENERAL NOTES

- REFER TO CIVIL FOR ALL UTILITY, PAVING, GRADING, PROPERTY LINES, STREET DEDICATION, STORMWATER TREATMENT LOCATION, ETC. INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTINGS
- PARKING STALLS ARE 9' X 20'. THOSE LABELED COMPACT ARE 8' X 16'.
- REFER TO A1.02 FOR SITE ACCESSIBILITY AND BICYCLE PARKING DETAILS.

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Stamp

REV	Date	Description

**CORNELIUS MULTIFAMILY**  
 CALIDA RESIDENTIAL, LLC  
**LAND USE SUBMITTAL**

Drawing Title: ENLARGED SITE PLAN - SECTOR A

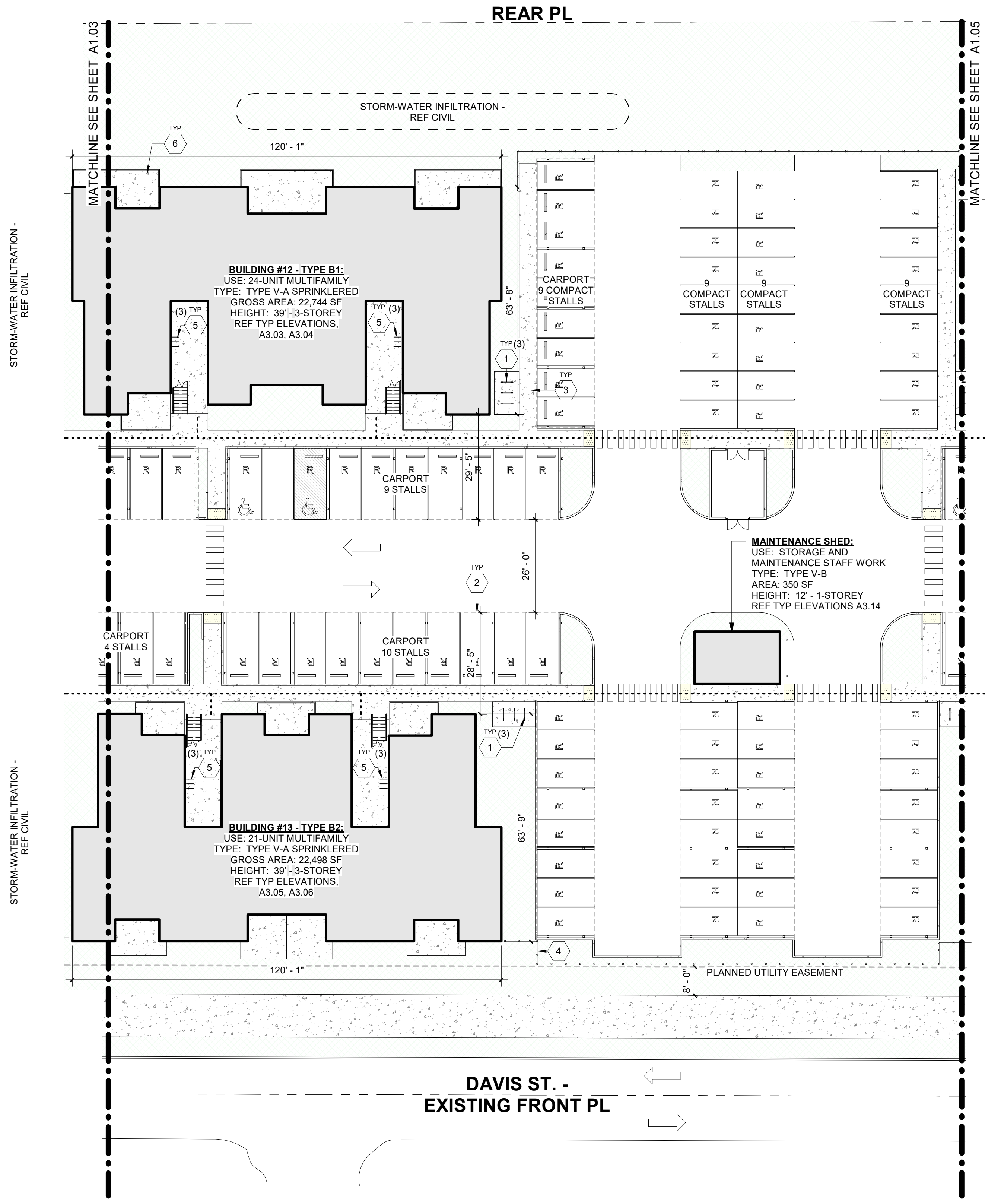
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Revised:	05/20/2020	Project No.:	021112

Sheet No. **A1.03**



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1 ENLARGED SITE PLAN - SECTOR B  
1" = 20'-0" @ FULL SIZE



### SITE PLAN LEGEND

- PROPERTY BOUNDARY
- BUILDING SETBACK
- UTILITY EASEMENT
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY
- FENCE
- WALKWAY
- TRUNCATED DOMES

### KEYNOTES

1	BICYCLE RACK - SHORT TERM (2) BICYCLES PER RACK
2	PRE-ENGINEERED CARPORT - REF TYP. ELEVATIONS, A3.10
3	CONC WALK - REF CIVIL
4	SECURITY FENCE
5	BICYCLE RACK - LONG TERM
6	RESIDENTIAL GROUND FLOOR PATIO

### DRAWING REVISIONS

#	Date	Description

### SITE PLAN GENERAL NOTES

- REFER TO CIVIL FOR ALL UTILITY, PAVING, GRADING, PROPERTY LINES, STREET DEDICATION, STORMWATER TREATMENT LOCATION, ETC. INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTINGS
- PARKING STALLS ARE 9' X 20'. THOSE LABELED COMPACT ARE 8' X 16'.
- REFER TO A1.02 FOR SITE ACCESSIBILITY AND BICYCLE PARKING DETAILS.

**BLRB Architects**  
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721 SW Industrial  
 Bend, OR 97702  
 541.330.6906

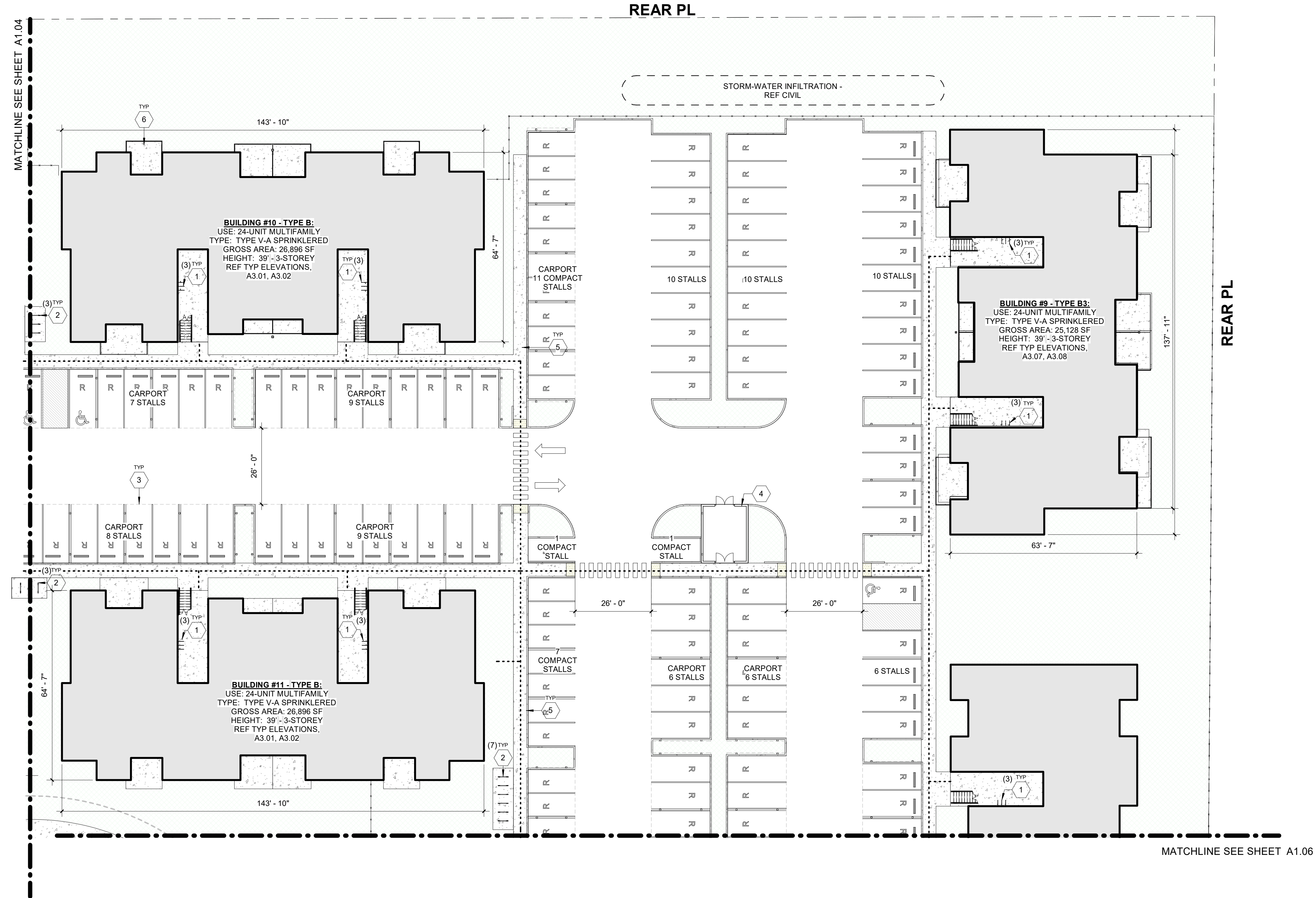
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 CALIDA RESIDENTIAL, LLC

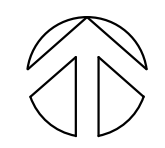
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Date: 03/10/2022	Drawn By: AAE
Revised: 05/20/2020	Project No. 021112
Sheet No. <b>A1.04</b>	





1 ENLARGED SITE PLAN - SECTOR C  
 1" = 20'-0" @ FULL SIZE



**SITE PLAN LEGEND**

- PROPERTY BOUNDARY
- - - BUILDING SETBACK
- - - UTILITY EASEMENT
- - - ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY
- FENCE
- WALKWAY
- TRUNCATED DOMES

**KEYNOTES**

1	BICYCLE RACK - LONG TERM
2	BICYCLE RACK - SHORT TERM (2) BICYCLES PER RACK
3	PRE-ENGINEERED CARPORT - REF TYP. ELEVATIONS, A3.10
4	COVERED TRASH ENCLOSURE SCREENED TO 6' AFF - REF TYP. ELEVATIONS, A3.10
5	CONC WALK - REF CIVIL
6	RESIDENTIAL GROUND FLOOR PATIO

**SITE PLAN GENERAL NOTES**

- REFER TO CIVIL FOR ALL UTILITY, PAVING, GRADING, PROPERTY LINES, STREET DEDICATION, STORMWATER TREATMENT LOCATION, ETC. INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTINGS
- PARKING STALLS ARE 9' X 20'. THOSE LABELED COMPACT ARE 8' X 16'.
- REFER TO A1.02 FOR SITE ACCESSIBILITY AND BICYCLE PARKING DETAILS.

**BLRB Architects**  
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 503.595.0270

721 SW Industrial  
 Bend, OR 97702  
 541.330.6906

Stamp

#	Date	Description

**CORNELIUS MULTIFAMILY**  
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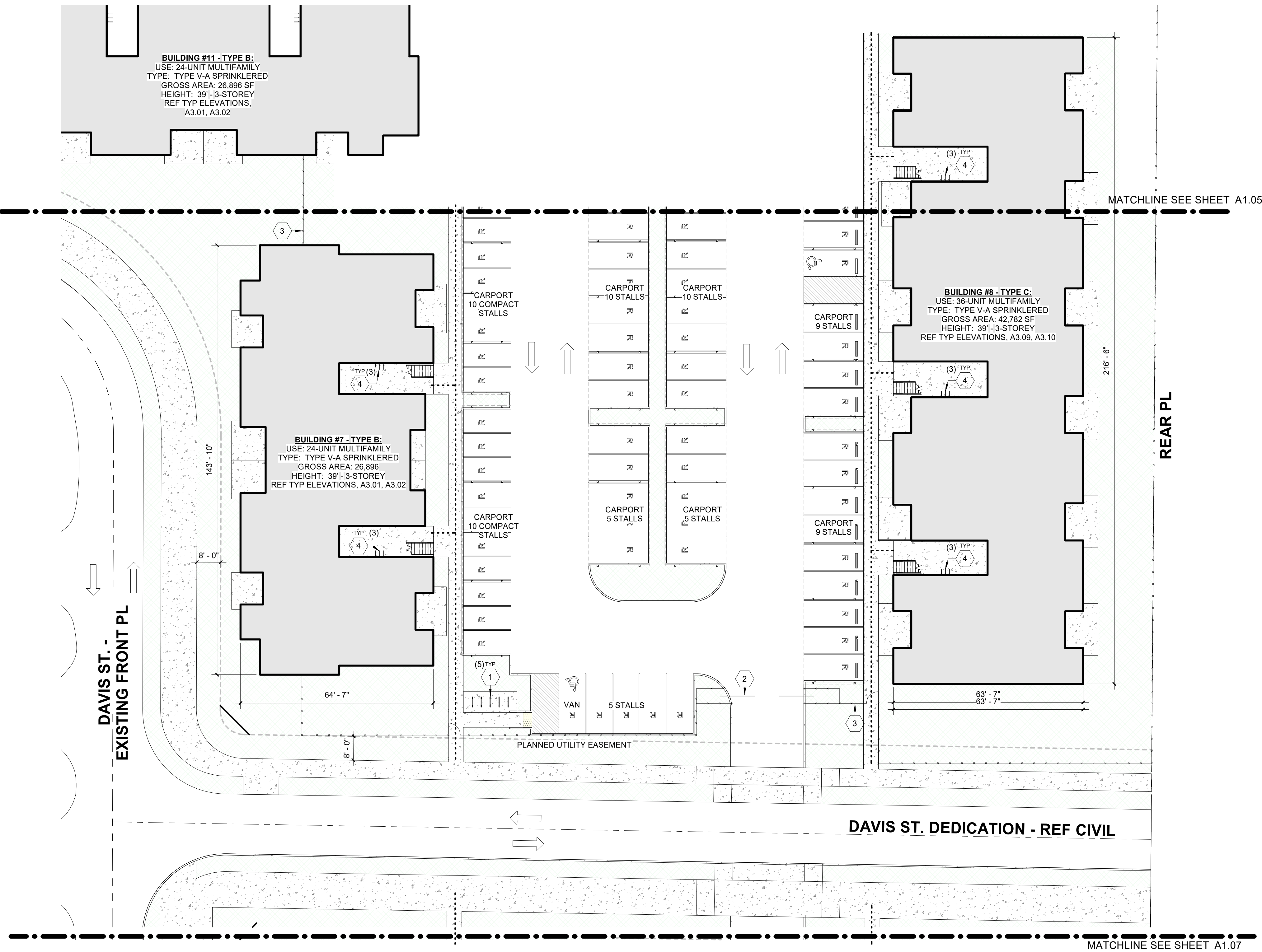
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Date: 03/10/2022  
 Drawn By: AAE  
 Revised: 05/20/2020  
 Project No. 021112

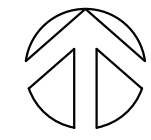
Sheet No. **A1.05**



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1 ENLARGED SITE PLAN - SECTOR D  
 1" = 20'-0" @ FULL SIZE



**SITE PLAN LEGEND**

- PROPERTY BOUNDARY
- BUILDING SETBACK
- UTILITY EASEMENT
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY
- FENCE
- WALKWAY
- TRUNCATED DOMES

**KEYNOTES**

1	BICYCLE RACK - SHORT TERM (2) BICYCLES PER RACK
2	VEHICULAR GATE
3	SECURITY FENCE
4	BICYCLE RACK - LONG TERM

**SITE PLAN GENERAL NOTES**

1. REFER TO CIVIL FOR ALL UTILITY, PAVING, GRADING, PROPERTY LINES, STREET DEDICATION, STORMWATER TREATMENT LOCATION, ETC. INFORMATION.
2. REFER TO LANDSCAPE DRAWINGS FOR PLANTINGS
3. PARKING STALLS ARE 9' X 20'. THOSE LABELED COMPACT ARE 8' X 16'.
4. REFER TO A1.02 FOR SITE ACCESSIBILITY AND BICYCLE PARKING DETAILS.

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 621 SW Morrison St.  
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 503.972.05  
 503.972.05  
 541.330.6906

DRAWING REVISIONS	
#	Description

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Drawing Title: <b>ENLARGED SITE PLAN - SECTOR D</b>	
Date: 03/10/2022	Drawn By: AAE
Revised: 05/20/2020	Project No. 021112

Sheet No.  
**A1.06**



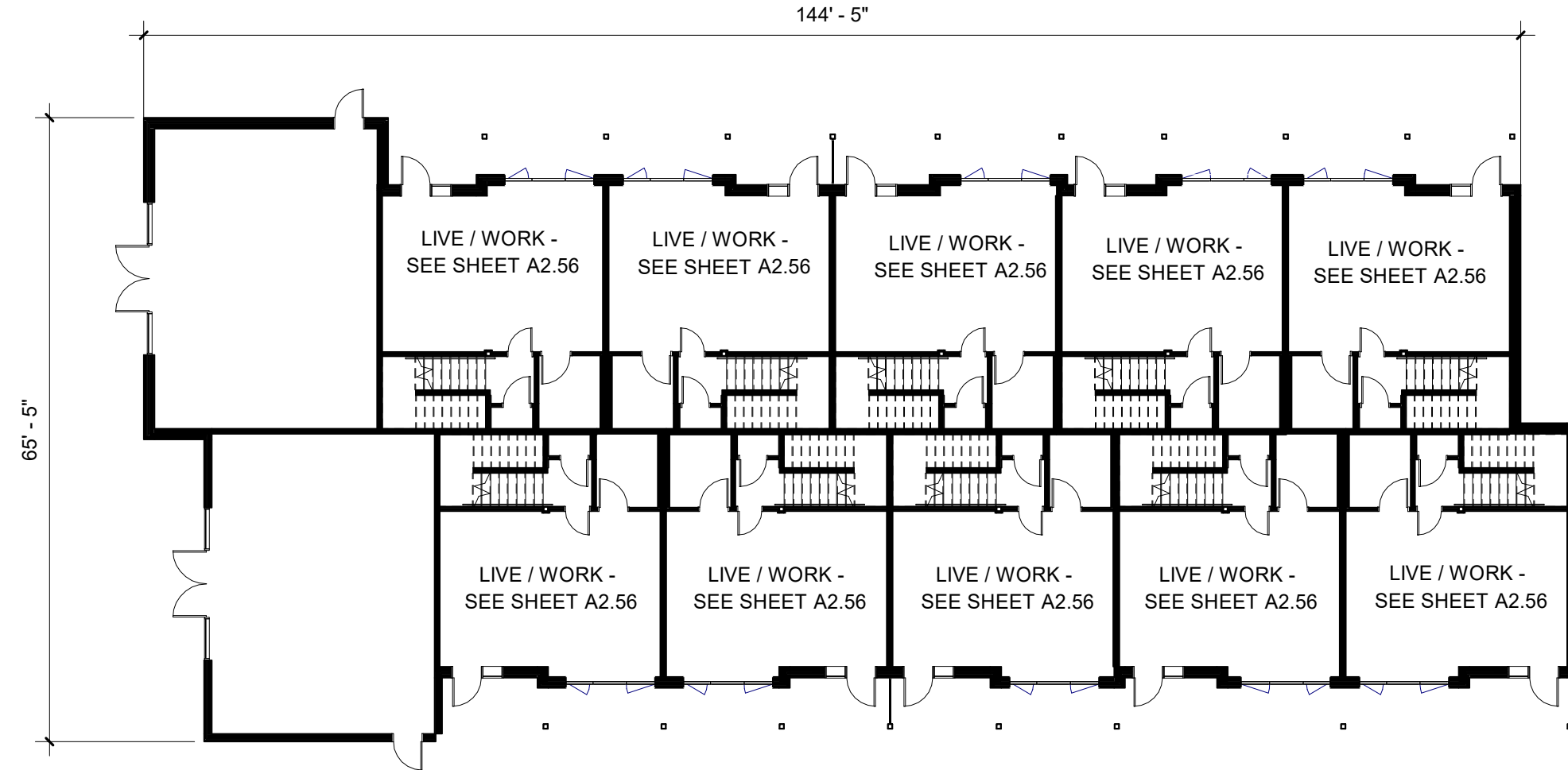




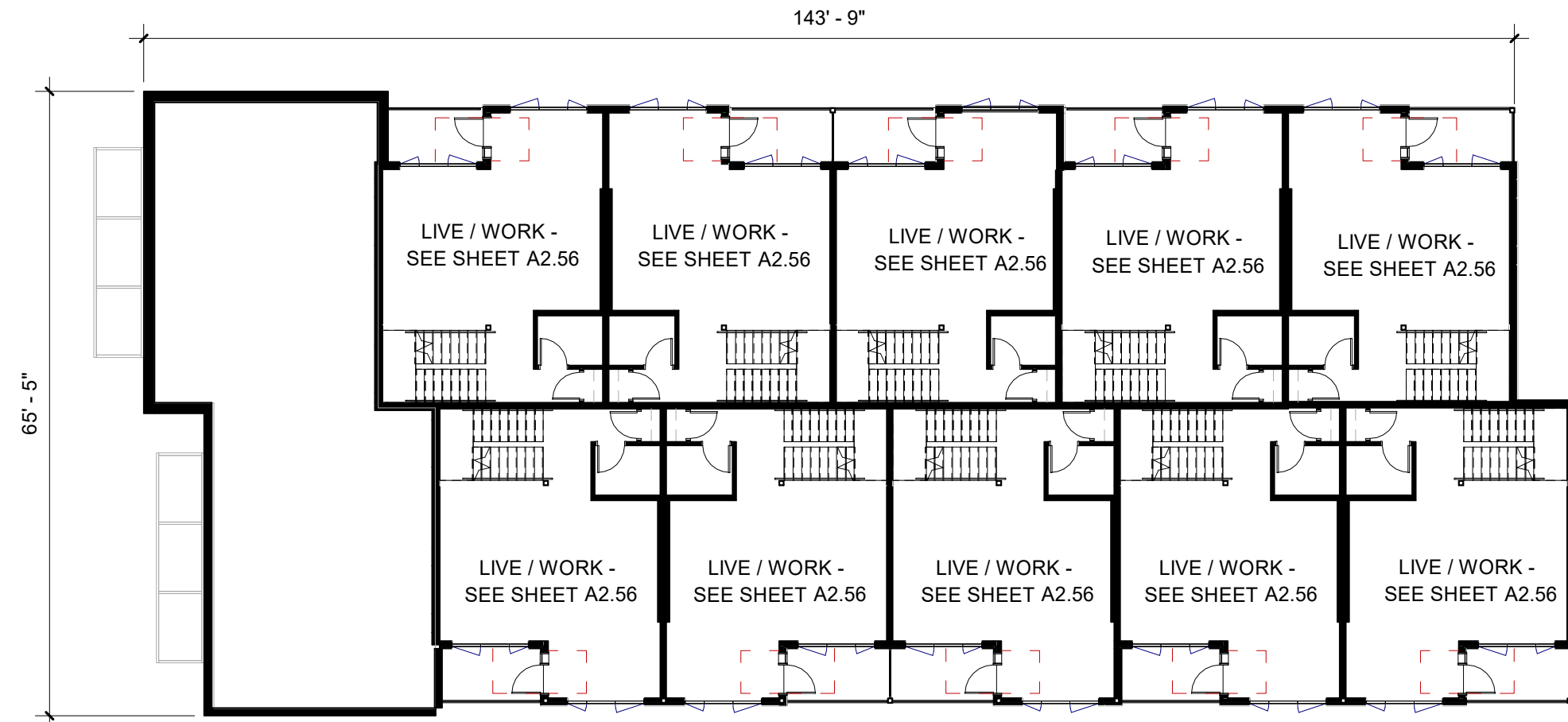




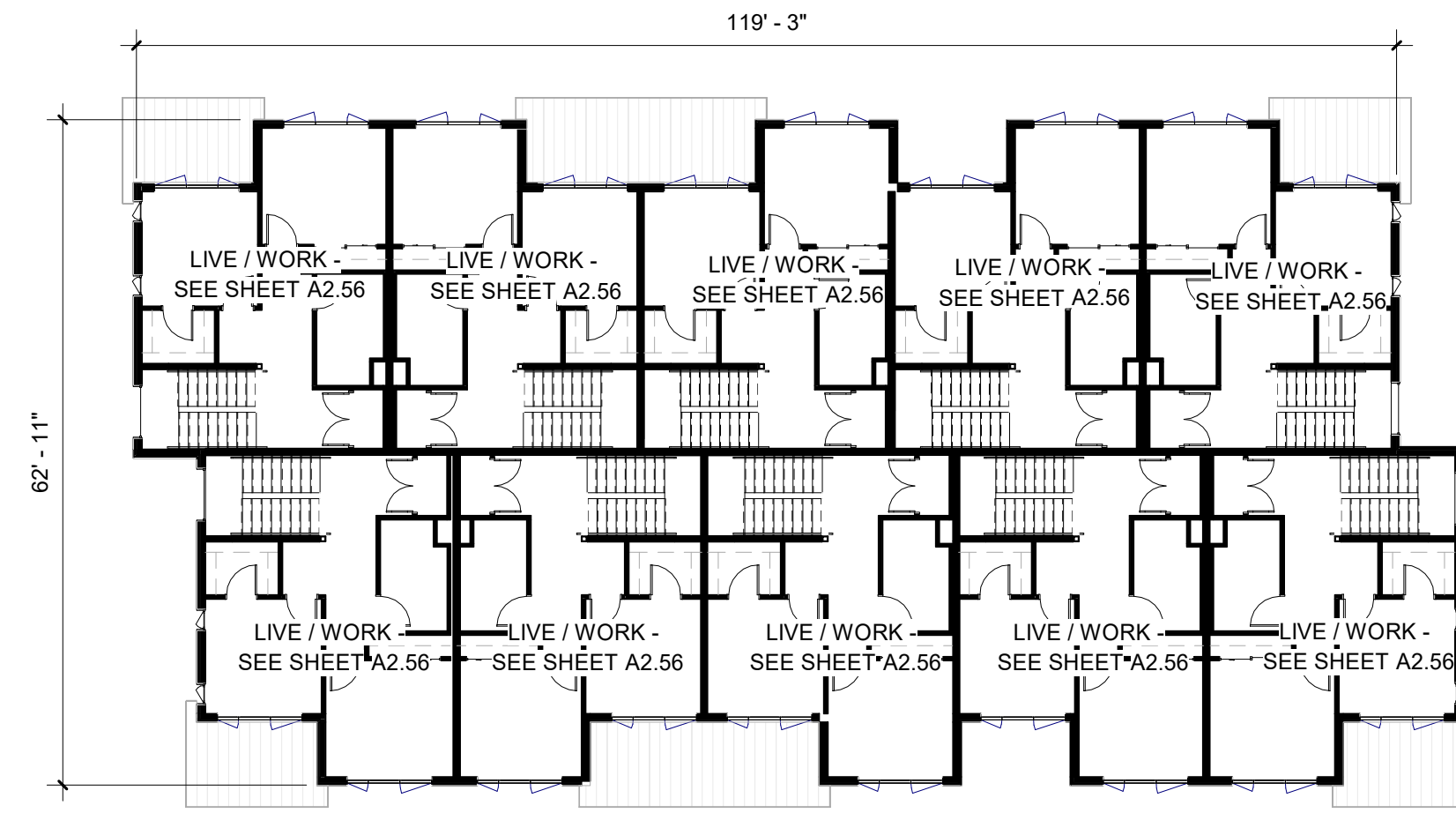
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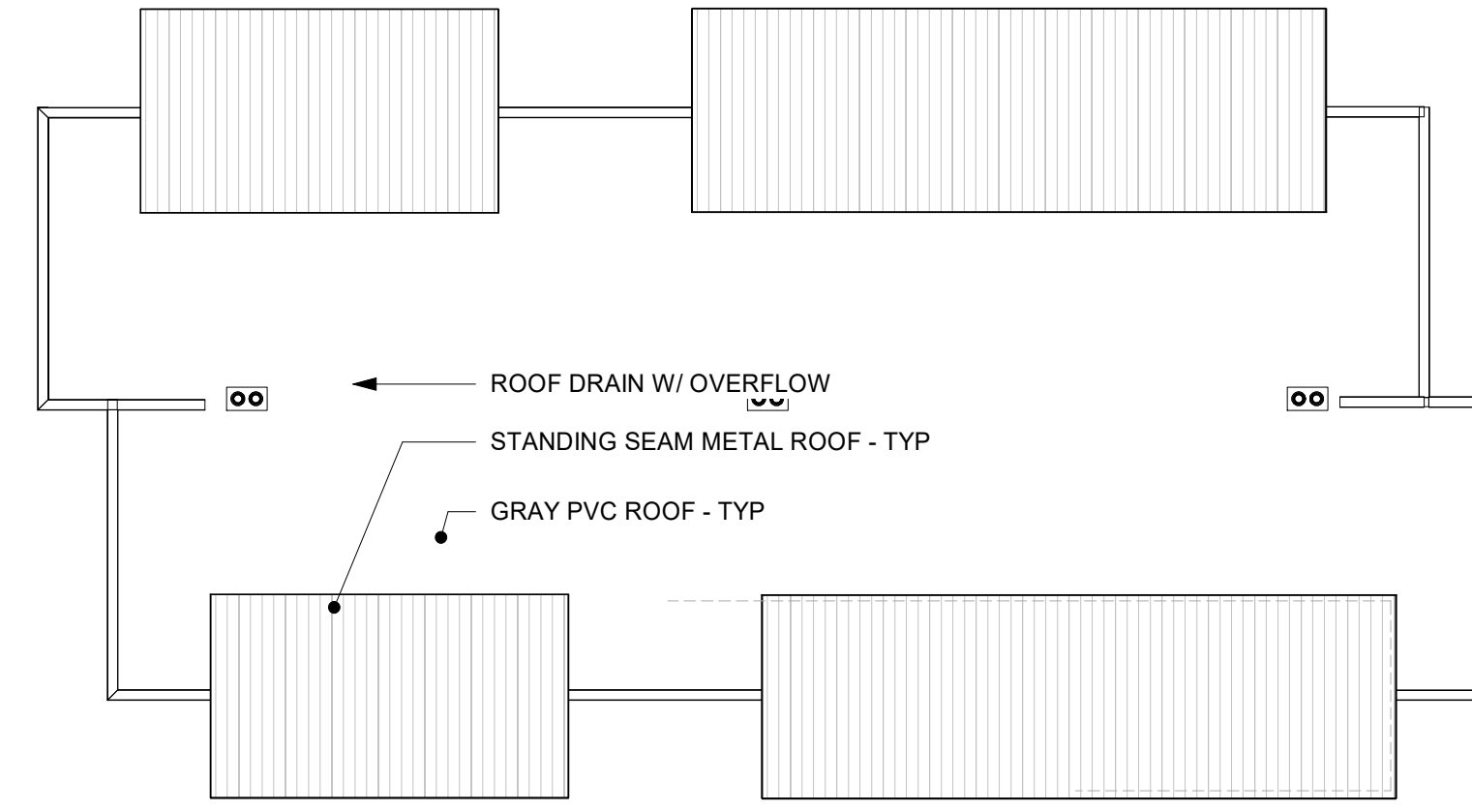
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1/16" = 1'-0" @ FULL SIZE



2 LEVEL 2 - LIVE/WORK BUILDING EAST  
1/16" = 1'-0" @ FULL SIZE



3 LEVEL 3 - BUILDING D1  
1/16" = 1'-0" @ FULL SIZE



4 ROOF PLAN - BUILDING D1  
1/16" = 1'-0" @ FULL SIZE

Drawing Title:

FLOOR PLANS - BUILDING D1

Sheet No.

A2.06

Date: 03/10/2022

Drawn By: AAE

Revised: 05/20/2020

Project No. 021112

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Stamp

DRAWING REVISIONS

# Date Description

BLRB Architects

TACOMA | SPOKANE | PORTLAND | BEND

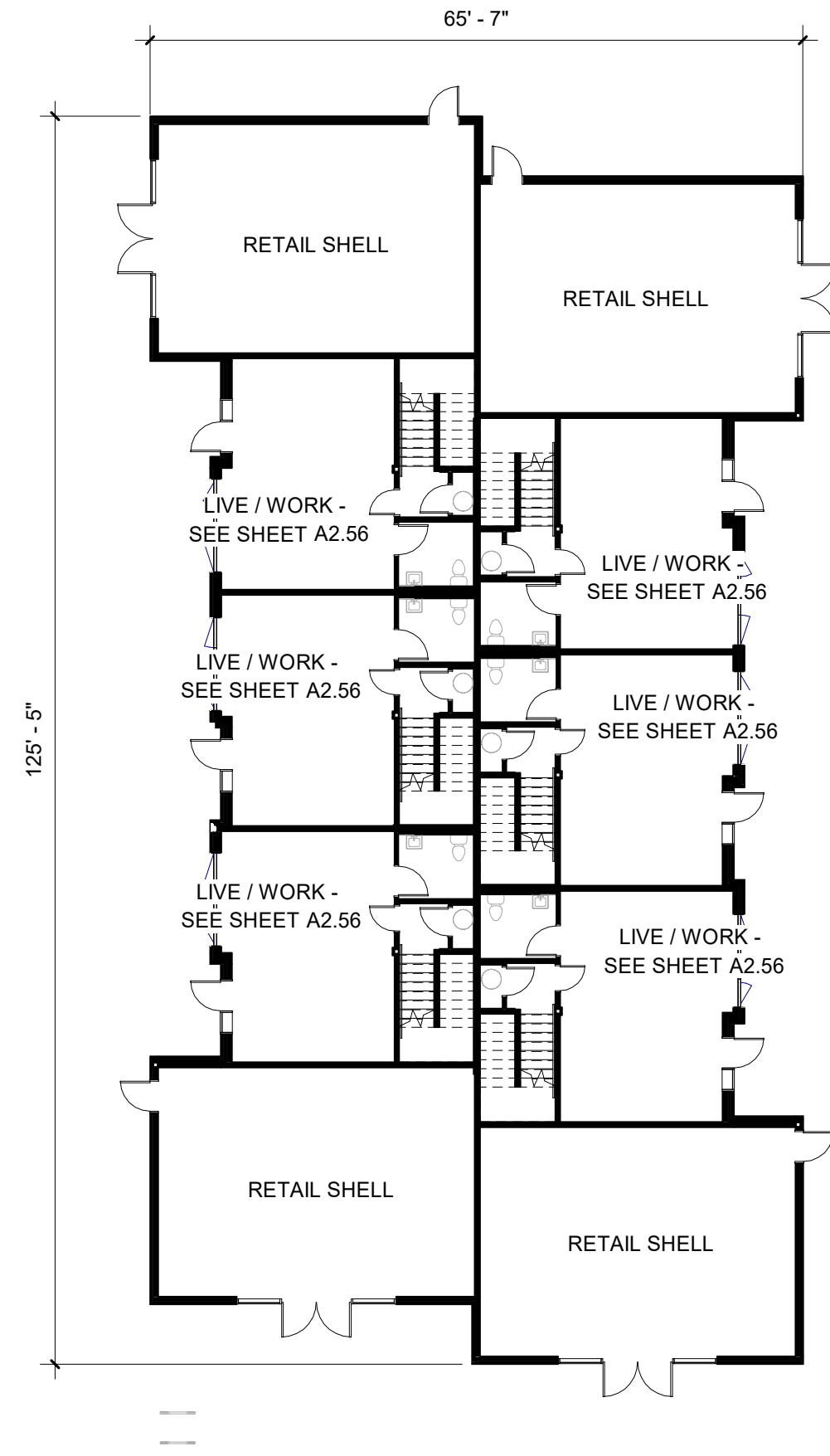
1250 Pacific Ave  
Tacoma, WA 98402  
253.627.5599

505 W Riverside  
Spokane, WA 99201  
509.252.5090

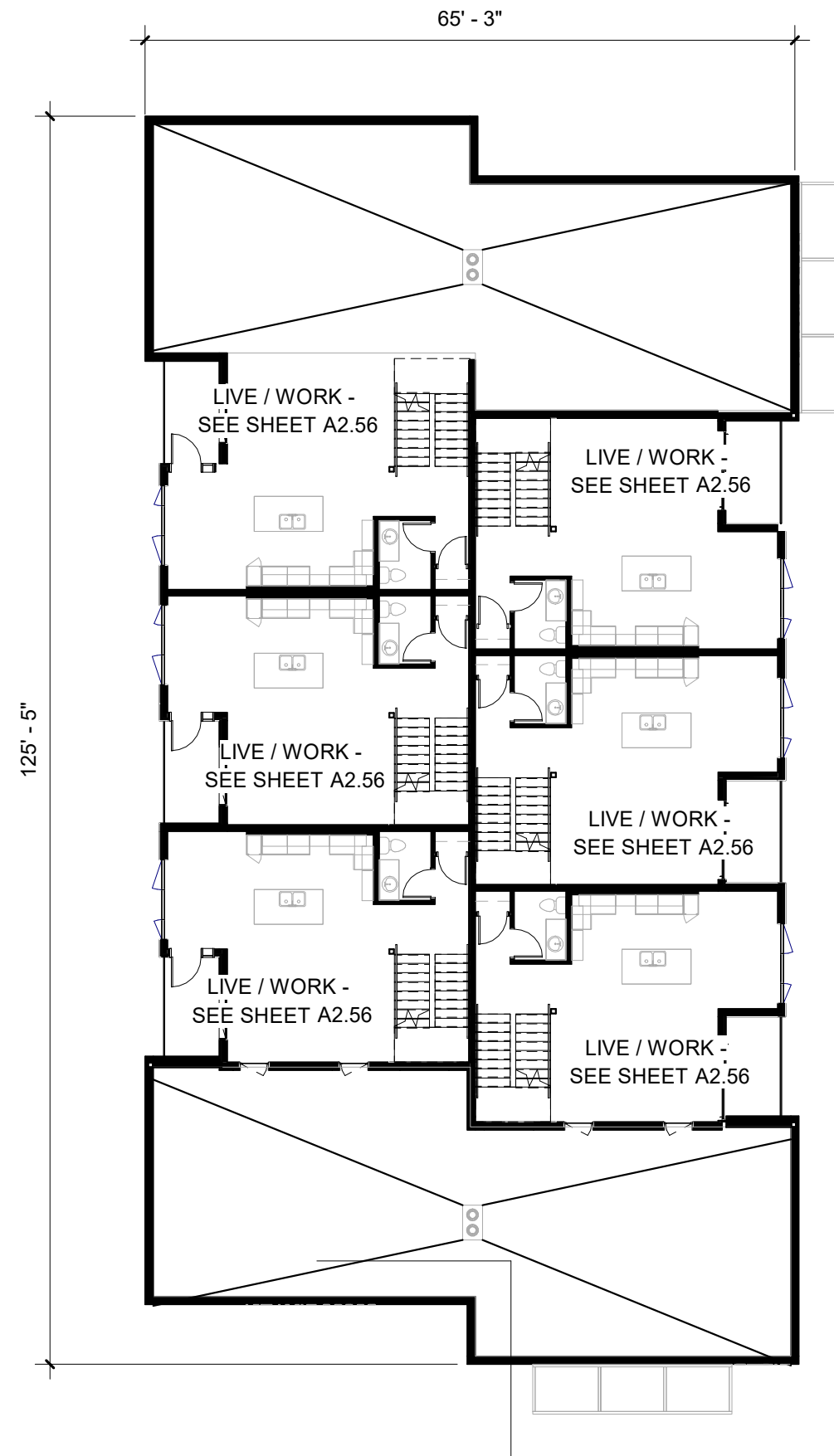
621 SW Morrison St  
Portland, OR 97205  
503.595.0270

721 SW Industrial  
Bend, OR 97702  
541.330.6906

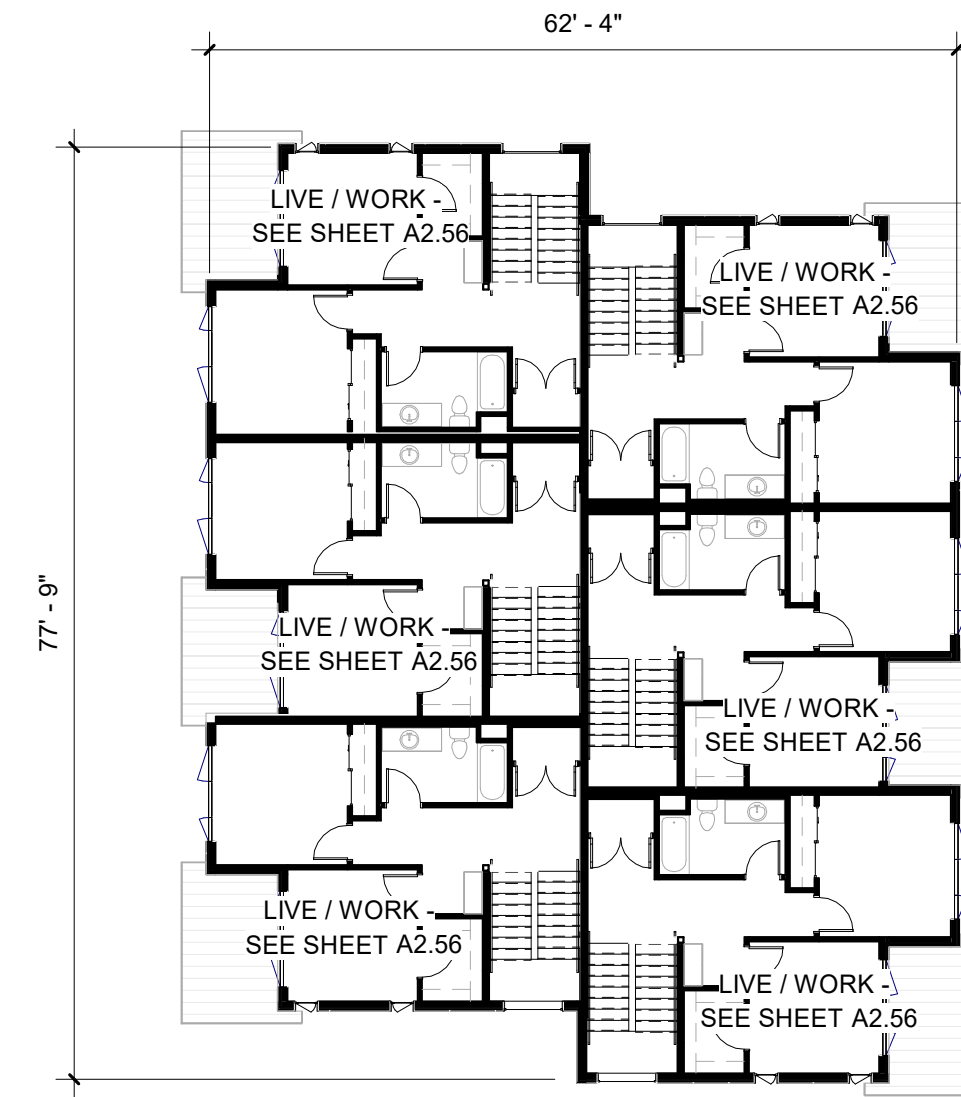




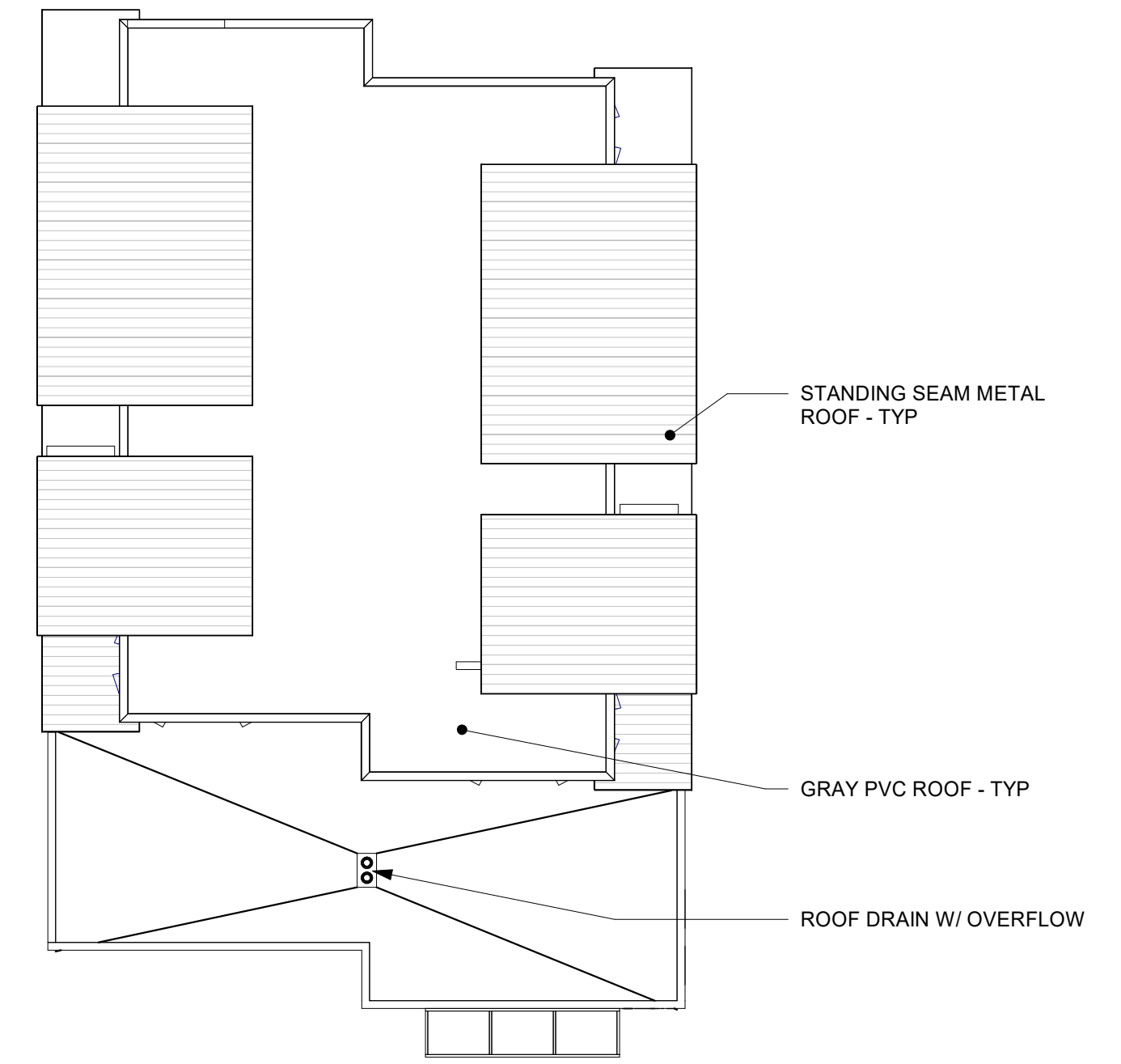
1 LEVEL 1 - BUILDING D2  
1/16" = 1'-0" @ FULL SIZE



2 LEVEL 2 - BUILDING D2  
1/16" = 1'-0" @ FULL SIZE



3 LEVEL 3 - BUILDING D2  
1/16" = 1'-0" @ FULL SIZE



4 ROOF PLAN - BUILDING D2  
1/16" = 1'-0" @ FULL SIZE

DRAWING REVISIONS	
#	Description



**CORNELIUS MULTIFAMILY**  
 CALIDA RESIDENTIAL, LLC  
**LAND USE SUBMITTAL**

Drawing Title:	FLOOR PLANS - BUILDING D2		
Date:	03/10/2022	Drawn By:	AAE
Revised:	05/20/2020	Project No.:	021112



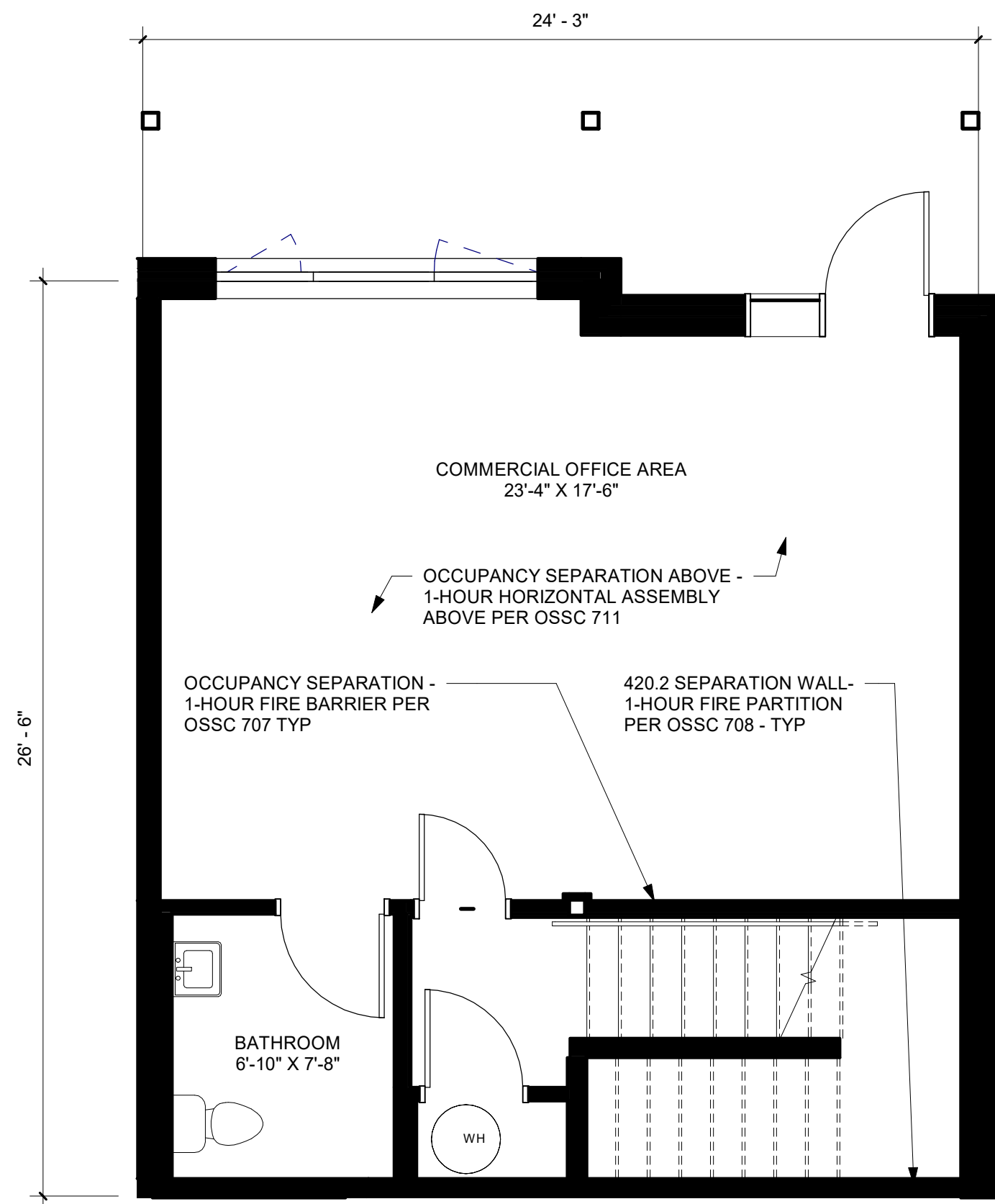
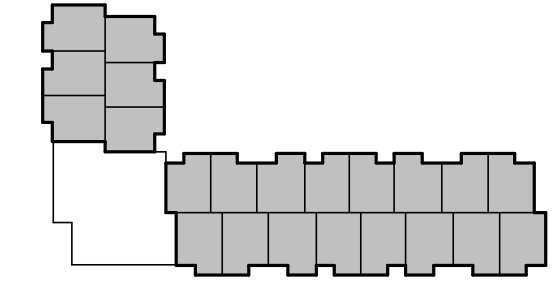
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**LEGEND - WALL RATINGS**

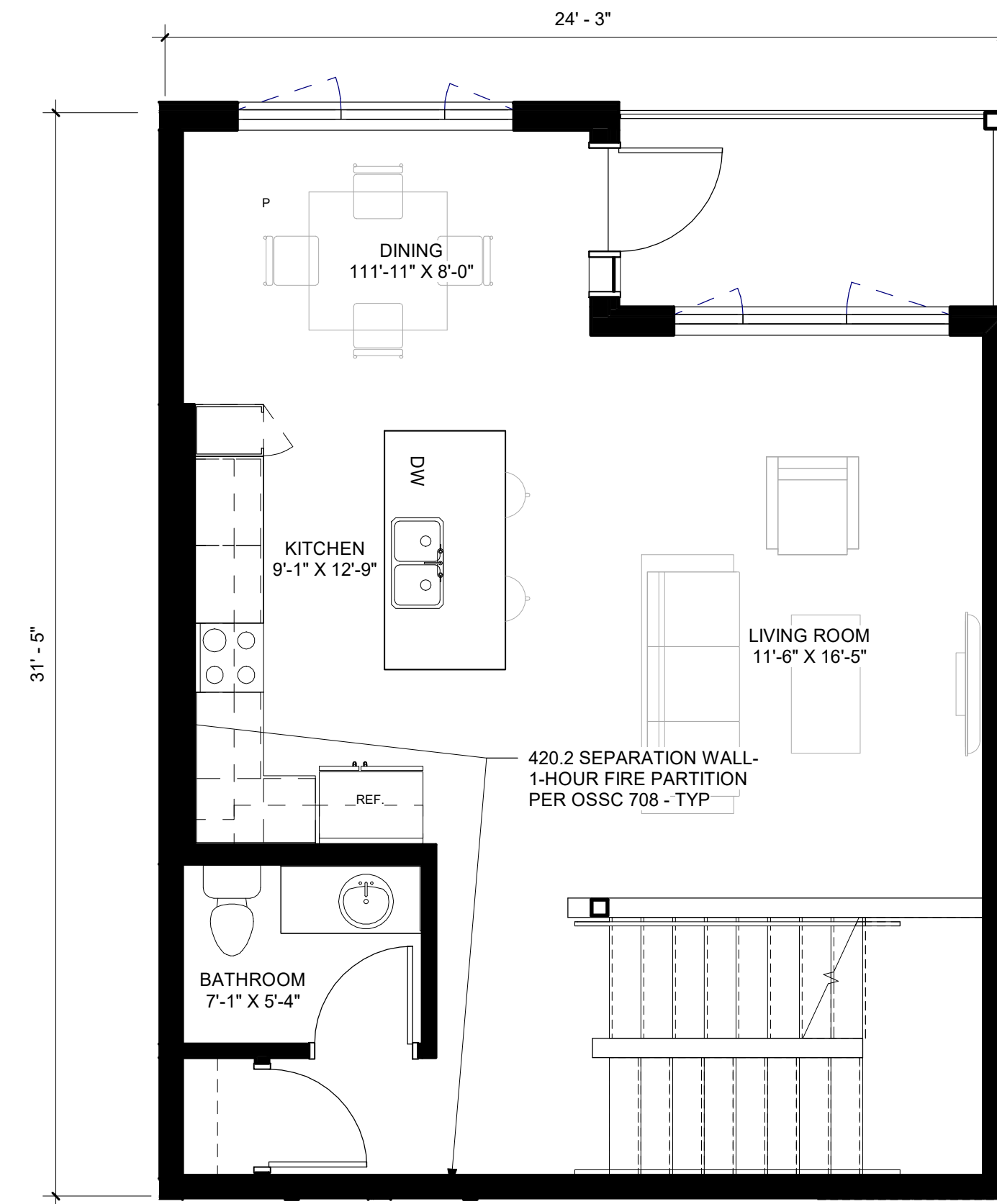
-  1-HOUR RATED WALL
-  NON-RATED WALL

**KEY PLAN**

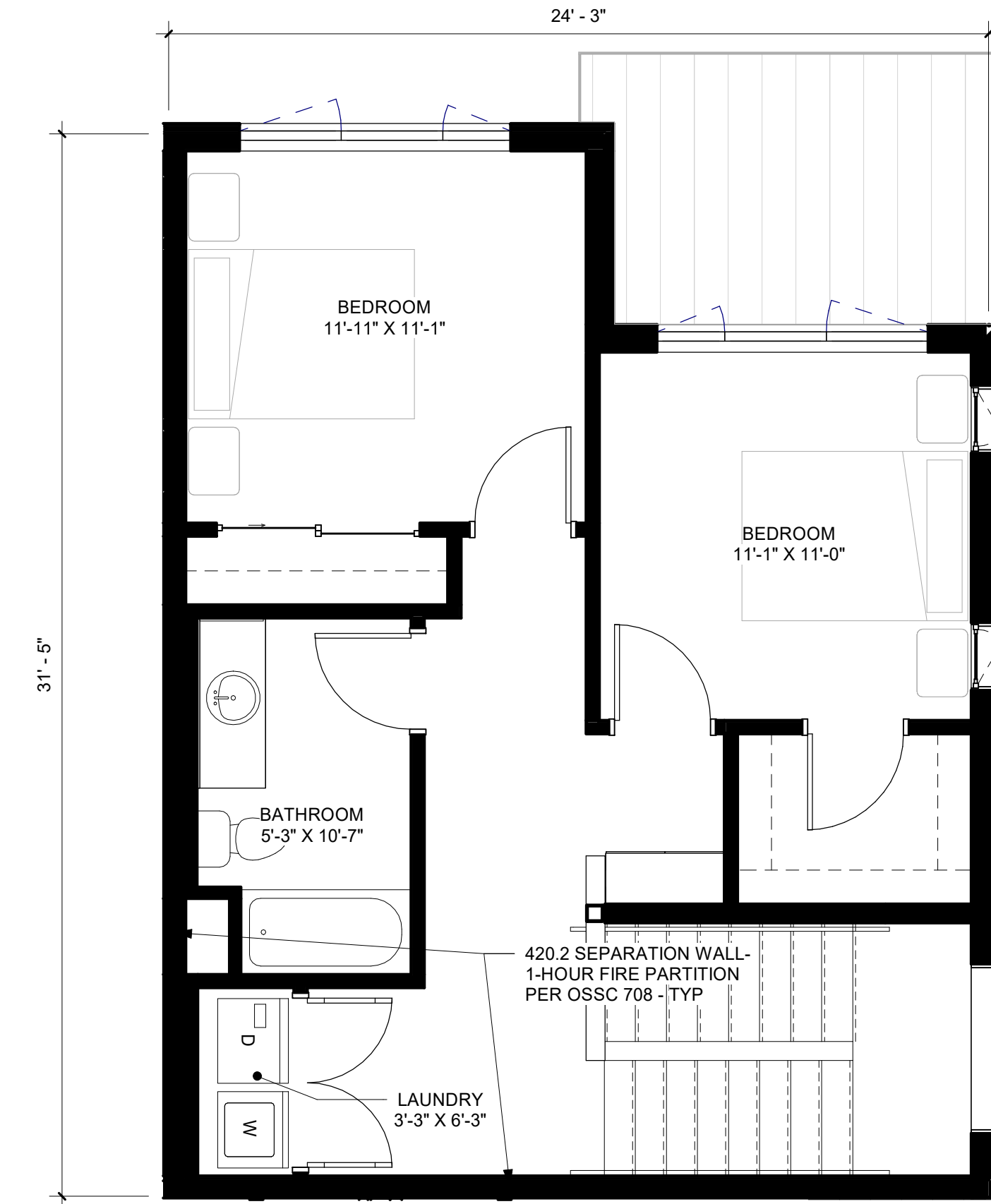
BLDG D



1 LEVEL 1 - TYPICAL LIVE/ WORK UNIT PLAN - 615 SF  
 0' 1' 2' 4' 1/4" = 1'-0" @ FULL SIZE



2 LEVEL 2 - TYPICAL LIVE/ WORK UNIT PLAN - 675 SF  
 0' 1' 2' 4' 1/4" = 1'-0" @ FULL SIZE



3 LEVEL 3 - TYPICAL LIVE/ WORK UNIT PLAN - 585 SF  
 0' 1' 2' 4' 1/4" = 1'-0" @ FULL SIZE

Stamp

DRAWING REVISIONS

#	Date	Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Drawing Title:  
**UNIT PLAN - TYPICAL LIVE/ WORK**

Date: 03/10/2022  
 Drawn By: AAE

Revised: 05/20/2020  
 Project No: 021112

Sheet No.

**A2.56**

BLRB ARCHITECTS, P.S.

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 509.252.5090

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 Bend, OR 97705  
 503.595.0270

721 SW Industrial  
 Bend, OR 97702  
 541.330.6906

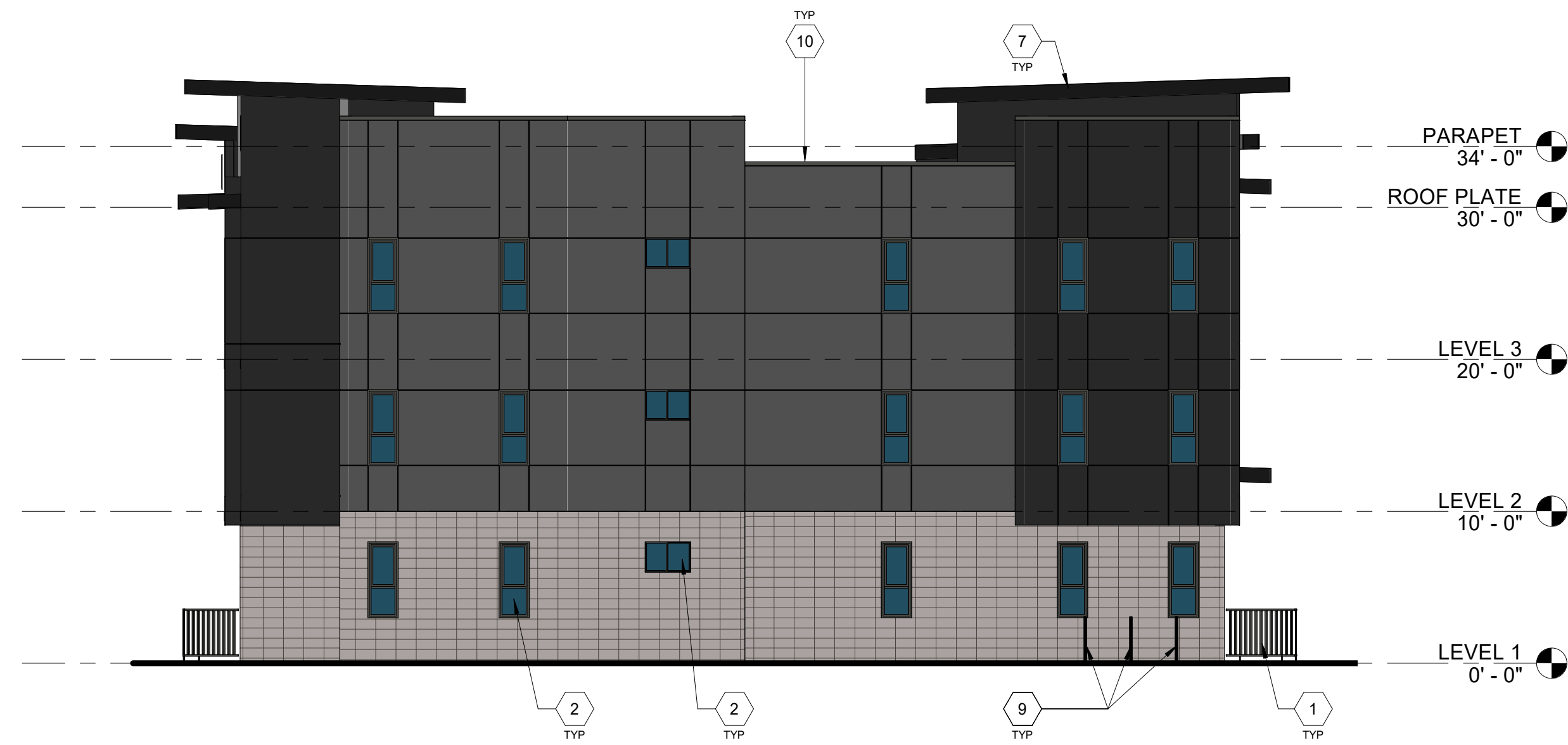


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1 BUILDING B - BUILDINGS #7, #10, #11 - FRONT ELEVATION

0' 2' 4' 8' 1/8" = 1'-0" @ FULL SIZE



2 BUILDING B - BUILDINGS #7, #10, #11 - LEFT ELEVATION

0' 2' 4' 8' 1/8" = 1'-0" @ FULL SIZE

EXTERIOR FINISH MATERIAL LEGEND

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

KEYNOTES

1	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
2	VINYL WINDOW
3	VINYL SLIDING DOOR
4	STANDING SEAM METAL ROOFING
5	HOLLOW METAL DOOR
6	HOLLOW METAL FRAME
7	FIBER CEMENT TRIM
8	METAL STAIRS
9	BICYCLE RACK - SHORT TERM (2) BICYCLES PER RACK
10	COPING
11	GYPSUM WALL BOARD TYPE X
12	PREMISES IDENTIFICATION PER OFC 505

Stamp

DRAWING REVISIONS

Date Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Drawing Title:  
EXTERIOR ELEVATION -  
BUILDING TYPE B

Date: 03/10/2022  
Drawn By: AAE

Revised: 05/20/2020  
Project No. 021112

Sheet No.

A3.01

BLRB ARCHITECTS, P.S.

BLRB Architects

TACOMA | SPOKANE | PORTLAND | BEND

1250 Pacific Ave  
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253.627.6599

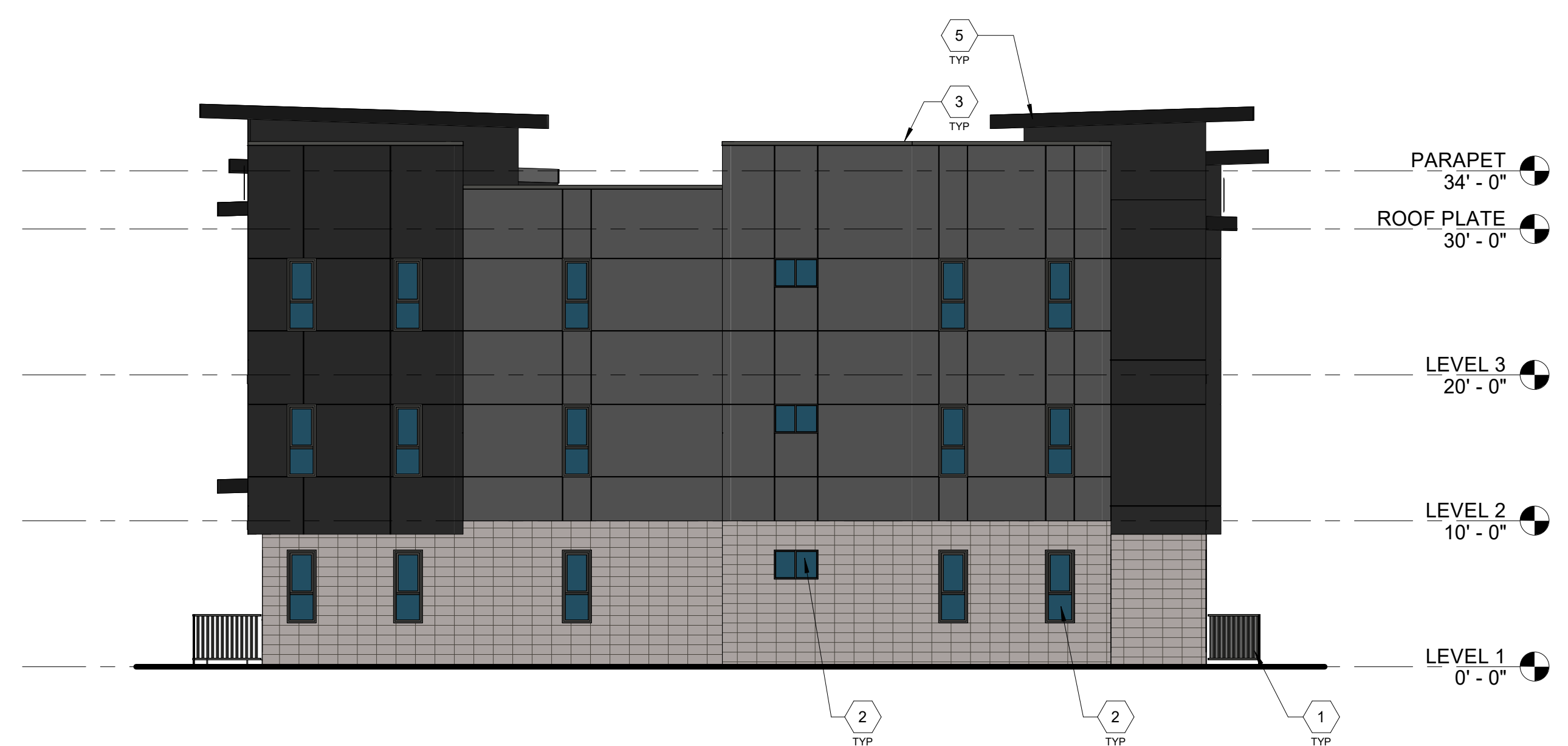
621 SW Morrison St.  
Portland, OR 97205  
503.595.0270

721 SW Industrial  
Bend, OR 97702  
541.330.6906





1 BUILDING B - BUILDINGS #7, #10, #11 - REAR ELEVATION  
 0' 2' 4' 8' 1/8" = 1'-0" @ FULL SIZE



2 BUILDING B - BUILDINGS #7, #10, #11 - RIGHT ELEVATION  
 0' 2' 4' 8' 1/8" = 1'-0" @ FULL SIZE

**EXTERIOR FINISH MATERIAL LEGEND**

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

**KEYNOTES**

1	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
2	VINYL WINDOW
3	COPING
4	STANDING SEAM METAL ROOFING
5	FIBER CEMENT TRIM
6	LOUVERED ATTIC VENT
7	PRIVACY SCREEN

**BLRB Architects**  
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 253.627.5599

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 503.595.0270

721 SW Industrial  
 Bend, OR 97702  
 541.330.6906

Stamp

#	Date	Description

**CORNELIUS MULTIFAMILY**  
 CALIDA RESIDENTIAL, LLC  
**LAND USE SUBMITTAL**

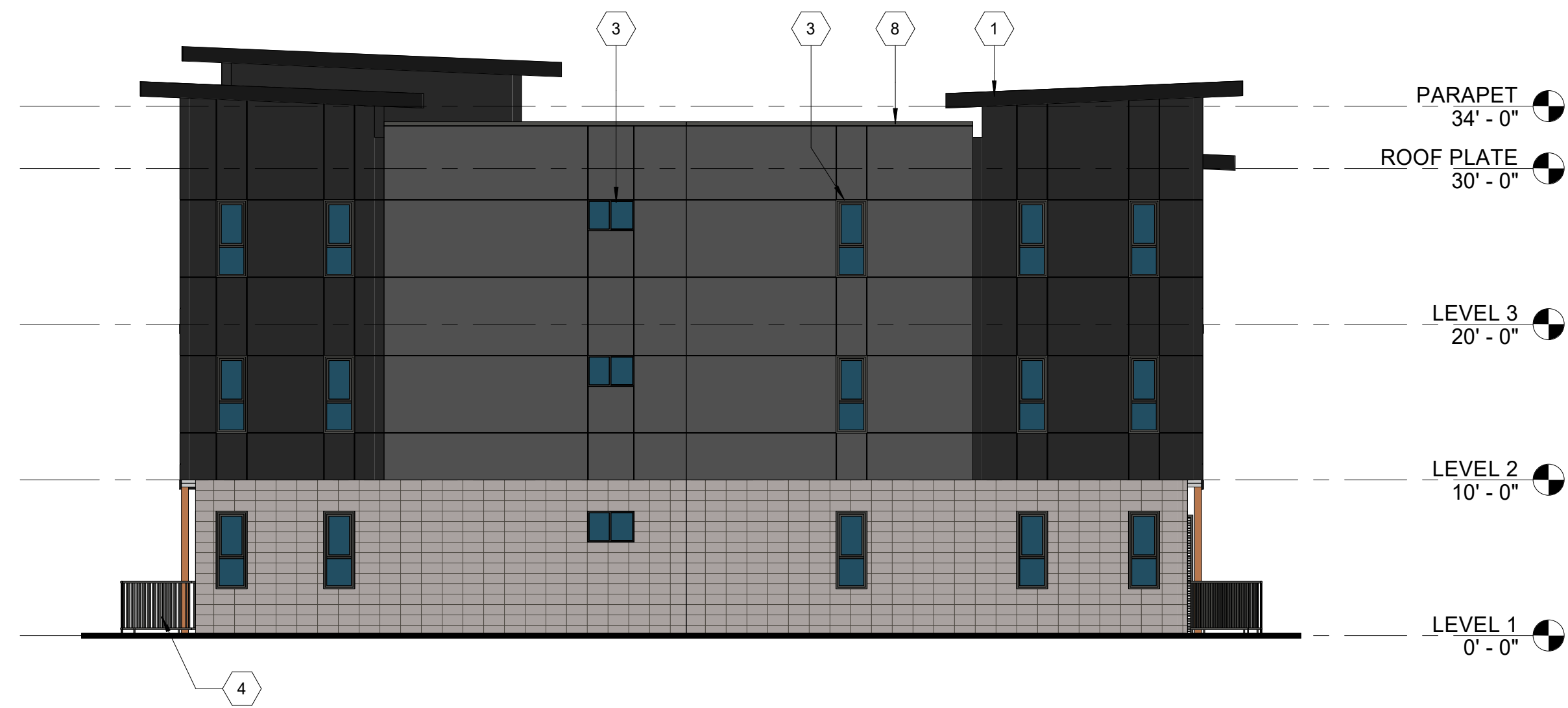
Drawing Title: <b>EXTERIOR ELEVATION - BUILDING TYPE B</b>	Drawn By: AAE	Project No. 021112
Date: 03/10/2022	Revised: 05/20/2020	





1 BUILDING B1- BUILDINGS #4, #5, #6, #12, #15 - FRONT ELEVATION

1/8" = 1'-0" @ FULL SIZE  
0' 2' 4' 8'



2 BUILDING B1 - BUILDINGS #4, #5, #6, #12, #15 - LEFT ELEVATION

1/8" = 1'-0" @ FULL SIZE  
0' 2' 4' 8'

EXTERIOR FINISH MATERIAL LEGEND

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

KEYNOTES

1	FIBER CEMENT TRIM
2	STANDING SEAM METAL ROOFING
3	VINYL WINDOW
4	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
5	METAL STAIRS
6	HOLLOW METAL DOOR
7	HOLLOW METAL FRAME
8	COPING
9	PREMISES IDENTIFICATION PER OFC 505

Stamp

DRAWING REVISIONS

#	Date	Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Drawing Title:  
EXTERIOR ELEVATION -  
BUILDING TYPE B1

Date: 03/10/2022  
Drawn By: AAE

Revised: 05/20/2020  
Project No. 021112

Sheet No.

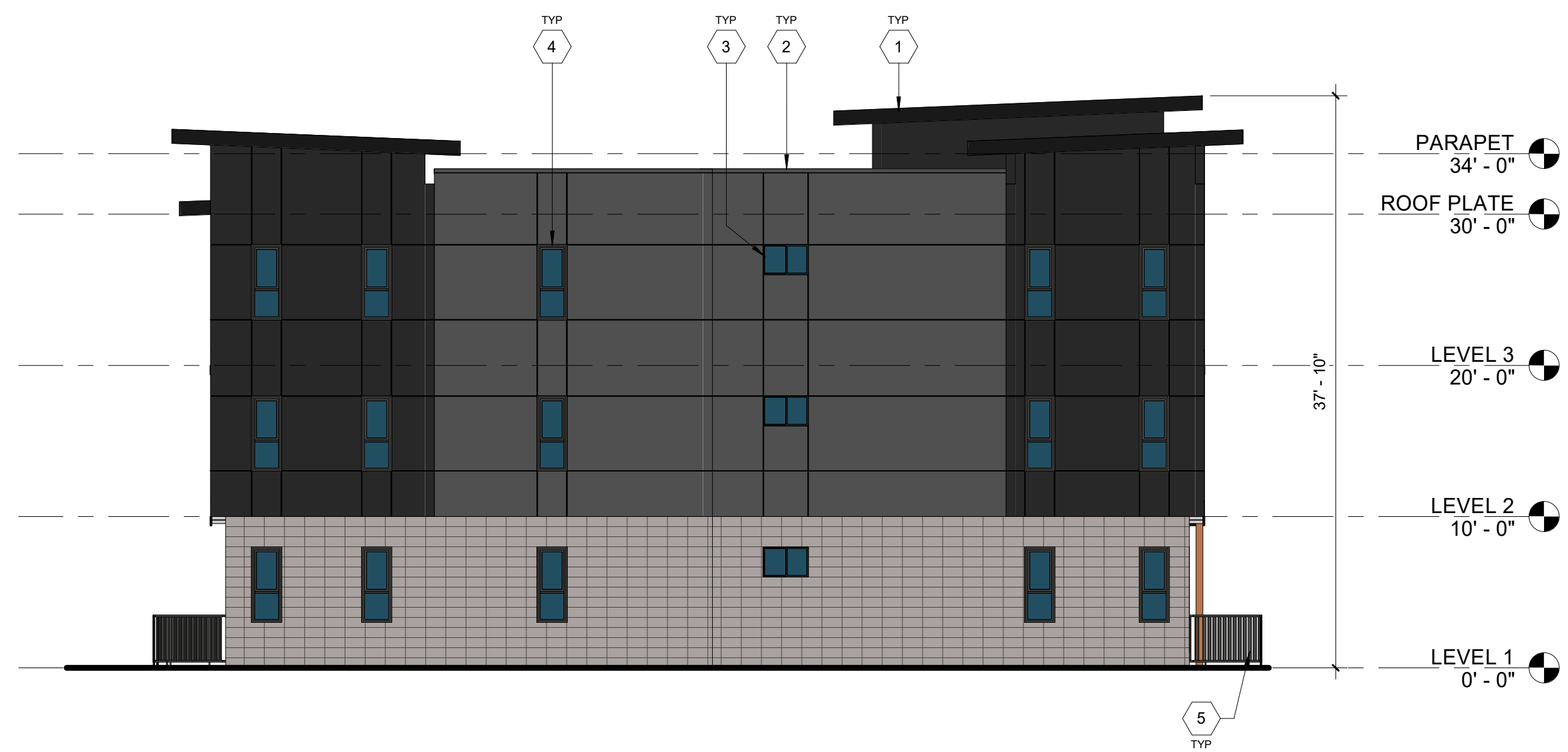
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**BLRB Architects**  
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 1250 Pacific Ave  
 Tacoma, WA 98402  
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 Portland, OR 97205  
 503.595.0270  
 721 SW Industrial  
 Bend, OR 97702  
 541.330.6906





1 BUILDING B1 - BUILDINGS #4, #5, #6, #12, #15 - REAR ELEVATION  
 1/8" = 1'-0" @ FULL SIZE  
 0' 2' 4' 8'



2 BUILDING B1 - BUILDINGS #4, #5, #6, #12, #15 - RIGHT ELEVATION  
 1/8" = 1'-0" @ FULL SIZE  
 0' 2' 4' 8'

**EXTERIOR FINISH MATERIAL LEGEND**

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

**KEYNOTES**

1	FIBER CEMENT TRIM
2	COPING
3	GYPSUM WALL BOARD TYPE X
4	VINYL WINDOW
5	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
6	VINYL SLIDING DOOR
7	STANDING SEAM METAL ROOFING
8	PRIVACY SCREEN

Stamp

DRAWING REVISIONS

CORNELIUS MULTIFAMILY

EXTERIOR ELEVATION - BUILDING TYPE B1

Sheet No.

A3.04

BLRB ARCHITECTS, P.S.

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621 SW Morrison St.  
 Bend, OR 97702  
 503.595.0270

721 SW Industrial  
 Portland, OR 97205  
 503.330.6906

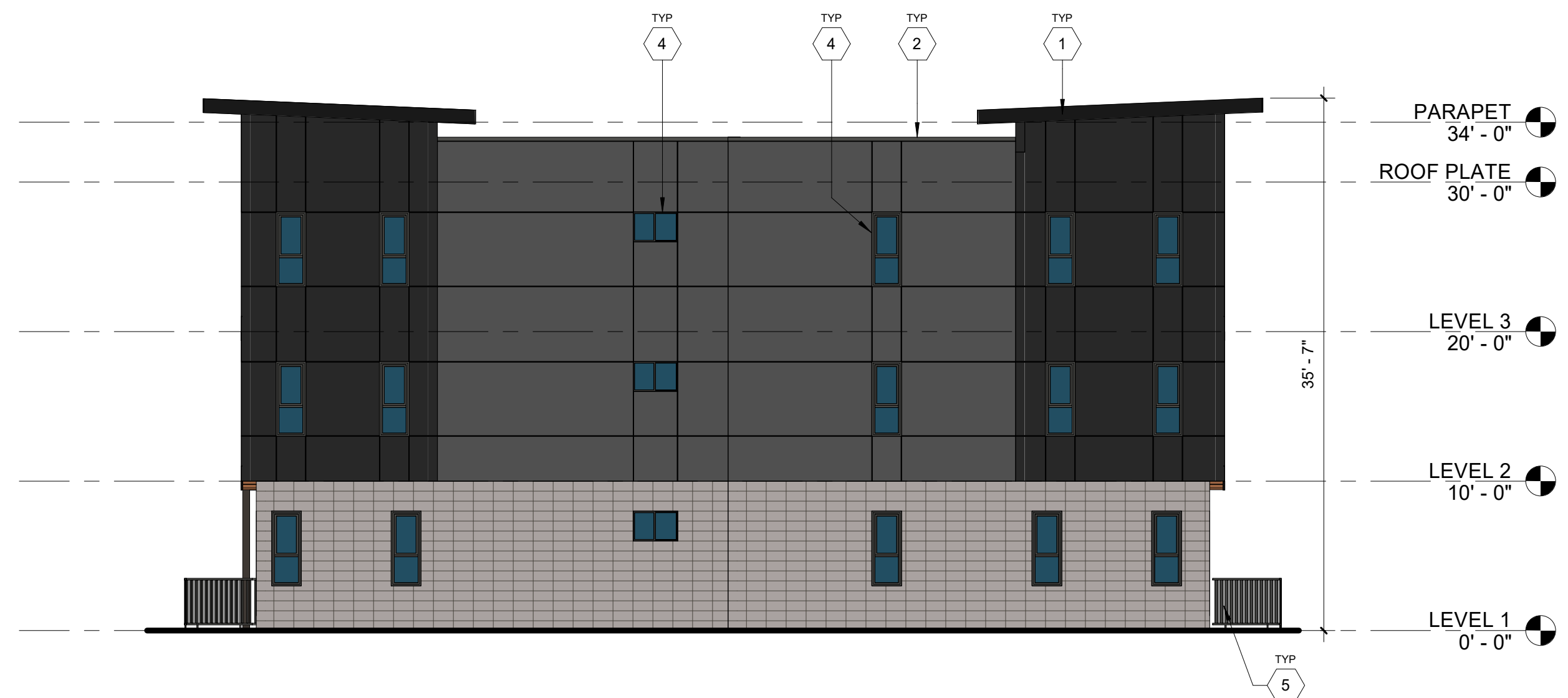
CORNELIUS MULTIFAMILY  
 CALIDA RESIDENTIAL, LLC  
 LAND USE SUBMITTAL

Drawn By: AAE  
 Date: 03/10/2022  
 Project No. 021112  
 Revised: 05/20/2020





1 BUILDING B2 - BUILDINGS #13, #14 - FRONT ELEVATION  
1/8" = 1'-0" @ FULL SIZE



2 BUILDING B2 - BUILDINGS #13, #14 - RIGHT ELEVATION  
1/8" = 1'-0" @ FULL SIZE

EXTERIOR FINISH MATERIAL LEGEND

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

KEYNOTES

1	FIBER CEMENT TRIM
2	COPING
3	STANDING SEAM METAL ROOFING
4	VINYL WINDOW
5	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
6	VINYL SLIDING DOOR
7	METAL STAIRS
8	GYPSUM WALL BOARD TYPE X
9	HOLLOW METAL FRAME
10	PREMISES IDENTIFICATION PER OFC 505

Stamp

DRAWING REVISIONS

Date Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Drawing Title:  
EXTERIOR ELEVATION -  
BUILDING TYPE B2

Date: 03/10/2022  
Drawn By: AAE

Revised: 05/20/2020  
Project No. 021112

Sheet No.

A3.05

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1250 Pacific Ave  
Tacoma, WA 98402  
253.627.5599

505 W Riverside  
Spokane, WA 99201  
509.252.5090

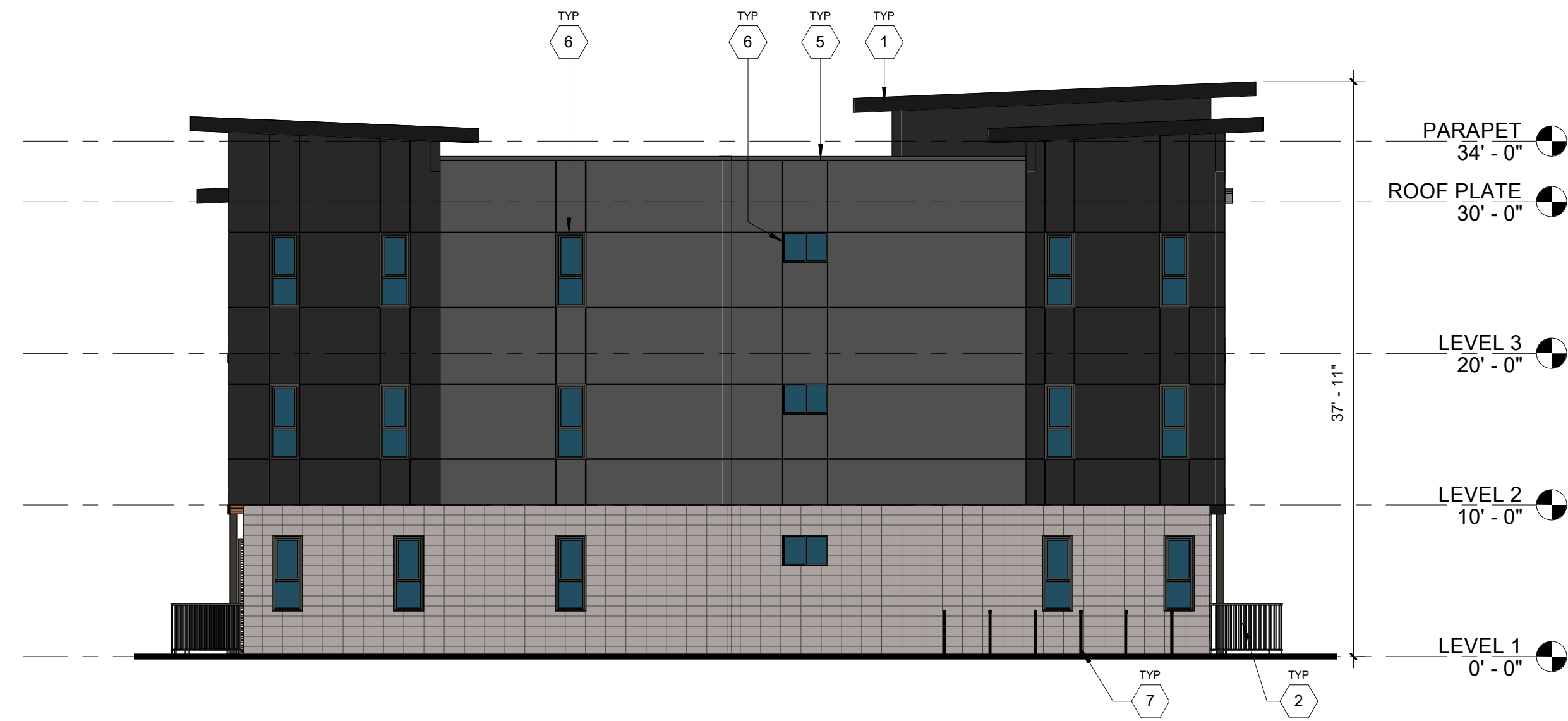
621 SW Morrison St.  
Portland, OR 97205  
503.595.0270

721 SW Industrial  
Bend, OR 97702  
541.330.6906





1 BUILDING B2 - BUILDINGS #13, #14 - REAR ELEVATION  
1/8" = 1'-0" @ FULL SIZE



2 BUILDING B2 - BUILDINGS #13, #14 - LEFT ELEVATION  
1/8" = 1'-0" @ FULL SIZE

**EXTERIOR FINISH MATERIAL LEGEND**

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

**KEYNOTES**

1	FIBER CEMENT TRIM
2	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
3	VINYL SLIDING DOOR
4	STANDING SEAM METAL ROOFING
5	COPING
6	VINYL WINDOW
7	BICYCLE RACK - SHORT TERM (2) BICYCLES PER RACK

**BLRB Architects**  
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721 SW Industrial  
 Bend, OR 97702  
 541.330.6906

DRAWING REVISIONS	
#	Description

**CORNELIUS MULTIFAMILY**  
 CALIDA RESIDENTIAL, LLC  
**LAND USE SUBMITTAL**

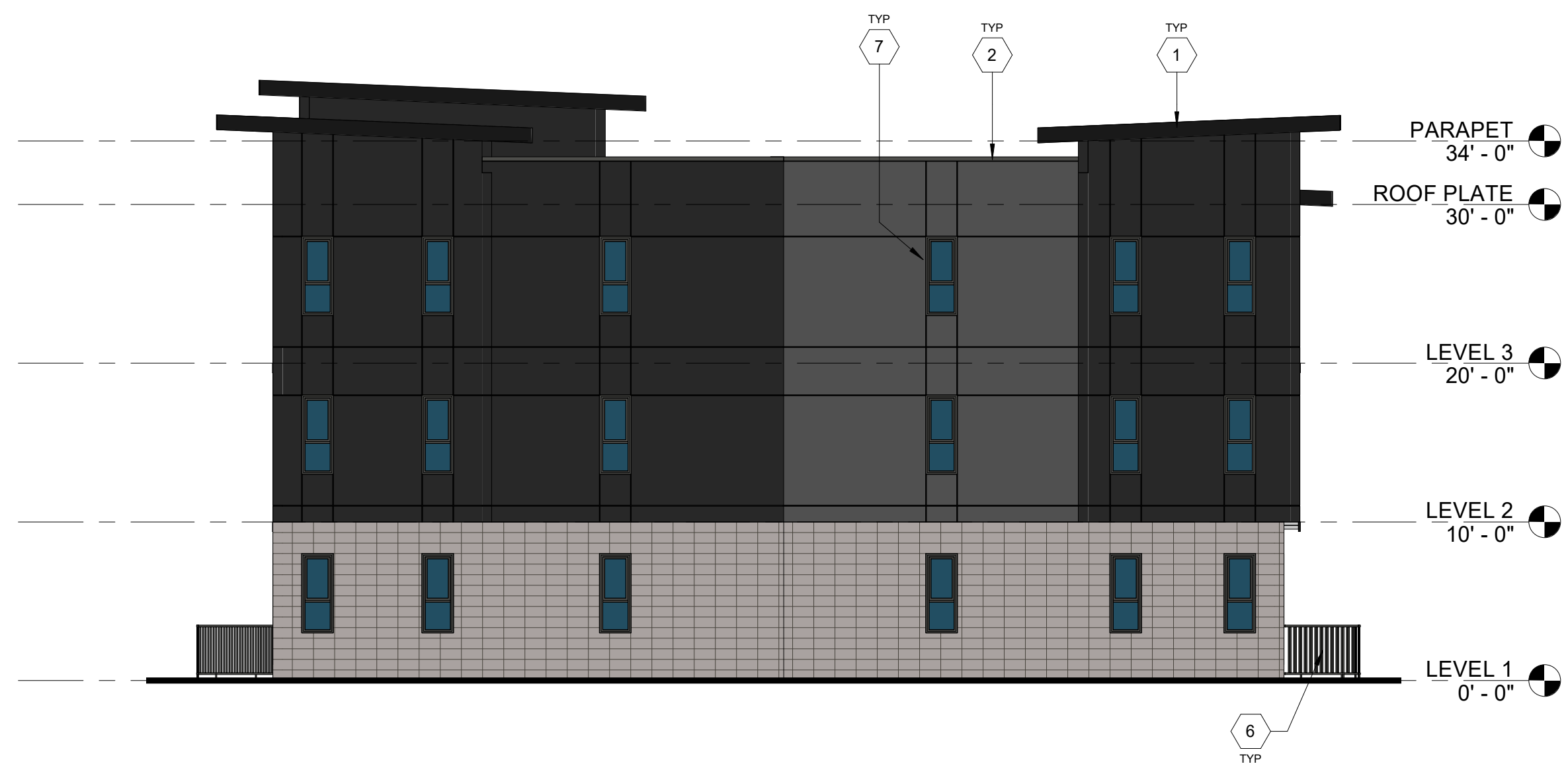
Drawing Title: <b>EXTERIOR ELEVATION - BUILDING TYPE B2</b>	Drawn By: AAE	Project No. 021112
Date: 03/10/2022	Revised: 05/20/2020	

Sheet No.  
**A3.06**





1 BUILDING B3 - BUILDING #9 - FRONT ELEVATION  
1/8" = 1'-0" @ FULL SIZE



2 BUILDING B3 - BUILDING #9 - RIGHT ELEVATION  
1/8" = 1'-0" @ FULL SIZE

**EXTERIOR FINISH MATERIAL LEGEND**

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

**KEYNOTES**

1	FIBER CEMENT TRIM
2	COPING
3	STANDING SEAM METAL ROOFING
4	VINYL SLIDING DOOR
5	METAL STAIRS
6	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
7	VINYL WINDOW
8	HOLLOW METAL DOOR
9	HOLLOW METAL FRAME
10	PREMISES IDENTIFICATION PER OFC 505

**BLRB Architects**  
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 1250 Pacific Ave  
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 253.627.5599

621 SW Morrison St.  
 503.920.0000  
 503.995.0270

721 SW Industrial  
 503.970.0202  
 541.330.6906

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#	Date	Description

**CORNELIUS MULTIFAMILY**  
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Drawing Title: <b>EXTERIOR ELEVATIONS - BUILDING TYPE B3</b>	
Date: 03/10/2022	Drawn By: AAE
Revised: 05/20/2020	Project No. 021112

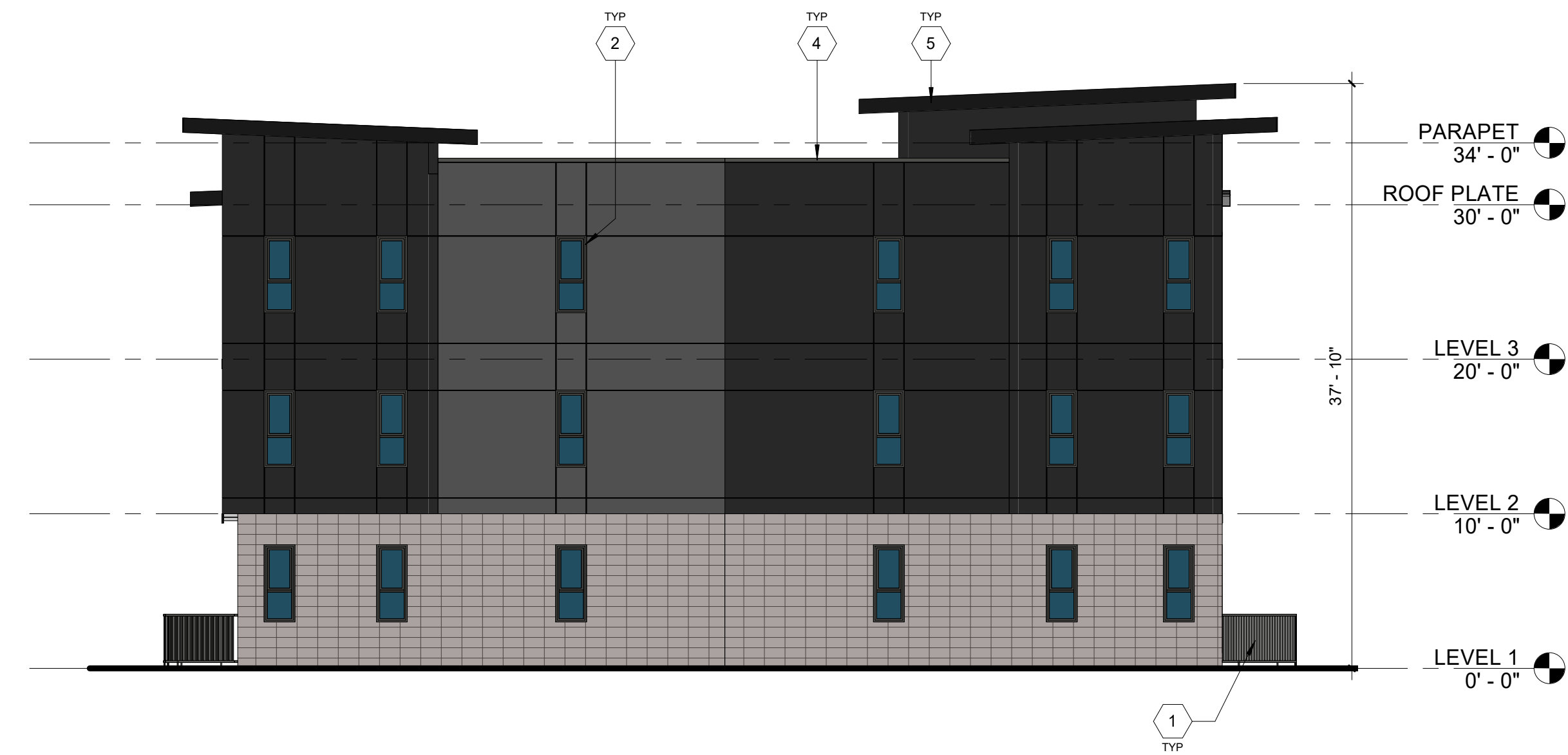
Sheet No.  
**A3.07**



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1 BUILDING B3 - BUILDING #9 - REAR ELEVATION  
1/8" = 1'-0" @ FULL SIZE



2 BUILDING B3 - BUILDING #9 - LEFT ELEVATION  
1/8" = 1'-0" @ FULL SIZE

EXTERIOR FINISH MATERIAL LEGEND

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

KEYNOTES

1	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
2	VINYL WINDOW
3	VINYL SLIDING DOOR
4	COPING
5	FIBER CEMENT TRIM
6	STANDING SEAM METAL ROOFING
7	PRIVACY SCREEN

Stamp

DRAWING REVISIONS

#

Date

Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

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Drawing Title:  
EXTERIOR ELEVATIONS -  
BUILDING TYPE B3

Date: 03/10/2022  
Drawn By: AAE

Revised: 05/20/2020  
Project No. 021112

Sheet No.

A3.08

BLRB ARCHITECTS, P.S.

BLRB architects

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509.252.5090

621 SW Morrison St.  
Portland, OR 97205  
503.595.0270

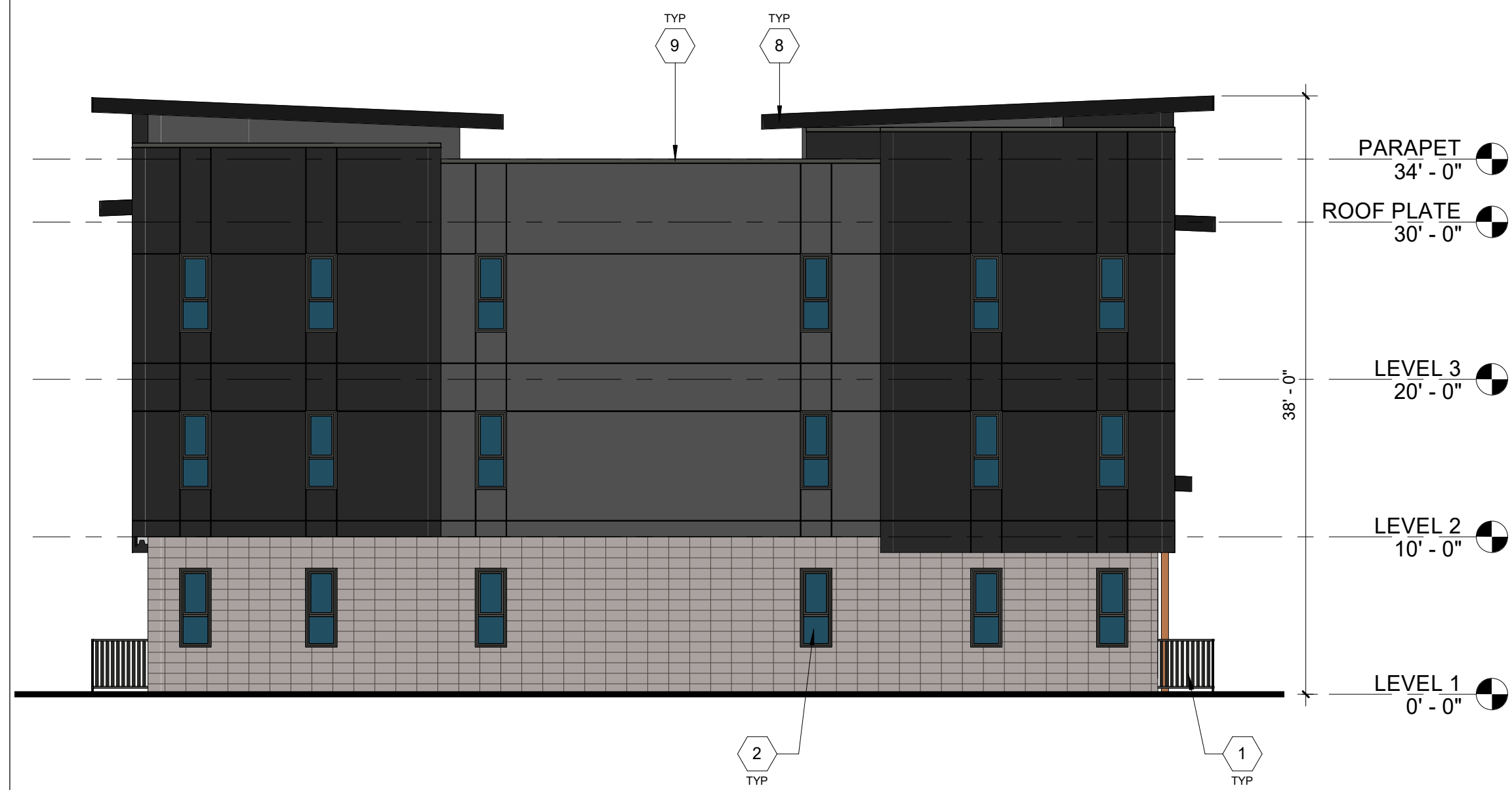
721 SW Industrial  
Bend, OR 97702  
541.330.6906



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1 BUILDING C - BUILDINGS #8, #16 - FRONT ELEVATION  
 1/8" = 1'-0" @ FULL SIZE  
 0' 2' 4' 8'



2 BUILDING C - BUILDINGS #8, #16 - LEFT ELEVATION  
 1/8" = 1'-0" @ FULL SIZE  
 0' 2' 4' 8'

KEYNOTES	
1	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
2	VINYL WINDOW
3	VINYL SLIDING DOOR
4	HOLLOW METAL DOOR
5	HOLLOW METAL FRAME
6	METAL STAIRS
7	STANDING SEAM METAL ROOFING
8	FIBER CEMENT TRIM
9	COPING
10	PREMISES IDENTIFICATION PER OFC 505

EXTERIOR FINISH MATERIAL LEGEND	
	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

**BLRB Architects**  
 TACOMA | SPOKANE | PORTLAND | BEND  
 1250 Pacific Ave  
 505 W Riverside  
 621 SW Morrison St  
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 WA 98201  
 OR 97205  
 OR 97102  
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DRAWING REVISIONS	
#	Date

CORNELIUS MULTIFAMILY  
 CALIDA RESIDENTIAL, LLC  
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EXTERIOR ELEVATION - BUILDING TYPE C  
 Drawing Title:  
 Date: 03/10/2022  
 Drawn By: AAE  
 Project No: 021112  
 Revised: 05/20/2020  
 Sheet No.  
**A3.09**  
 BLRB ARCHITECTS, P.S.

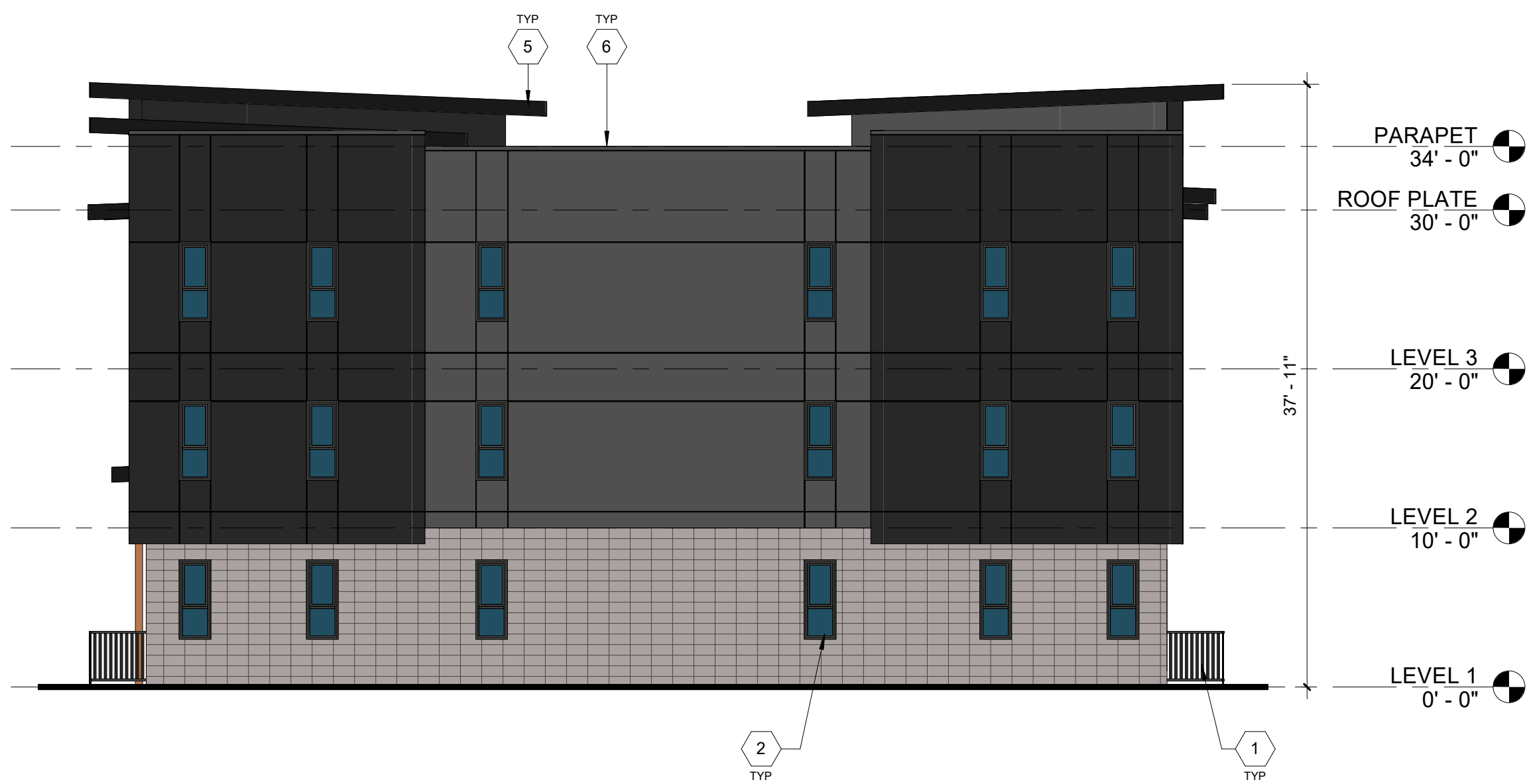


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1 BUILDING C - BUILDINGS #8, #16 - REAR ELEVATION

1/8" = 1'-0" @ FULL SIZE  
0' 2' 4' 8'



2 BUILDING C - BUILDINGS #8, #16 - RIGHT ELEVATION

1/8" = 1'-0" @ FULL SIZE  
0' 2' 4' 8'

KEYNOTES	
1	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
2	VINYL WINDOW
3	VINYL SLIDING DOOR
4	STANDING SEAM METAL ROOFING
5	FIBER CEMENT TRIM
6	COPING

EXTERIOR FINISH MATERIAL LEGEND	
	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

**BLRB Architects**  
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221 SW Industrial  
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Bend, OR 97705  
503.595.0270

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DRAWING REVISIONS

#	Date	Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

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Drawing Title:  
**EXTERIOR ELEVATION - BUILDING TYPE C**

Date:  
03/10/2022

Drawn By:  
AAE

Project No.  
021112

Sheet No.

**A3.10**



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4 BUILDING TYPE D2 - BUILDING #2 - EAST ELEVATION - BUILDING #1 TYPE D1 SIMILAR

1/8" = 1'-0" @ FULL SIZE  
0' 2' 4' 8'



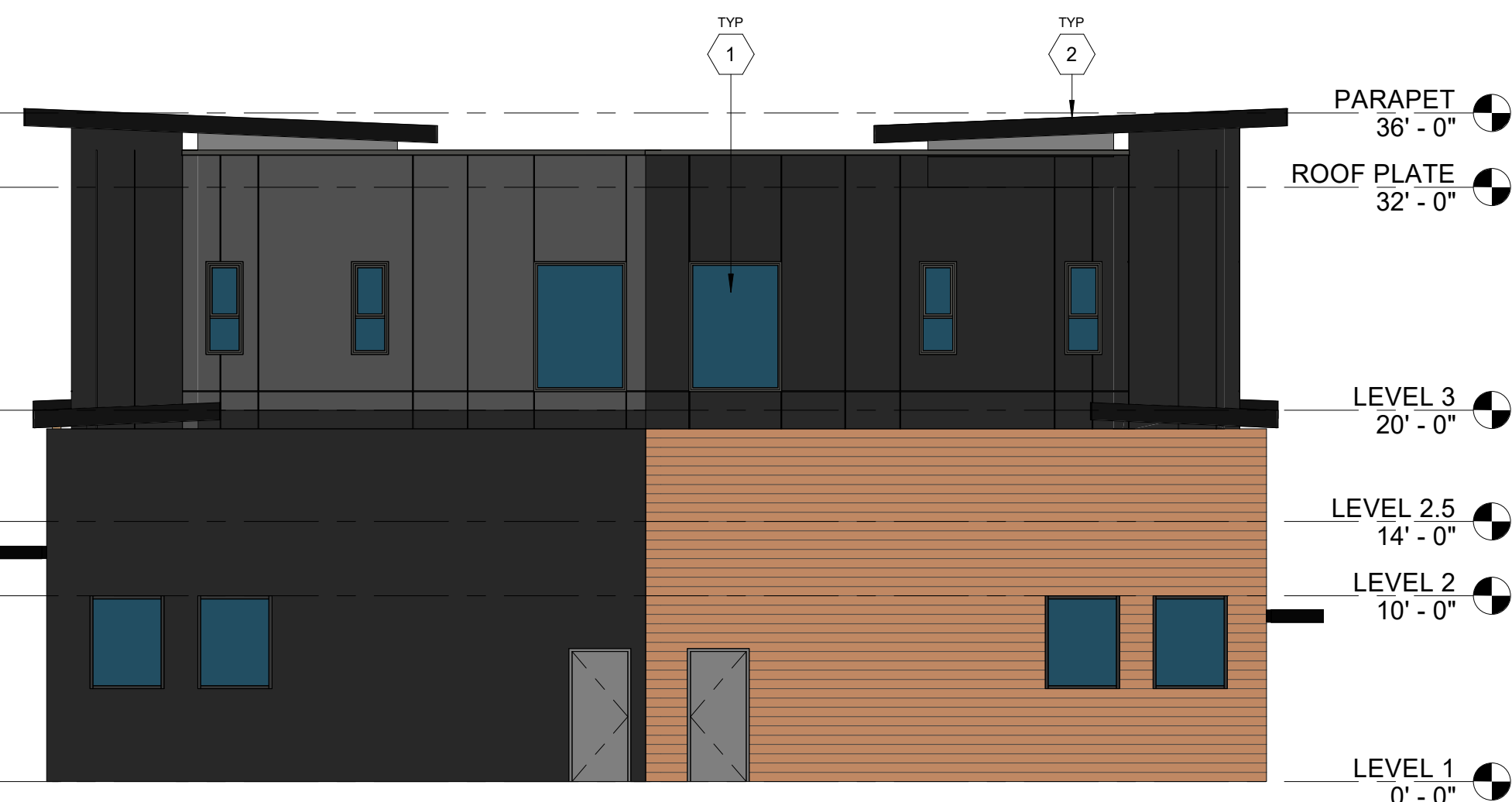
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1/8" = 1'-0" @ FULL SIZE



2 BUILDING TYPE D2 - BUILDING #2 - WEST ELEVATION - BUILDING #1 TYPE D1 SIMILAR

1/8" = 1'-0" @ FULL SIZE  
0' 2' 4' 8'



1 BUILDING TYPE D2 - BUILDING #2 - NORTH ELEVATION - BUILDING #1 TYPE D1 SIMILAR

1/8" = 1'-0" @ FULL SIZE  
0' 2' 4' 8'

KEYNOTES	
1	VINYL WINDOW
2	STANDING SEAM METAL ROOFING
3	ALUMINUM FRAMED STOREFRONT WINDOW SYSTEM

**EXTERIOR FINISH MATERIAL LEGEND**

	MASONRY VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY
	FIBER CEMENT REVEAL PANEL - MEDIUM GRAY

Stamp

DRAWING REVISIONS

#	Date	Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Drawing Title:  
**EXTERIOR ELEVATION - BUILDING TYPE D2**

Drawn By: AAE

Date: 03/10/2022

Project No. 021112

Sheet No.

**A3.11**

BLRB ARCHITECTS, P.S.

**BLRB Architects**

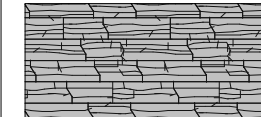
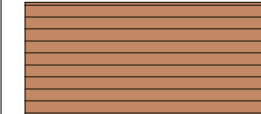
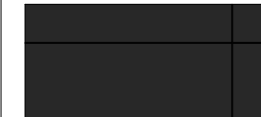
TACOMA | SPOKANE | PORTLAND | BEND  
 1250 Pacific Ave  
 505 W Riverside  
 621 SW Morrison St  
 721 SW Industrial  
 WA 98402  
 WA 98201  
 OR 97205  
 OR 97202  
 253.627.6599  
 503.595.0270  
 541.330.6906

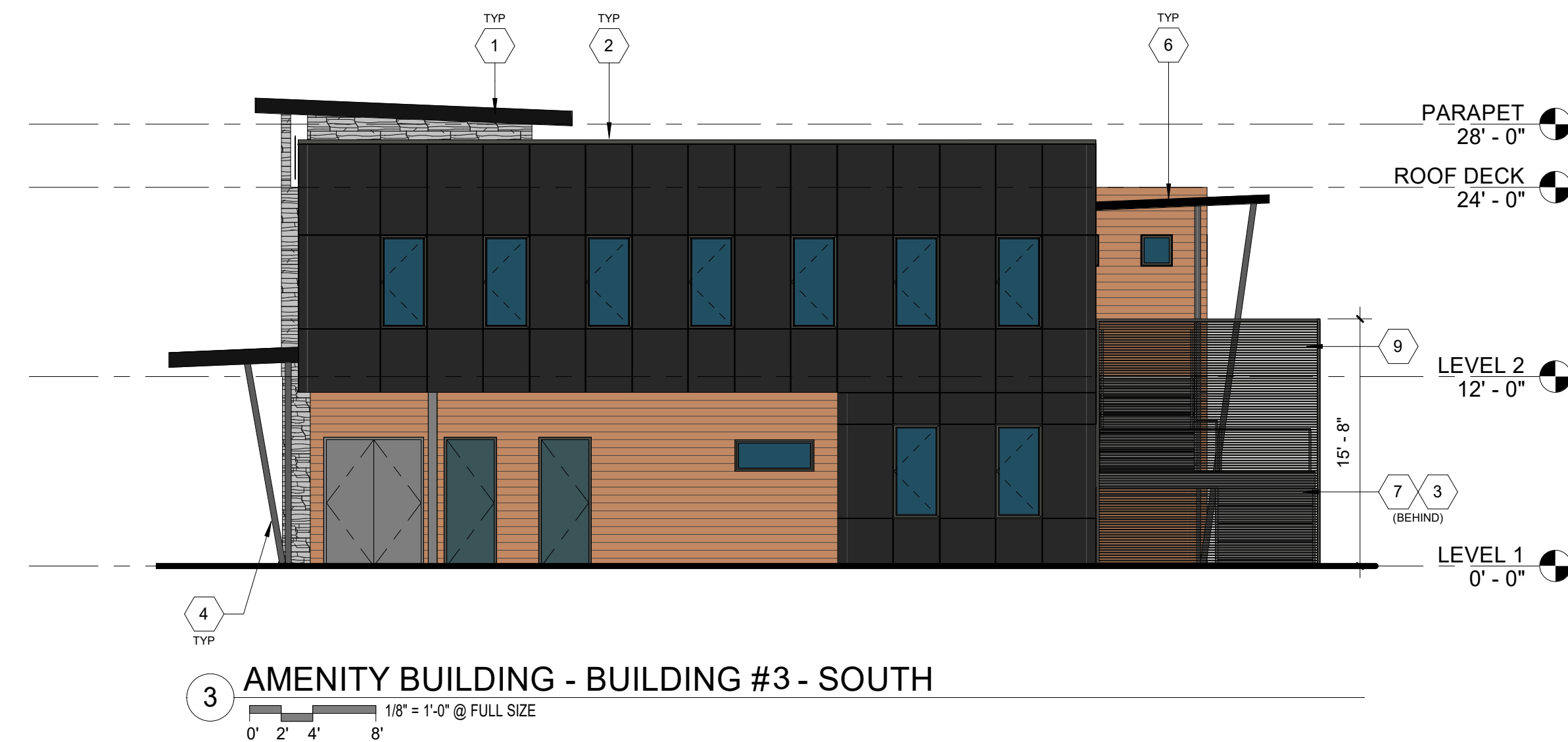
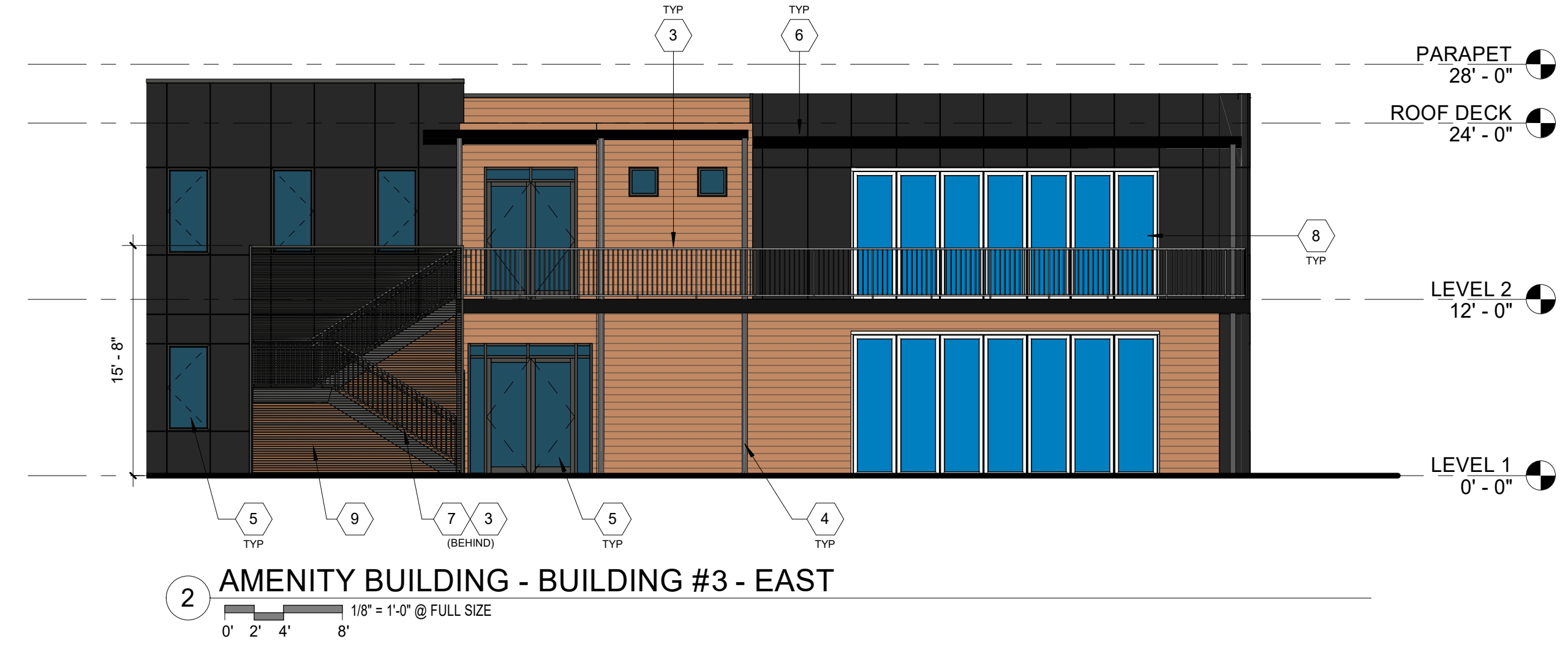
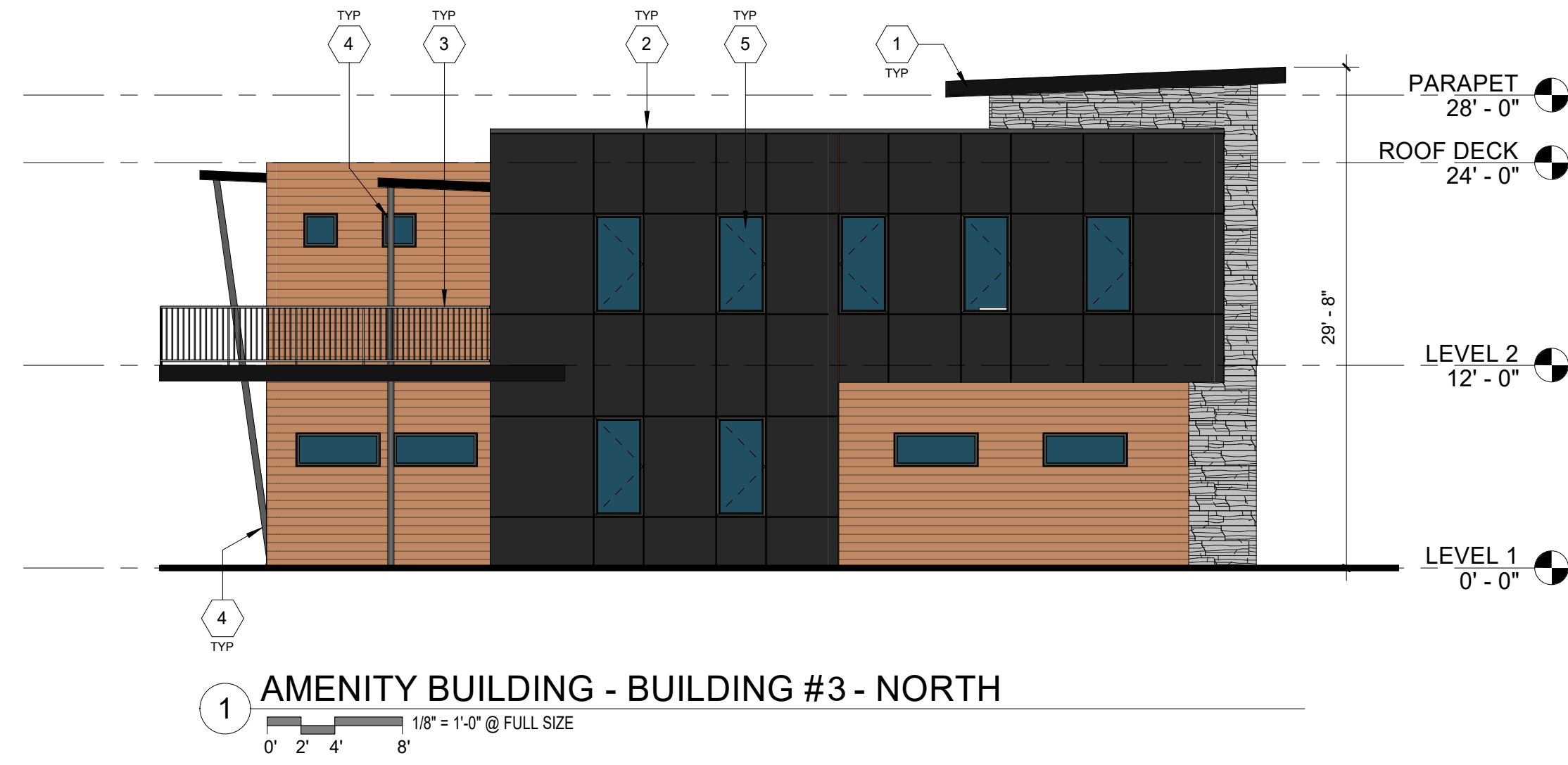


5/20/2022 3:37:29 PM

KEYNOTES	
1	FIBER CEMENT TRIM
2	COPING
3	RAILING GALVANIZED & PAINTED (FOR EXTERIOR)
4	STEEL COLUMN
5	ALUMINUM FRAMED STOREFRONT WINDOW SYSTEM
6	STANDING SEAM METAL ROOFING
7	METAL STAIRS
8	ALUMINUM FOLDING GLASS DOOR
9	METAL TRELLIS FENCE
10	PREMISES IDENTIFICATION PER OFC 505

**EXTERIOR FINISH MATERIAL LEGEND**

	LEDGESTONE VENEER
	WOOD-LOOK SIDING
	FIBER CEMENT REVEAL PANEL - DARK GRAY



Stamp

DRAWING REVISIONS

#	Date	Description

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Drawing Title:  
**EXTERIOR ELEVATION - AMENITY BUILDING**

Date: 03/10/2022  
Drawn By: AAE

Revised: 05/20/2020  
Project No. 021112

Sheet No.

**A3.12**

BLRB ARCHITECTS, P.S.

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509.252.5090

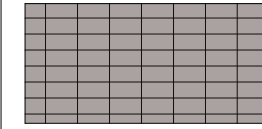
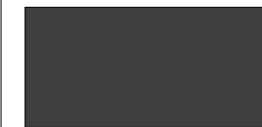
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Bend, OR 97702  
541.330.6906

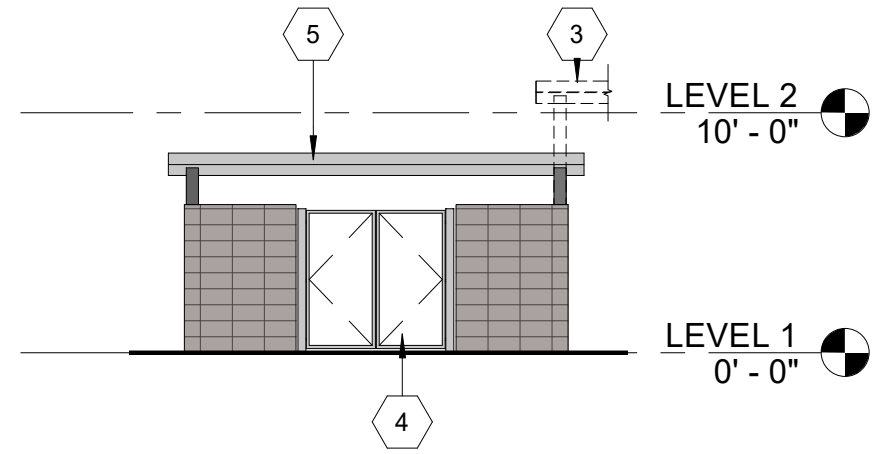


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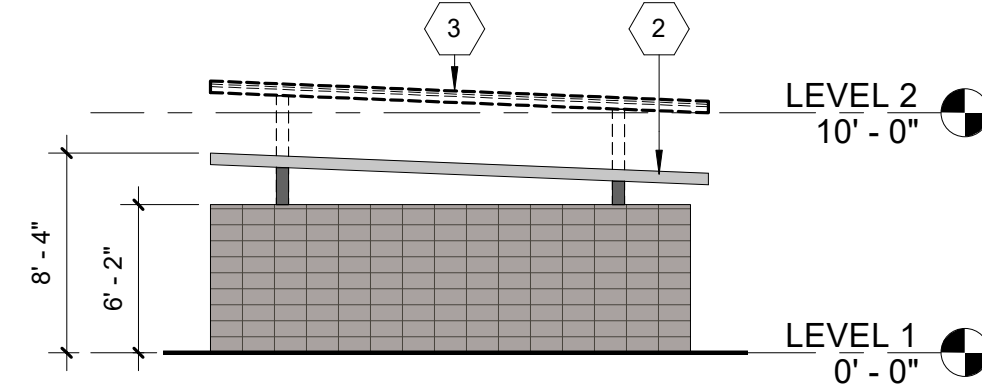
KEYNOTES	
1	METAL ROOF
2	METAL ROOF TO MATCH CARPORTS
3	PRE-ENGINEERED CARPORT - REF TYP. ELEVATIONS, A3.10
4	TRASH ENCLOSURE GATE
5	STANDING SEAM METAL ROOFING
6	PRECAST CONCRETE BOLLARD
7	VINYL WINDOWS
8	FIBER CEMENT TRIM
9	OVERHEAD COILING DOORS
10	VINYL WINDOW
11	HOLLOW METAL DOOR
12	HOLLOW METAL FRAME

**EXTERIOR FINISH MATERIAL LEGEND**

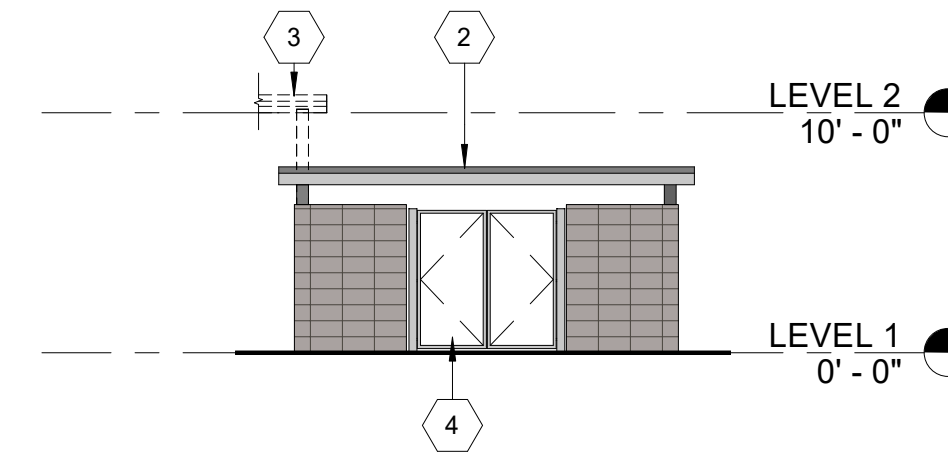
	MASONRY VENEER
	BRAKE METAL



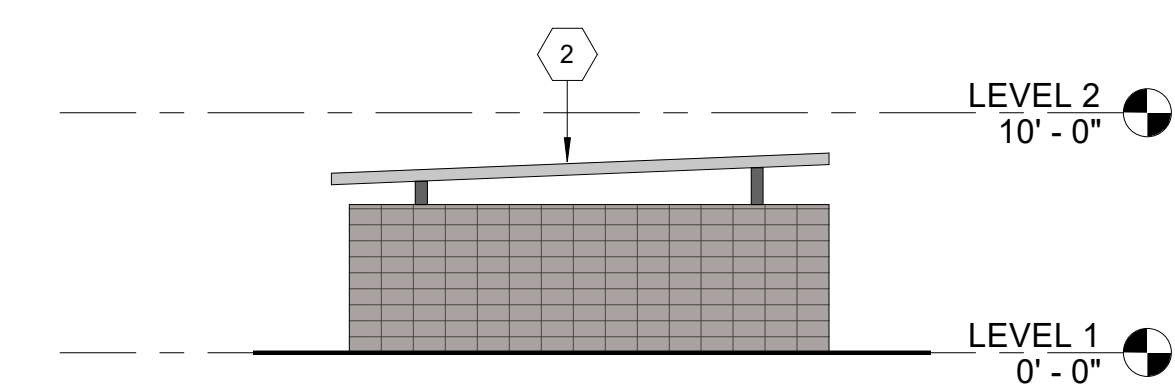
1 TYP TRASH ENCLOSURE - DRIVE AISLE SIDE  
1/8" = 1'-0" @ FULL SIZE



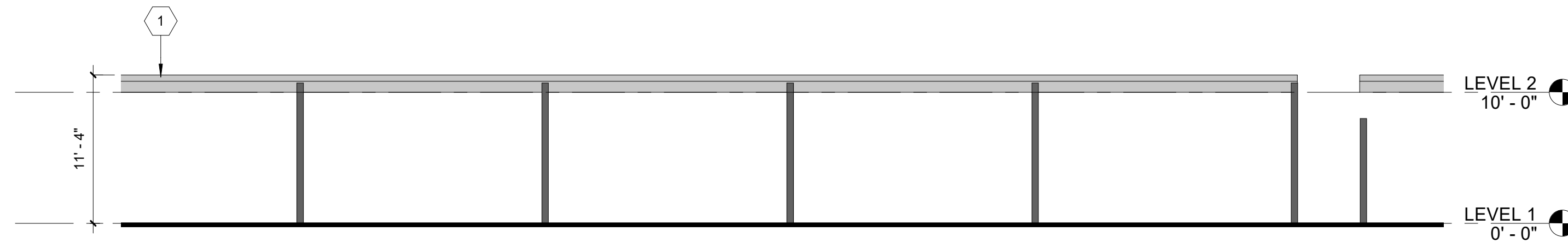
2 TYP TRASH ENCLOSURE - CARPORT SIDE (WHERE OCCURS)  
1/8" = 1'-0" @ FULL SIZE



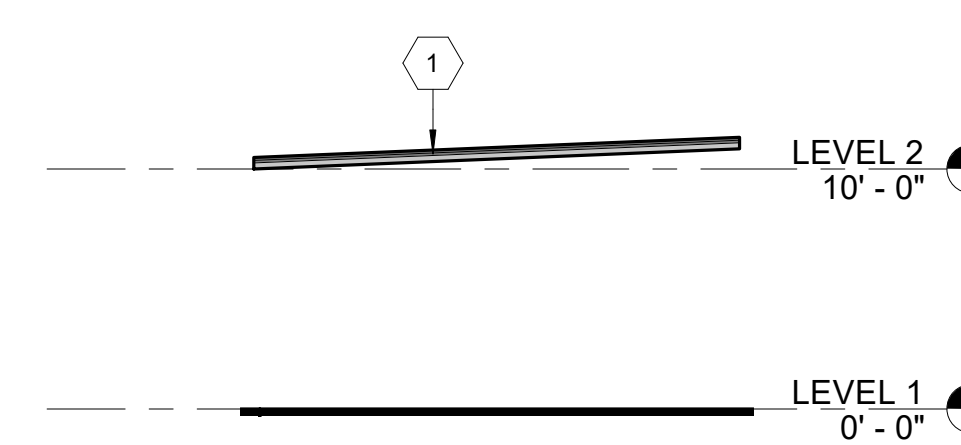
3 TYP TRASH ENCLOSURE - SIDE WALK SIDE  
1/8" = 1'-0" @ FULL SIZE



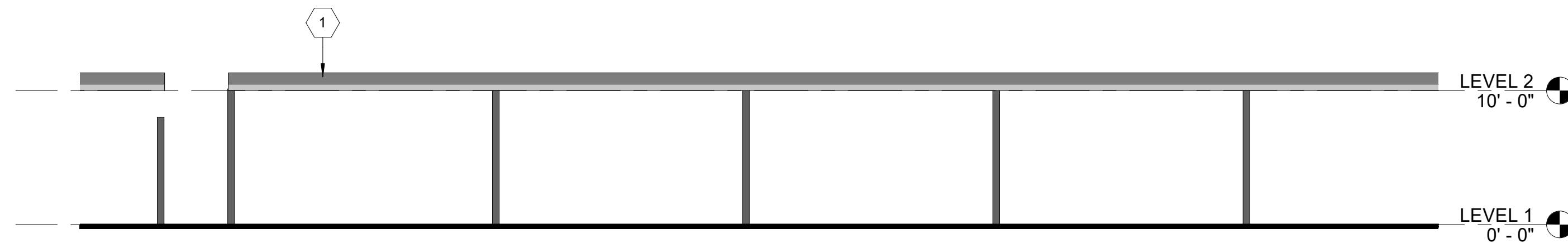
4 TYP TRASH ENCLOSURE - SIDE  
1/8" = 1'-0" @ FULL SIZE



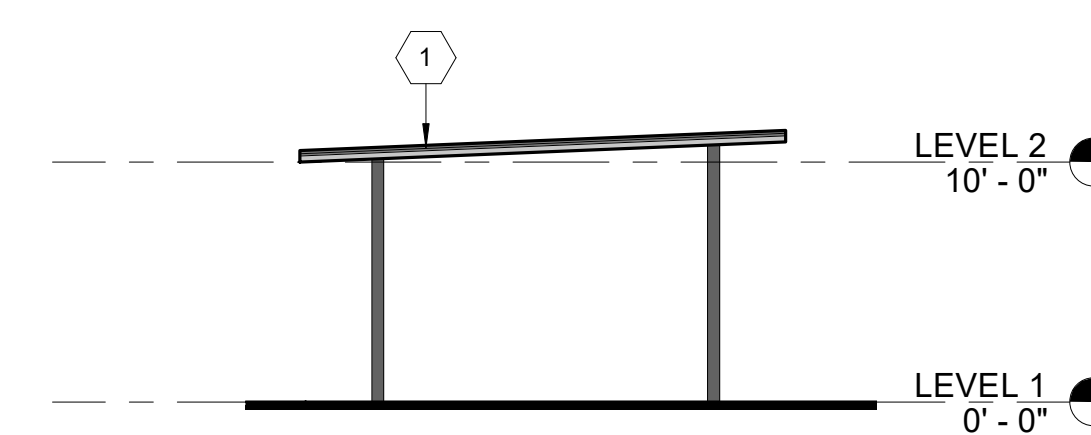
5 TYP CARPORT - DRIVE AISLE SIDE  
1/8" = 1'-0" @ FULL SIZE



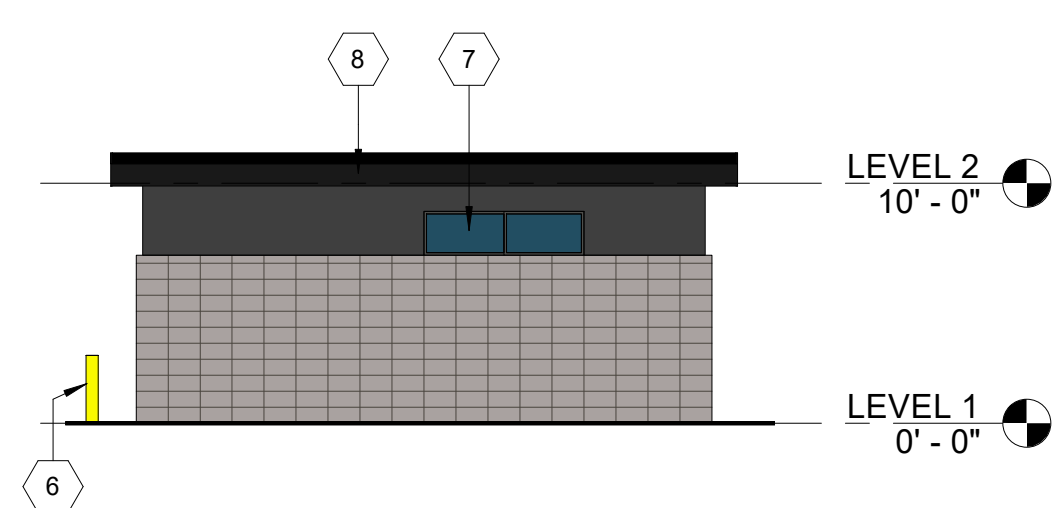
6 TYP CARPORT - SIDE  
1/8" = 1'-0" @ FULL SIZE



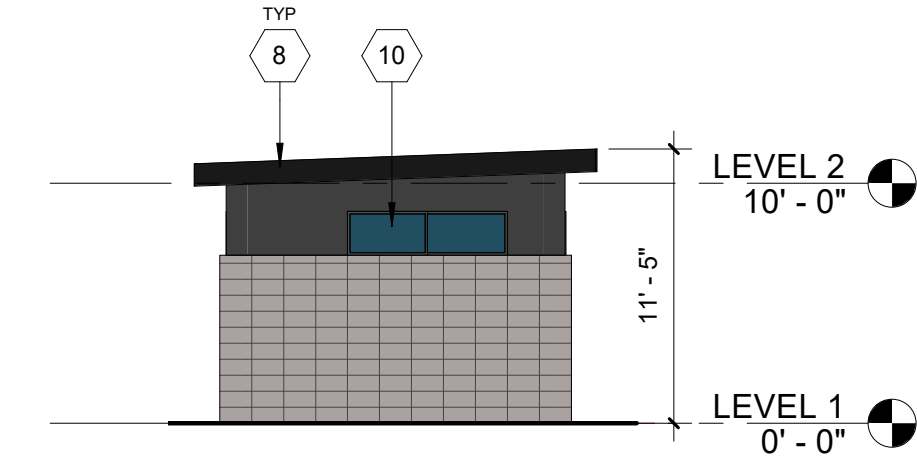
7 TYP CARPORT - SIDEWALK SIDE  
1/8" = 1'-0" @ FULL SIZE



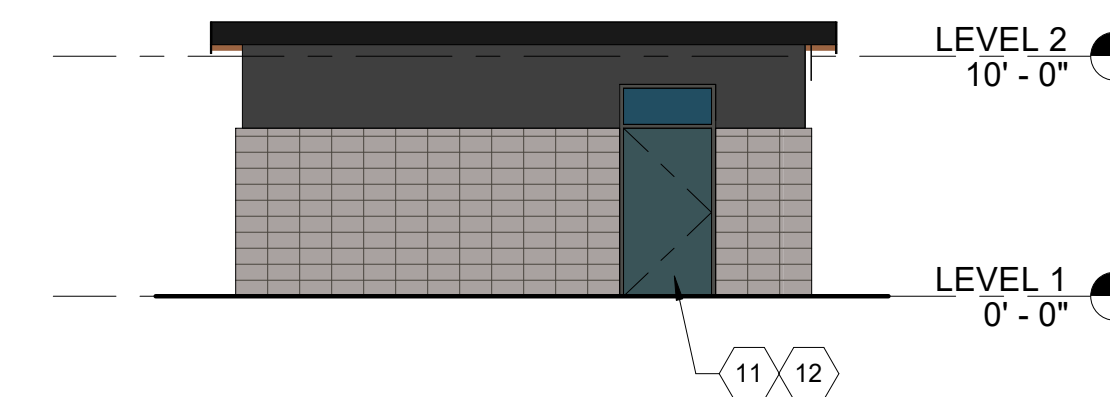
8 TYP CARPORT - SIDE.  
1/8" = 1'-0" @ FULL SIZE



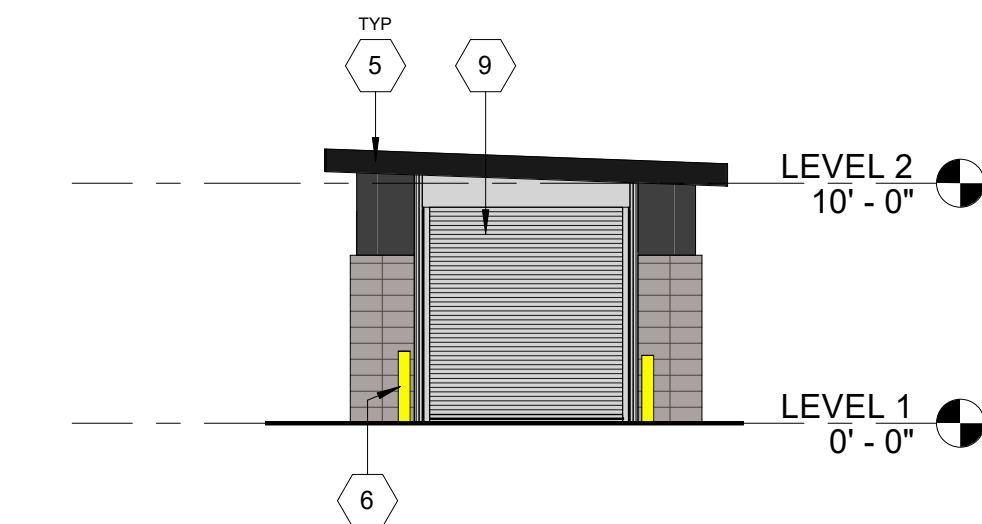
9 MAINT. SHED - NORTH ELEVATION  
1/8" = 1'-0" @ FULL SIZE



10 MAINT. SHED - WEST ELEVATION  
1/8" = 1'-0" @ FULL SIZE



11 MAINTENANCE SHED - SOUTH ELEVATION  
1/8" = 1'-0" @ FULL SIZE



12 MAINTENANCE SHED - EAST ELEVATION  
1/8" = 1'-0" @ FULL SIZE

Stamp

DRAWING REVISIONS

Date

Description

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CALIDA RESIDENTIAL, LLC

LAND USE SUBMITTAL

Drawing Title: EXTERIOR ELEVATION - TYP SITE STRUCTURES

Date: 03/10/2022

Project No. 021112

Sheet No.

Drawn By: AAE

Revised: 05/20/2020

021112

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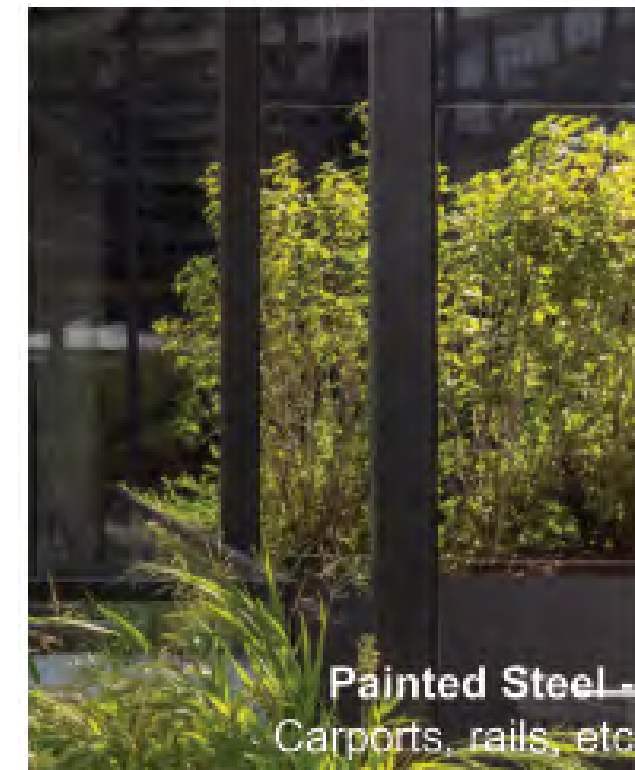
A3.14

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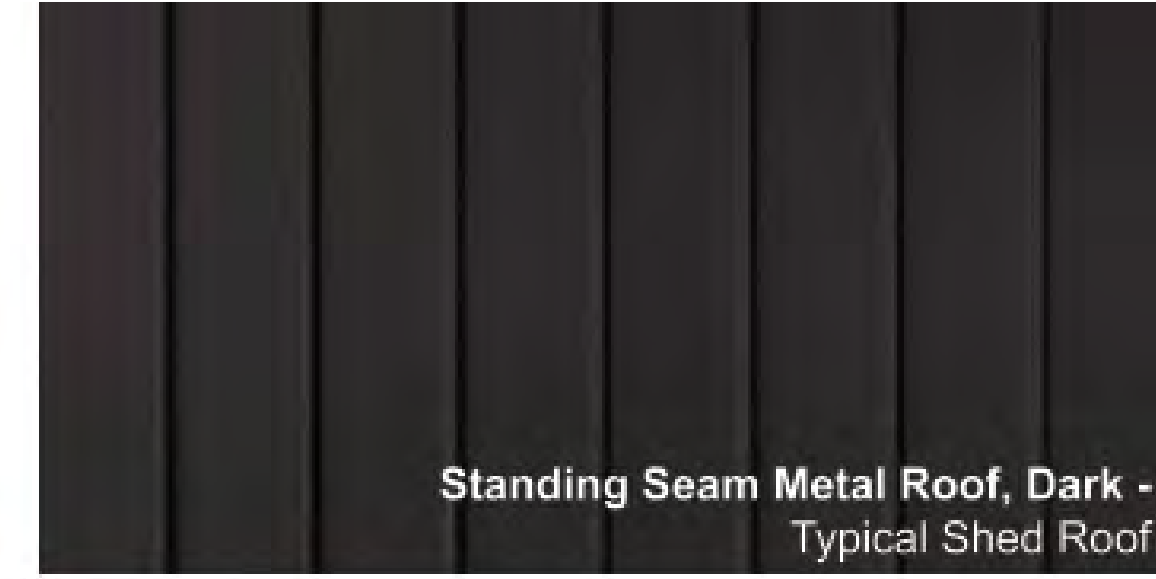
Painted Steel -  
Carports, rails, etc



Manufactured Stone Veneer -  
Amenity Building



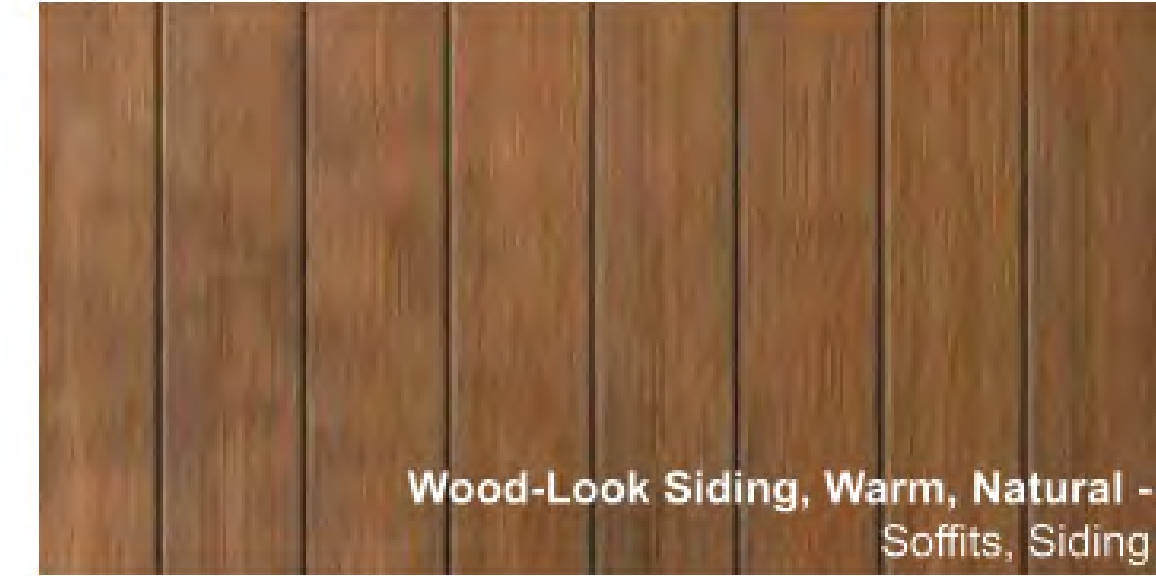
Masonry, Masonry Veneer -  
Trash enclosures, First Floor Exterior



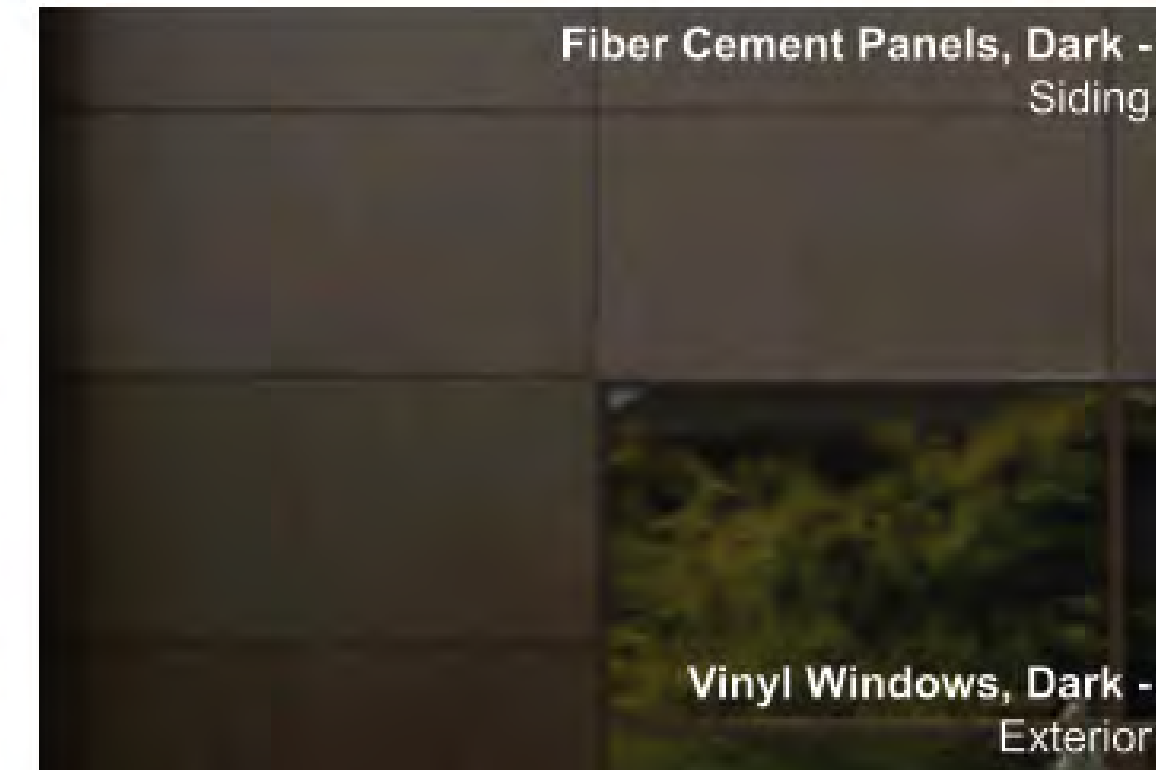
Standing Seam Metal Roof, Dark -  
Typical Shed Roof



Prefinished Gauge Metal, Dark -  
Fascias, Trim



Wood-Look Siding, Warm, Natural -  
Soffits, Siding



Fiber Cement Panels, Dark -  
Siding

Vinyl Windows, Dark -  
Exterior

Sheet No.

A9.01

Drawing Title:  
EXTERIOR MATERIALS

Date: 03/10/2022  
Revised: 05/20/2020  
Drawn By: BT  
Project No: 021112

CORNELIUS MULTIFAMILY

CALIDA RESIDENTIAL, LLC

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Stamp

DRAWING REVISIONS

# Date Description

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# ELECTRICAL LEGEND

## POWER SYMBOLS

SYMBOL	IDENTIFICATION
	MOTOR CONNECTION
	GENERATOR CONNECTION
	FUSED DISCONNECT SWITCH XX/XX/XX = AMP SWITCH/POLES/AMP FUSE
	NON-FUSED DISCONNECT SWITCH XX/XX/XX = AMP SWITCH/POLES/AMP FUSE
	JUNCTION BOX
	C = CEILING MOUNTED
	JUNCTION BOX; WALL MOUNTED
	JUNCTION BOX WITH WHIP-STYLE CONNECTION TO POWERED FURNITURE; POWER AND/OR DATA
	TRANSFORMER; BOTTOM OF T DESIGNATES FRONT SIDE
	PANELBOARD OR TERMINAL CABINET; SURFACE MOUNTED
	PANELBOARD OR TERMINAL CABINET; FLUSH MOUNTED
	GROUND BUS BAR
	TRANSFORMER
	AUTOMATIC TRANSFER SWITCH
	NORMALLY OPEN CONTACT
	NORMALLY CLOSED CONTACT
	DRAWOUT CIRCUIT BREAKER; RATING AS SHOWN ON PLANS
	STATIONARY - CIRCUIT BREAKER; RATING AS SHOWN ON PLANS
	DISCONNECT; RATING AS SHOWN ON PLANS
	SWITCH AND FUSE; RATING AS SHOWN ON PLANS
	INVERTER
	GROUNDING POINT
	UTILITY METER

## LIGHTING SYMBOLS

SYMBOL	IDENTIFICATION
	LUMINAIRE; CEILING OR SURFACE MOUNTED
	LUMINAIRE; WALL MOUNTED
	AREA POLE WITH MOUNTED LUMINAIRE
	LUMINAIRE ON EMERGENCY POWER
	EXIT SIGN; CEILING MOUNTED; ARROWS AND FACES AS SHOWN ON PLANS
	EXIT SIGN; WALL MOUNTED; ARROWS AND FACES AS SHOWN ON PLANS
	EXIT SIGN; WALL MOUNTED; ARROWS AND FACES AS SHOWN ON PLANS

## WIRING DEVICE SYMBOLS

SYMBOL	IDENTIFICATION
	20A, 125V, DUPLEX RECEPTACLE OUTLET
	20A, 125V, DOUBLE DUPLEX RECEPTACLE OUTLET
	SPECIAL PURPOSE RECEPTACLE OUTLET; RATING AS SHOWN; +18" AFF TP CENTERLINE
	20A, 125V, SINGLE RECEPTACLE OUTLET
	A = ABOVE COUNTER AG = ABOVE COUNTER GFCI AU = ABOVE COUNTER AND USB PORTS C = CEILING MOUNTED G = GFCI S = SWITCHED RECEPTACLE U = WITH (2) USB PORTS W = WEATHERPROOF COVER AND GFCI
	20A, 125V, DUPLEX RECEPTACLE OUTLET; FLOOR RECESSED
	20A, 125V, DOUBLE DUPLEX RECEPTACLE OUTLET; FLOOR RECESSED
	2-CHANNEL FLOOR BOX W/ (2) GANG POWER / (2) GANG DATA; PROVIDE 1" C. FROM EACH DATA OUTLET TO ACCESSIBLE CEILING SPACE. BASIS-OF-DESIGN: WIREMOLD 'RFB4'.
	SINGLE POLE SWITCH
	3 = THREE WAY SWITCH 4 = FOUR-WAY SWITCH D = DIMMER SWITCH K = KEY OPERATED SWITCH M = MOTOR RATED SWITCH T = INTERVAL TIMER V = LOW VOLTAGE SWITCH W = SINGLE POLE WEATHERPROOF SWITCH
	GLASS BREAK EPO SWITCH
	SENSOR SWITCH; WALL MOUNTED
	OCCUPANCY LIGHT CONTROL SWITCH; CEILING MOUNTED
	OCCUPANCY LIGHT CONTROL SWITCH; WALL MOUNTED
	D = DUAL TECH SENSOR V = DUAL TECH WITH VACANCY SENSOR MODE
	PHOTOSENSOR; CEILING MOUNTED
	D = DIMMING S = SWITCHED
	VARIABLE FREQUENCY DRIVE
	HORN
	HORN/STROBE COMBINATION

## ABBREVIATIONS

ABBRV.	IDENTIFICATION
AC	ALTERNATING CURRENT
AFF	ABOVE FINISH FLOOR
AF	FRAME RATING IN AMPERES
AS	SWITCH RATING IN AMPERES
AT	TRIP RATING IN AMPERES
ATS	AUTOMATIC TRANSFER SWITCH
AV	AUDIO VISUAL
C	CONDUIT
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CFOI	CONTRACTOR FURNISHED, OWNER INSTALLED
CEC	CALIFORNIA ELECTRIC CODE
CL	CENTERLINE
CONN	CONNECTED
DC	DIRECT CURRENT
DPDT	DOUBLE POLE, DOUBLE THROW
DPST	DOUBLE POLE SINGLE THROW
(E)	EXISTING TO REMAIN
ELEV	ELEVATOR
EMT	ELECTRO METALLIC TUBING
EWC	ELECTRIC WATER COOLER
EWB	ELECTRIC WATER HEATER
FVNR	FULL-VOLTAGE, NON-REVERSING
FVR	FULL-VOLTAGE, REVERSING
G	GROUND
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GND	GROUND
HID	HIGH INTENSITY DISCHARGE
IG	ISOLATED GROUND
LRC	LIGHTING RELAY CABINET
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRIC CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
PH	PHASE
PP	POWER POLE
PTS	PNEUMATIC TUBE STATION
PVC	POLYVINYL CHLORIDE CONDUIT
(R)	RELOCATE EXISTING
RSC	RIGID STEEL CONDUIT
SPD	SURGE PROTECTION DEVICE
SPDT	SINGLE POLE, DOUBLE THROW
SPST	SINGLE POLE, SINGLE THROW
TB	TERMINAL BACKBOARD
TC	TERMINAL CABINET
TEL	TELEPHONE
UON	UNLESS OTHERWISE NOTED
VFD	VARIABLE FREQUENCY DRIVE
W	WEATHERPROOF
WAP	WIRELESS ACCESS POINT
W/	WITH
(X)	REMOVE EXISTING
XFMR	TRANSFORMER
XP	EXPLOSION PROOF

### LEGEND NOTES:

- A. ALL SYMBOLS MAY NOT BE USED IN THIS PROJECT.
- B. SYMBOLS DO NOT ALWAYS REPRESENT REAL LIFE DIMENSIONS.
- C. SEE BOOK SPECIFICATIONS FOR ADDITIONAL INFORMATION.

## CONDUIT SYMBOLS

SYMBOL	IDENTIFICATION
	CONDUIT INSTALLED ABOVE FINISHED FLOOR OR GRADE
	CONDUIT INSTALLED BELOW FINISHED FLOOR OR BELOW GRADE
	INDICATES CONDUIT TURNING UP
	CONDUIT HOMERUN; ROUTE TO PANELBOARD, CABINET, OR TERMINAL BOARD INDICATED, AND TERMINATE CONDUCTORS TO CIRCUIT OVER CURRENT PROTECTIVE DEVICE

## TELECOM SYMBOLS

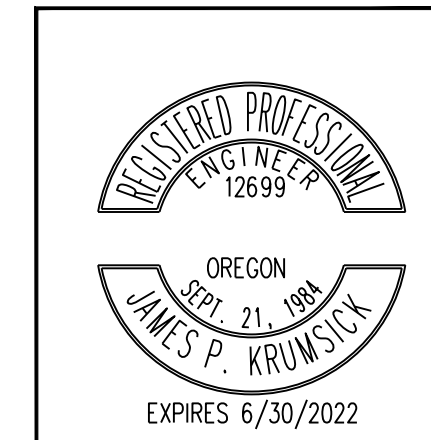
SYMBOL	IDENTIFICATION
	TELEPHONE/DATA OUTLET; PROVIDE 1" C. W/ PULL-STRING TO ACCESSIBLE CEILING SPACE
	C = CEILING MOUNTED; BACK BOX ONLY FOR FUTURE WAP UNLESS OTHERWISE NOTED

## DESIGNATION SYMBOLS

SYMBOL	IDENTIFICATION
	GRID LINE DESIGNATOR
	FEEDER DESIGNATION TAG
	SHEET KEYNOTE TAG
	MECHANICAL EQUIPMENT TAG
	CONTRACTOR EQUIPMENT TAG
	REVISION DELTA WITH REVISION NUMBER
	LETTER INDICATES FIXTURES CONTROL (WHERE SHOWN)
	NUMBER INDICATES CIRCUIT NUMBER (WHERE SHOWN)

DRAWING INDEX	
SHEET #	SHEET NAME
E0.1	ELECTRICAL - LEGEND
E1.0	ELECTRICAL - SITE PLAN OVERALL
E1.1A	ELECTRICAL - SITE PLAN PHOTOMETRICS - SECTOR A
E1.2A	ELECTRICAL - SITE PLAN PHOTOMETRICS - SECTOR B
E1.3A	ELECTRICAL - SITE PLAN PHOTOMETRICS - SECTOR C
E1.4A	ELECTRICAL - SITE PLAN PHOTOMETRICS - SECTOR D
E1.5A	ELECTRICAL - SITE PLAN PHOTOMETRICS - SECTOR E
E1.6A	ELECTRICAL - SITE PLAN PHOTOMETRICS - SECTOR F
E1.1B	ELECTRICAL - SITE LIGHTING CUTSHEET

**PRELIMINARY**  
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JOB NUMBER:	022.019
DRAWN BY:	NDE
CHECKED BY:	MRN

SHEET TITLE  
ELECTRICAL  
LEGEND

SHEET NUMBER  
**E0.1**

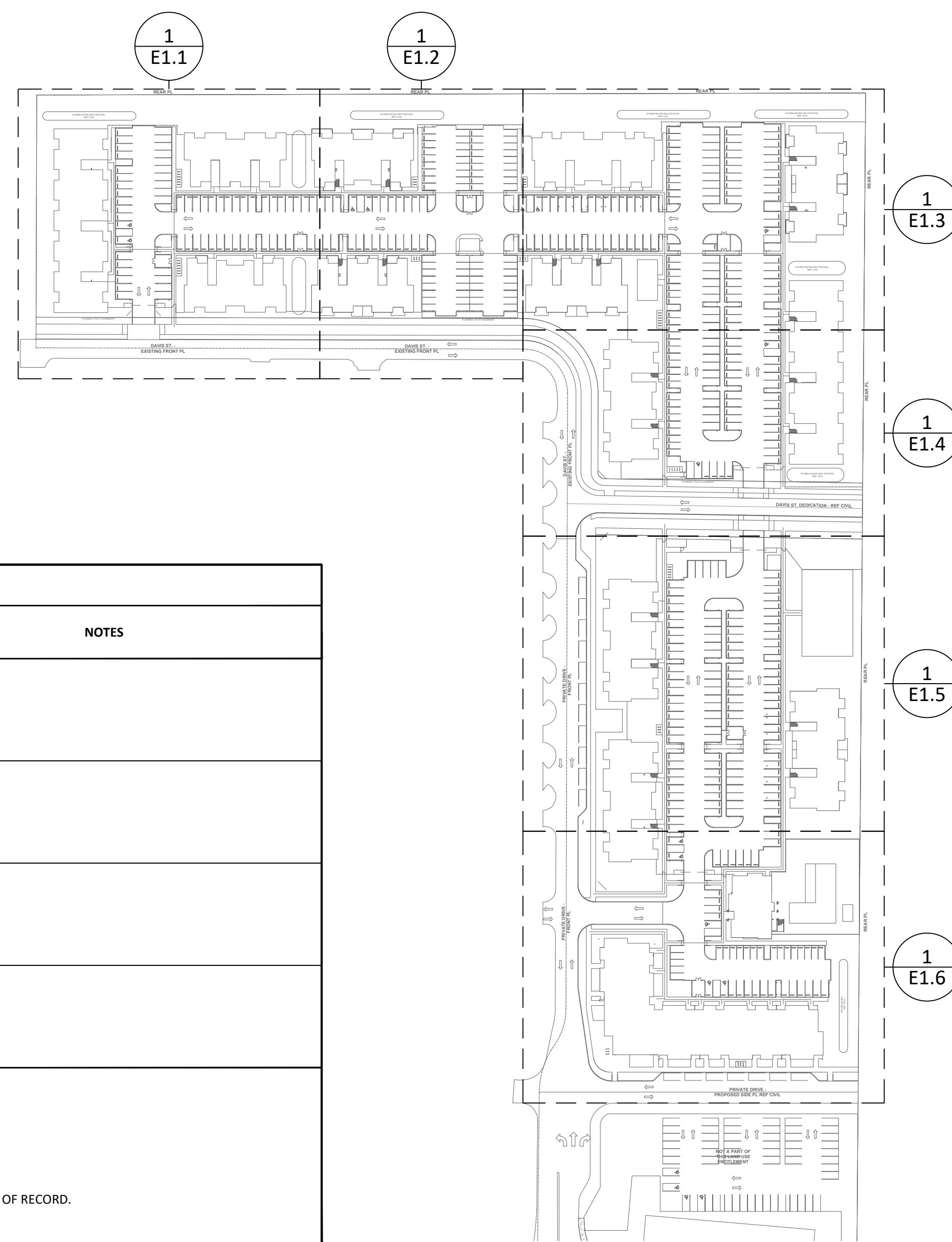




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JOB NUMBER:	022.019
DRAWN BY:	NDE
CHECKED BY:	MRN
SHEET TITLE	
ELECTRICAL SITE PLAN OVERALL	
SHEET NUMBER	
<b>E1.0</b>	



LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION / MOUNTING	FINISH	LISTINGS	DRIVER/POWER SUPPLY	LAMP(S)	INPUT POWER		MFG/CATALOG #	NOTES
						WATTS	UNIT		
G1	SITE POLE LIGHT, TYPE 2 DISTRIBUTION, 22' POLE	TBD	DLC	120-277V	3000K, 13,767 LUMENS	102	EA	AEL #ATB0-P205-MVOLT-R2-3K	
G2	SITE POLE LIGHT, TYPE 4 DISTRIBUTION, 22' POLE	TBD	DLC	120-277V	3000K, 13,767 LUMENS	102	EA	AEL #ATB0-P205-MVOLT-R4-3K	
G3	SITE POLE LIGHT, TYPE 4 DISTRIBUTION WITH HOUSE SIDE SHIELD, 22' POLE	TBD	DLC	120-277V	3000K, 13,767 LUMENS	102	EA	AEL #ATB0-P205-MVOLT-R4-3K-HSS	
G4	SITE POLE LIGHT, TYPE 5 DISTRIBUTION, 22' POLE	TBD	DLC	120-277V	3000K, 13,767 LUMENS	102	EA	AEL #ATB0-P205-MVOLT-R5-3K	

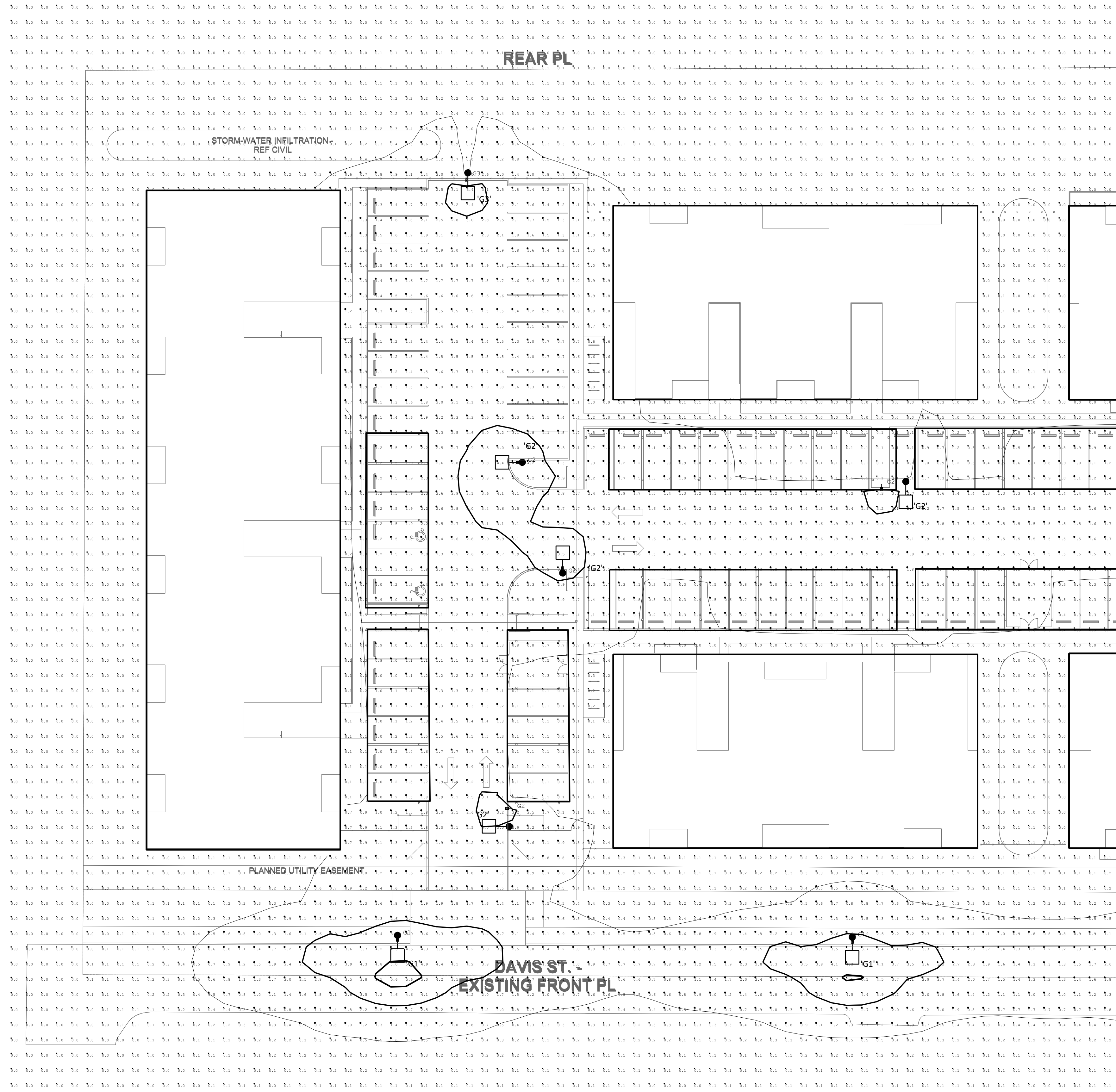
**NOTES:**

- THIS LUMINAIRE SCHEDULE IS NOT COMPLETE WITHOUT A COPY OF THE PROJECT MANUAL CONTAINING THE ELECTRICAL SPECIFICATIONS.
- DIMMING CONTROL PROTOCOL (0-10VDC, LINE VOLTAGE, DALI, ETC.) COMPATIBLE WITH LIGHTING CONTROL SYSTEM AS SPECIFIED AND SHOWN ON DRAWINGS.
- PROVIDE +/- 12 INCH ADJUSTABILITY IN AIRCRAFT CABLE LENGTH WHERE USED.
- COORDINATE ALL CEILING TYPES WITH LUMINAIRE LOCATIONS PRIOR TO ORDERING LUMINAIRES. COORDINATE INSTALLATION WITH REFLECTED CEILING PLAN.
- SPECIFIED MANUFACTURERS ARE APPROVED TO SUBMIT BID. INCLUSION DOES NOT RELIEVE MANUFACTURER FROM SUPPLYING PRODUCT AS DESCRIBED.
- PROVIDE SUBMITTALS THAT INCLUDE THE LUMINAIRE, LAMP AND BALLAST INFORMATION OF EACH LUMINAIRE, WITH APPLICABLE OPTIONS CLEARLY CHECKED OR HIGHLIGHTED. SUBMITTALS NOT INCLUDING THIS INFORMATION WILL BE RETURNED AS REJECTED BY THE ENGINEER OF RECORD.
- REMOTE BALLASTS/DRIVERS: UL LISTED FOR THEIR APPLICATION. BALLASTS/DRIVERS MARKED AS UL RECOGNIZED COMPONENT BUT NOT UL LISTED ARE SUBJECT TO REMOVAL AND REPLACEMENT AT NO COST TO OWNER.
- PROVIDE COMMISSIONING OF THE LIGHTING AND LIGHTING CONTROLS IN ACCORDANCE WITH OREGON STATE LIGHTING COMMISSIONING REQUIREMENTS.

**1**  
**E1.0** SITE PLAN OVERALL  
1"=160'

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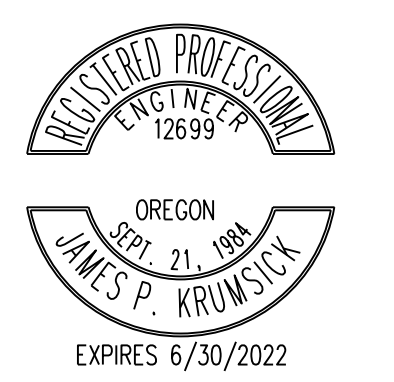
1  
E1.1A

SITE PLAN SECTOR A

1"=20'

NORTH

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JOB NUMBER: 022.019

DRAWN BY: NDE

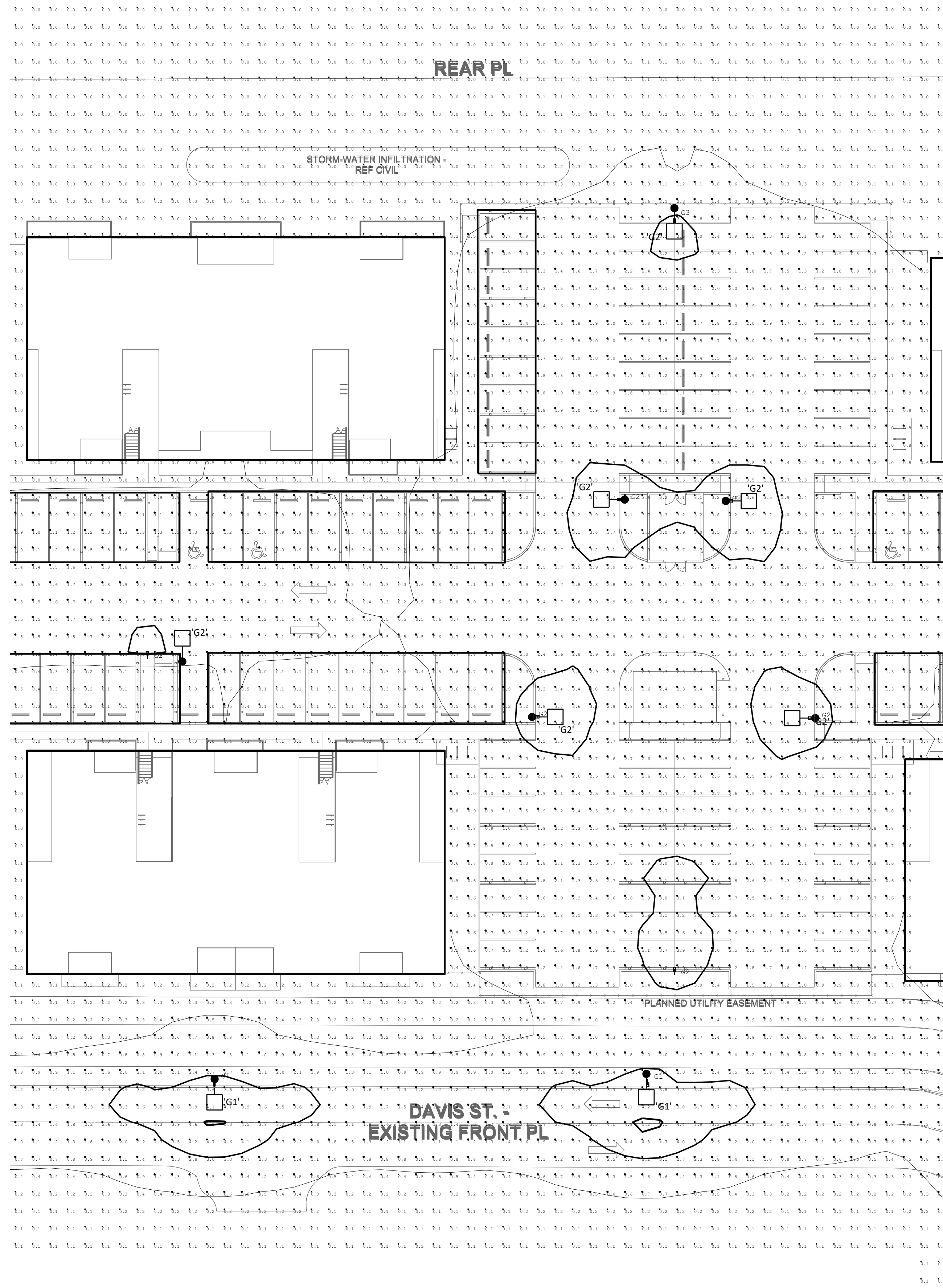
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SHEET TITLE  
ELECTRICAL  
SITE PLAN  
PHOTOMETRICS  
SECTOR A

SHEET NUMBER

**E1.1A**





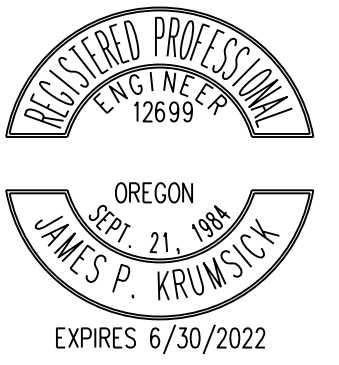
1  
E1.2A

SITE PLAN SECTOR B

1"=20'



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JOB NUMBER: 022.019

DRAWN BY: NDE

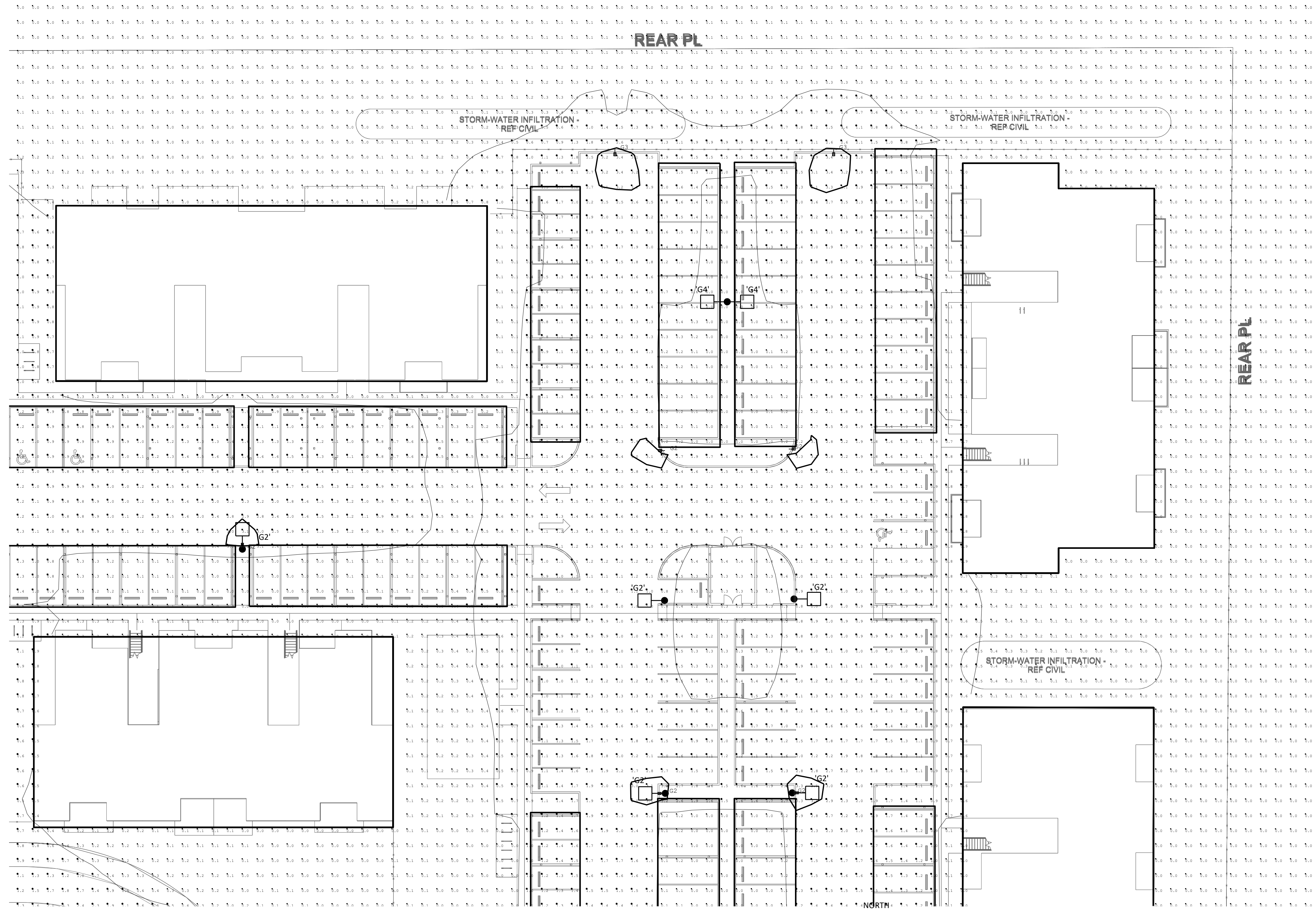
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SHEET TITLE  
ELECTRICAL  
SITE PLAN  
PHOTOMETRICS  
SECTOR B

SHEET NUMBER

**E1.2A**





1  
E1.3A 1"=20'

**PRELIMINARY  
NOT FOR CONSTRUCTION**



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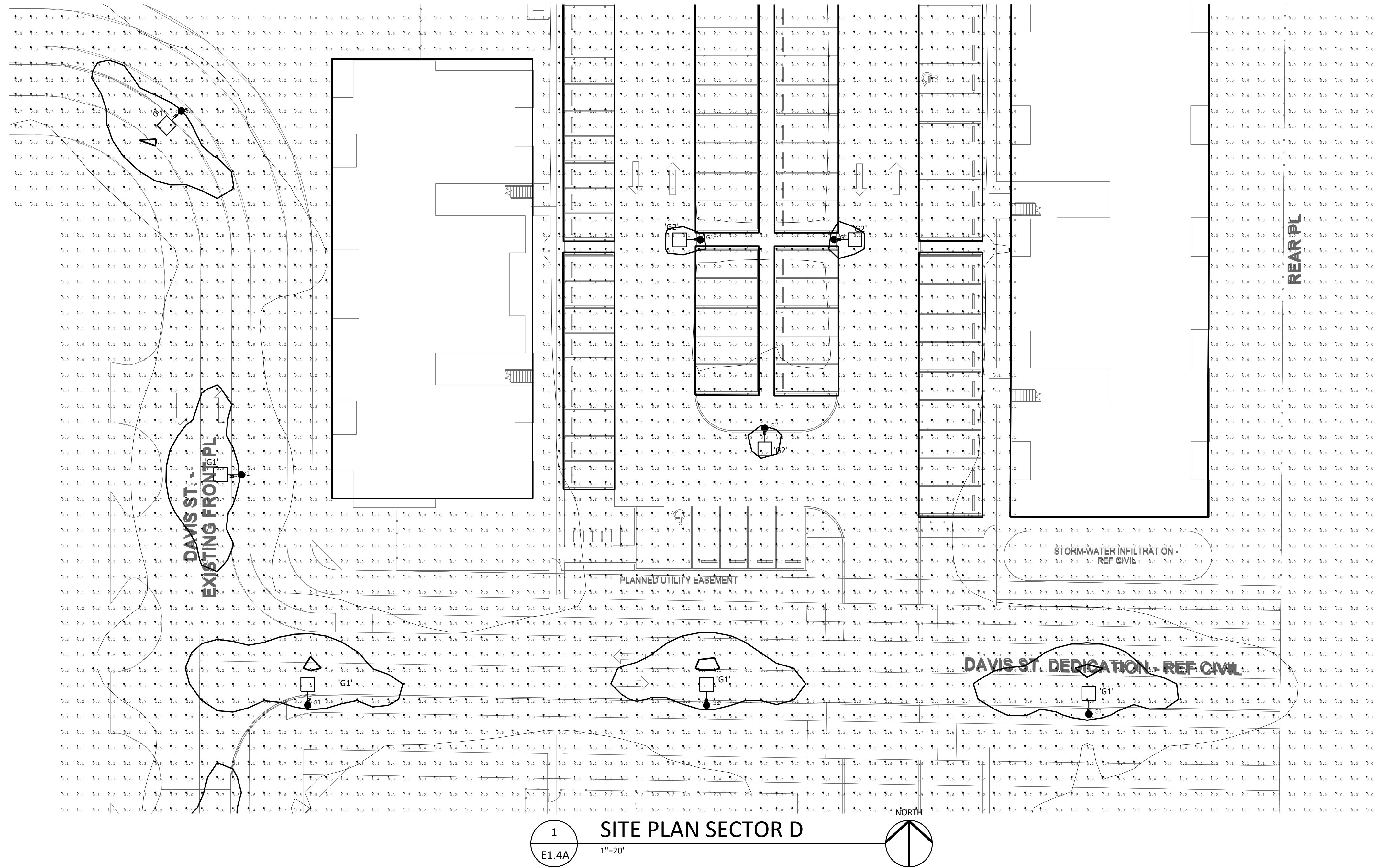
**CORNELIUS  
MULTIFAMILY**

ISSUED:	DATE:
SITE PHOTOMETRICS	03/09/2022
JOB NUMBER:	022.019
DRAWN BY:	NDE
CHECKED BY:	MRN

SHEET TITLE  
ELECTRICAL  
SITE PLAN  
PHOTOMETRICS  
SECTOR C

SHEET NUMBER  
**E1.3A**





1  
E1.4A 1"=20' NORTH



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**CORNELIUS  
MULTIFAMILY**

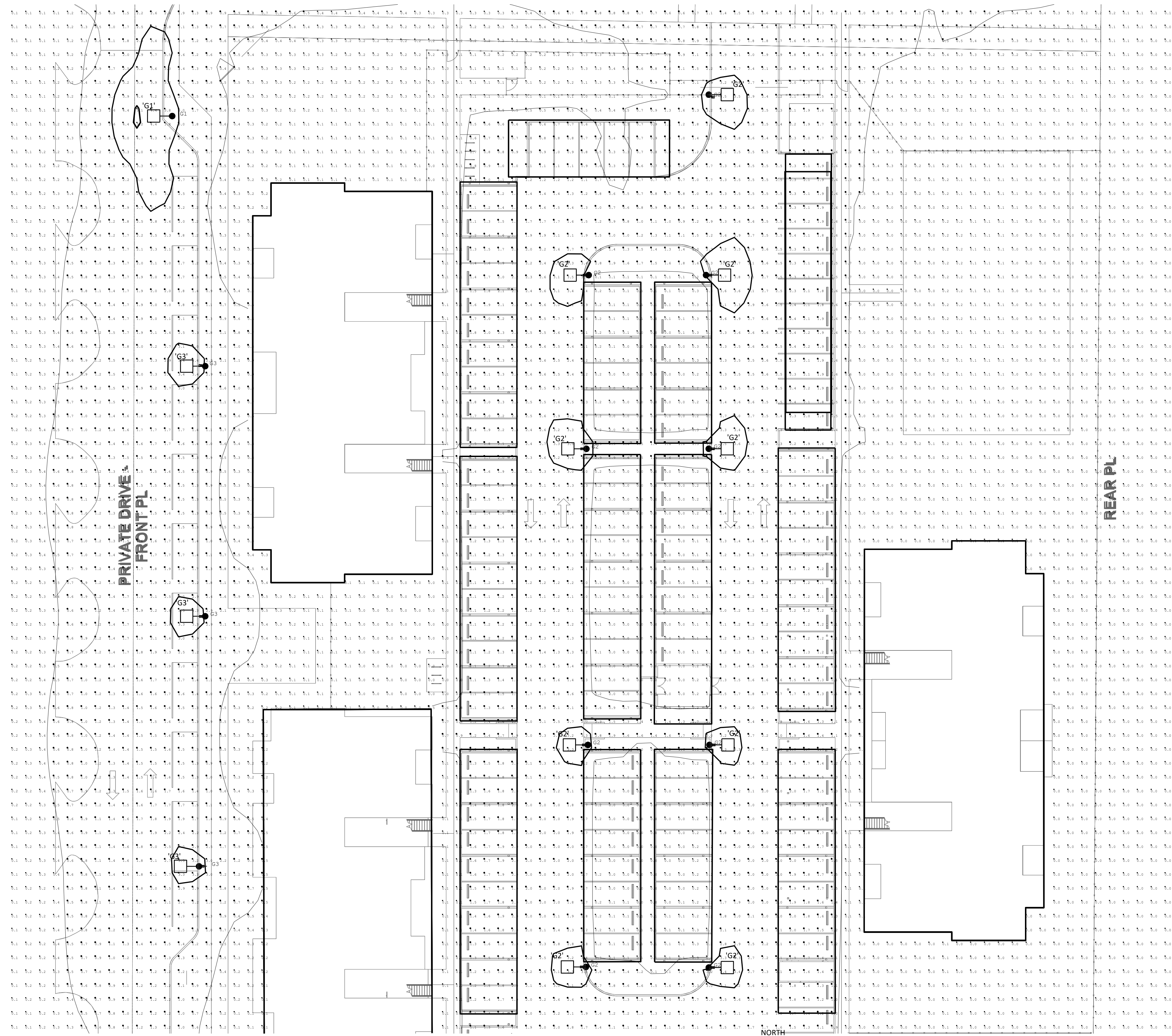
ISSUED:	DATE:
SITE PHOTOMETRICS	03/09/2022
JOB NUMBER:	022.019
DRAWN BY:	NDE
CHECKED BY:	MRN

SHEET TITLE  
ELECTRICAL  
SITE PLAN  
PHOTOMETRICS  
SECTOR D

SHEET NUMBER  
**E1.4A**

**PRELIMINARY  
NOT FOR CONSTRUCTION**



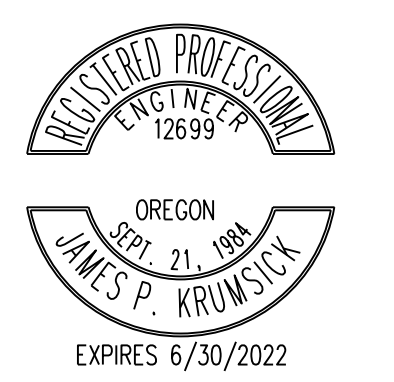


1  
E1.5A 1"=20'

SITE PLAN SECTOR E

NORTH

**PRELIMINARY**  
NOT FOR CONSTRUCTION



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**CORNELIUS**  
**MULTIFAMILY**

ISSUED:	DATE:
SITE PHOTOMETRICS	03/09/2022

JOB NUMBER: 022.019

DRAWN BY: NDE

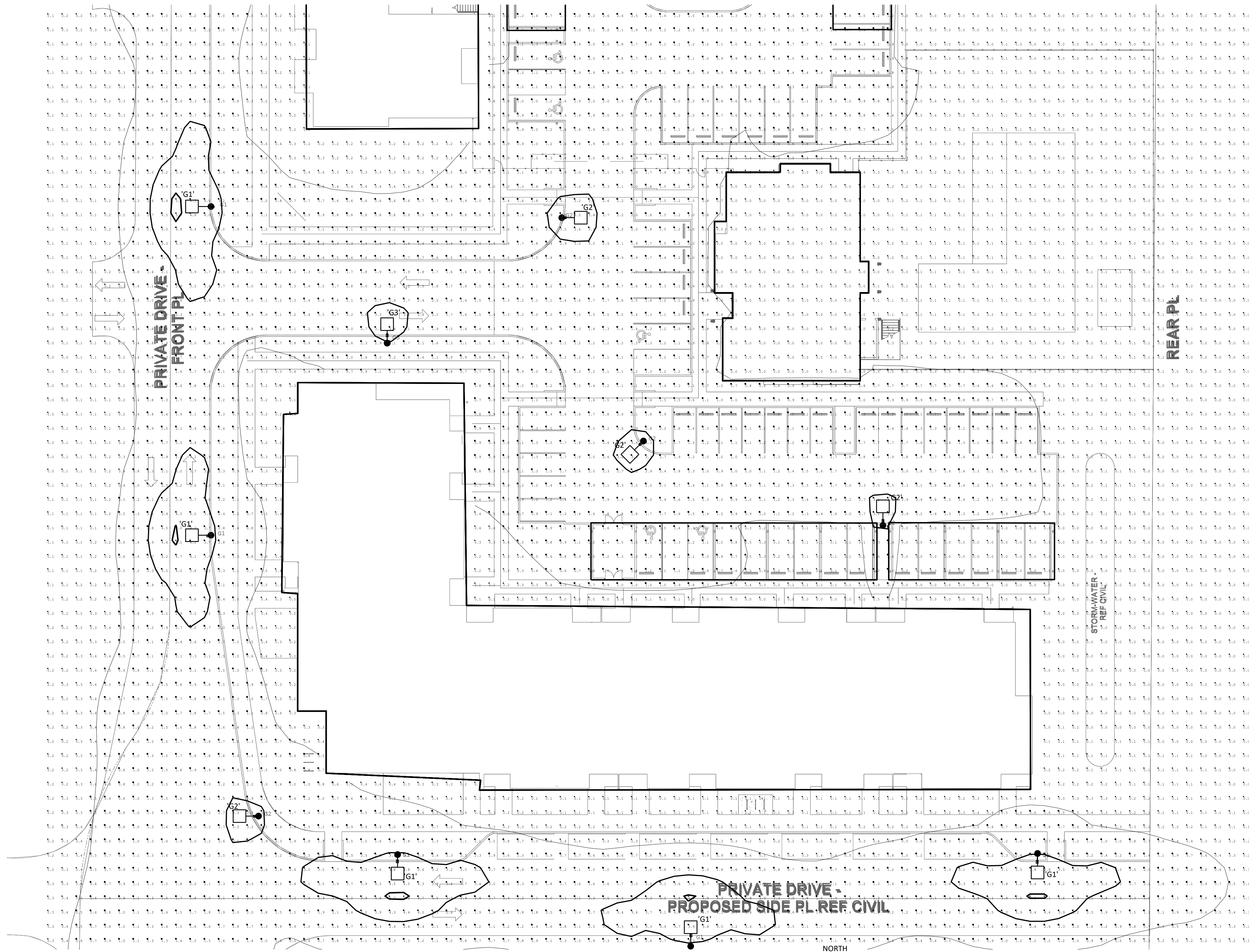
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SHEET TITLE  
ELECTRICAL  
SITE PLAN  
PHOTOMETRICS  
SECTOR E

SHEET NUMBER

**E1.5A**





1  
E1.6A 1"=20'

SITE PLAN SECTOR F

NORTH



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**CORNELIUS  
MULTIFAMILY**

ISSUED:	DATE:
SITE PHOTOMETRICS	03/09/2022
JOB NUMBER:	022.019
DRAWN BY:	NDE
CHECKED BY:	MRN
SHEET TITLE	
ELECTRICAL SITE PLAN PHOTOMETRICS SECTOR F	
SHEET NUMBER	

**E1.6A**

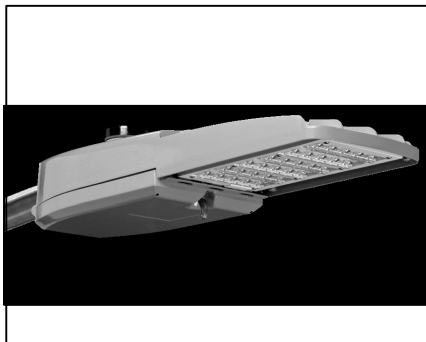
**PRELIMINARY  
NOT FOR CONSTRUCTION**





### Roadway Lighting

#### PRODUCT OVERVIEW



#### Features:

##### OPTICAL

The Autobahn's new molded silicone optics provide exceptional performance. Silicone optics are superior to other polymeric materials in the areas of: optical efficiency, thermal performance, and reduction in dirt accumulation, all of which can lead to long term lumen degradation and a shift in optical distribution. Also, because silicone allows for the molding of fine details as well as thick sections, it produces the most crisp, clean and well-defined lighting distributions available. Silicone optics paired with modern LED's allow the Autobahn to take full advantage of both technologies.

Same Light: Performance is comparable to 100 - 400W HPS roadway luminaires. White Light: Correlated color temperature - 4000K, or optional 2700K, 3000K or 5000K, all 70 CRI minimum.

Unique IP66 rated LED light engines provided 0% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.

##### ELECTRICAL

Expected Life: LED light engines are rated >100,000 hours at 25°C. L70. Electronic driver has an expected life of 100,000 hours at a 25°C ambient.

Lower Energy: Saves an expected of 40-60% over comparable HID luminaires. Robust Surge Protection: Two different surge protection options provide a minimum of ANSI C136.2 10kV/5kA protection. 20kV/10kA protection is also available.

Luminaire ships with a 0-10v dimmable driver. Luminaire is continuous and step dimming capable via AO option or controls installed on P7 photocontrol receptacle option.

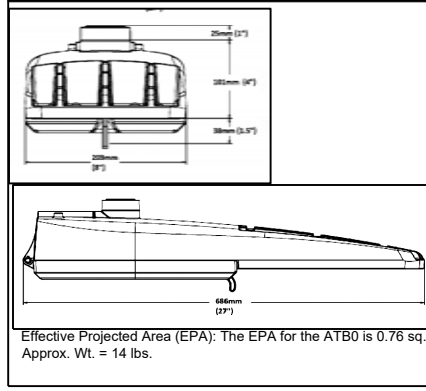
##### MECHANICAL

Includes standard AEL lineman-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easy leveling at installation.

Rugged die-cast aluminum housing and door are polyester powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 7 (per ASTM D1654) after over 5000 hours exposure to salt fog chamber (operated per ASTM B117).

Mast arm mount is adjustable for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter. Provides a 3G vibration rating per ANSI C136.31. Wildlife shield is cast into the housing (not a separate piece).

#### DIMENSIONS



#### STANDARDS

DesignLights Consortium® (DLC) qualified product. Not all DLC qualified receptacle is standard, with the Acuity designed ANSI standard 7 pin product may be DLC qualified. Please check the DLC Qualified Product List available at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions of the product are DLC qualified. Product is also available in a solid state locking style photocontrol - PCSS (10 year rated life) Extreme long life solid state photocontrol - PCLL (20 year rated life). Color temperatures of 5000K must be specified for Intermediate and PCLL photocontrol - PCLL (20 year rated life). Sky Association certification. Optional onboard Adjustable Output module allows the light output and input wattage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications. Rated for -40°C to 40°C ambient. CSA Certified to U.S. and Canadian standards. Complies with ANSI: C136.2, C136.1, C136.31, C136.5, C136.15, C136.37

#### CONTROLS

DesignLights Consortium® (DLC) qualified product. Not all DLC qualified receptacle is standard, with the Acuity designed ANSI standard 7 pin product may be DLC qualified. Please check the DLC Qualified Product List available at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions of the product are DLC qualified. Product is also available in a solid state locking style photocontrol - PCSS (10 year rated life) Extreme long life solid state photocontrol - PCLL (20 year rated life). Color temperatures of 5000K must be specified for Intermediate and PCLL photocontrol - PCLL (20 year rated life). Sky Association certification. Optional onboard Adjustable Output module allows the light output and input wattage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications. Rated for -40°C to 40°C ambient. CSA Certified to U.S. and Canadian standards. Complies with ANSI: C136.2, C136.1, C136.31, C136.5, C136.15, C136.37

Warranty Five-year limited warranty. Complete warranty terms located at: [www.ael.com/resources/terms-and-conditions](http://www.ael.com/resources/terms-and-conditions). Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice. Please contact your sales representative for the latest product information.



### Autobahn Series ATBO Roadway Lighting

ATBO	Distribution	Input Watts	2700K		3000K		4000K/5000K	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
			PERFORMANCE PACKAGE					
P201	R2	36	4,983	137	5,473	151	5,488	150
	R3		4,952	136	5,107	140	5,553	152
	R4		5,045	139	5,130	141	5,346	147
	R5		5,084	142	5,384	148	5,387	150
	R2		6,429	132	7,100	147	7,203	148
P202	R3	49	6,390	131	6,679	137	7,237	148
	R4		6,517	136	6,749	140	6,906	144
	R5		6,560	137	6,968	146	6,951	145
	R2		9,205	130	10,050	144	10,150	147
	R3		8,951	129	9,471	134	10,260	148
P203	R4	70	9,494	137	9,673	139	10,060	145
	R5		9,188	134	9,784	142	9,736	142
	R2		11,007	125	11,800	136	12,410	141
	R3		10,940	124	11,490	132	12,470	141
	R4		11,455	132	11,900	136	12,170	139
P204	R5	88	11,230	131	11,780	137	11,900	138
	R2		12,339	121	12,650	125	13,920	137
	R3		12,264	120	13,110	139	14,130	138
	R4		13,051	130	13,680	136	13,830	138
	R5		12,589	127	13,080	132	13,340	135
P205	R2	102	9,527	140	10,450	154	10,480	153
	R3		9,469	139	10,590	158	10,820	158
	R4		9,579	144	10,210	152	10,150	152
	R5		9,720	145	10,370	154	10,300	154
	R2		11,118	135	11,790	142	12,300	149
P301	R3	67	11,050	134	12,290	150	12,520	152
	R4		11,589	140	12,720	153	12,280	148
	R5		11,343	137	12,120	147	12,020	145
	R2		14,152	130	15,090	140	15,400	141
	R3		14,066	131	15,230	142	15,950	148
P302	R4	83	14,514	136	15,720	146	15,380	144
	R5		14,439	136	15,140	142	15,300	144
	R2		16,705	130	17,180	136	18,010	141
	R3		16,603	131	17,890	141	18,230	144
	R4		16,845	135	18,190	145	17,850	143
P303	R5	106	17,043	137	17,670	142	18,090	145
	R2		18,388	124	19,720	134	20,160	136
	R3		18,276	124	20,070	135	20,440	138
	R4		18,695	129	20,050	138	19,910	137
	R5		18,761	130	19,350	135	19,880	138
P304	R2	124	16,603	131	17,890	141	18,230	144
	R3		16,845	135	18,190	145	17,850	143
	R4		17,043	137	17,670	142	18,090	145
	R5		18,388	124	19,720	134	20,160	136
	R2		22,092	139	24,090	151	23,550	148
P305	R3	145	22,877	141	23,920	148	24,030	149
	R4		24,585	144	23,580	139	25,060	147
	R5		24,436	143	25,340	148	25,200	148
	R2		25,084	147	25,360	148	26,580	157
	R3		25,732	138	25,270	136	26,750	143
P451	R2	105	25,576	137	27,430	145	27,020	145
	R3		26,254	143	27,730	149	27,820	152
	R4		27,277	135	28,560	132	28,230	139
	R5		27,111	134	28,800	142	28,950	143
	R2		27,830	143	28,740	146	29,490	148
P452	R3	125	27,656	131	27,270	130	28,900	137
	R4		27,488	130	29,750	142	29,680	150
	R5		28,217	137	29,790	146	29,900	145
	R2		22,092	139	22,570	143	23,900	150
	R3		22,092	139	24,090	151	23,550	148
P453	R4	159	22,877	141	23,920	148	24,030	149
	R5		24,585	144	23,580	139	25,060	147
	R2		24,436	143	25,340	148	25,200	148
	R3		25,084	147	25,360	148	26,580	157
	R4		25,732	138	25,270	136	26,750	143
P454	R5	170	25,576	137	27,430	145	27,020	145
	R2		26,254	143	27,730	149	27,820	152
	R3		27,277	135	28,560	132	28,230	139
	R4		27,111	134	28,800	142	28,950	143
	R5		27,830	143	28,740	146	29,490	148
P455	R2	187	27,656	131	27,270	130	28,900	137
	R3		27,488	130	29,750	142	29,680	150
	R4		28,217	137	29,790	146	29,900	145
	R5		22,092	139	22,570	143	23,900	150
	R2		22,092	139	24,090	151	23,550	148
P456	R3	203	22,877	141	23,920	148	24,030	149
	R4		24,585	144	23,580	139	25,060	147
	R5		24,436	143	25,340	148	25,200	148
	R2		25,084	147	25,360	148	26,580	157
	R3		25,732	138	25,270	136	26,750	143
P457	R4	211	25,576	137	27,430	145	27,020	145
	R5		26,254	143	27,730	149	27,820	152
	R2		27,277	135	28,560	132	28,230	139
	R3		27,111	134	28,800	142	28,950	143
	R4		27,830	143	28,740	146	29,490	148



Warranty Five-year limited warranty. Complete warranty terms located at: [www.ael.com/resources/terms-and-conditions](http://www.ael.com/resources/terms-and-conditions). Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice. Please contact your sales representative for the latest product information.

### Autobahn Series ATBO Roadway Lighting

ATBO	Distribution	LLD @ 25°C											
		R2, R3 Distributions 3000K & 4000K CCT				R2, R3 Distributions 2700K & 5000K CCT				R4 & R5 Distributions Any CCT			
		50k Hours	75k Hours	100k Hours	50k Hours	75k Hours	100k Hours	50k Hours	75k Hours	100k Hours	50k Hours	75k Hours	100k Hours
P201	R2	0.96	0.95	0.94	0.92	0.88	0.85	0.92	0.88	0.85	0.92	0.88	0.85
P202	R2	0.96	0.95	0.94	0.92	0.88	0.85	0.92	0.88	0.85	0.92	0.88	0.85
P203	R2	0.96	0.95	0.93	0.91	0.88	0.85	0.91	0.88	0.85	0.91	0.88	0.85
P204	R2	0.96	0.95	0.93	0.91	0.88	0.84	0.91	0.88	0.84	0.91	0.88	0.84
P205	R2	0.96	0.95	0.93	0.91	0.87	0.83	0.91	0.87	0.83	0.91	0.87	0.83
P301	R2	0.96	0.95	0.93	0.92	0.88	0.85	0.92	0.88	0.85	0.92	0.88	0.85
P302	R2	0.96	0.95	0.93	0.92	0.88	0.85	0.92	0.88	0.85	0.92	0.88	0.85
P303	R2	0.96	0.95	0.93	0.92	0.88	0.84	0.92	0.88	0.84	0.92	0.88	0.84
P304	R2	0.96	0.95	0.93	0.91	0.87	0.83	0.91	0.87	0.83	0.91	0.87	0.83
P451	R2	0.96	0.94	0.93	0.92	0.88	0.85	0.92	0.88	0.85	0.92	0.88	0.85
P452	R2	0.96	0.94	0.93	0.91	0.88	0.84	0.91	0.88	0.84	0.91	0.88	0.84
P453	R2	0.96	0.94	0.93	0.91	0.87	0.83	0.91	0.87	0.83	0.91	0.87	0.83
P454	R2	0.96	0.94	0.93	0.9	0.86	0.82	0.9	0.86	0.82	0.9	0.86	0.82
P455	R2	0.96	0.94	0.93	0.9	0.85	0.81	0.9	0.85	0.81	0.9	0.85	0.81
P456	R2	0.94	0.93	0.91	0.89	0.84	0.79	0.89	0.84	0.79	0.89	0.84	0.79
P457	R2	0.94	0.93	0.91	0.88	0.83	0.79	0.88	0.83	0.79	0.88	0.83	0.79

\* Also includes any custom (non-catalog) CCT



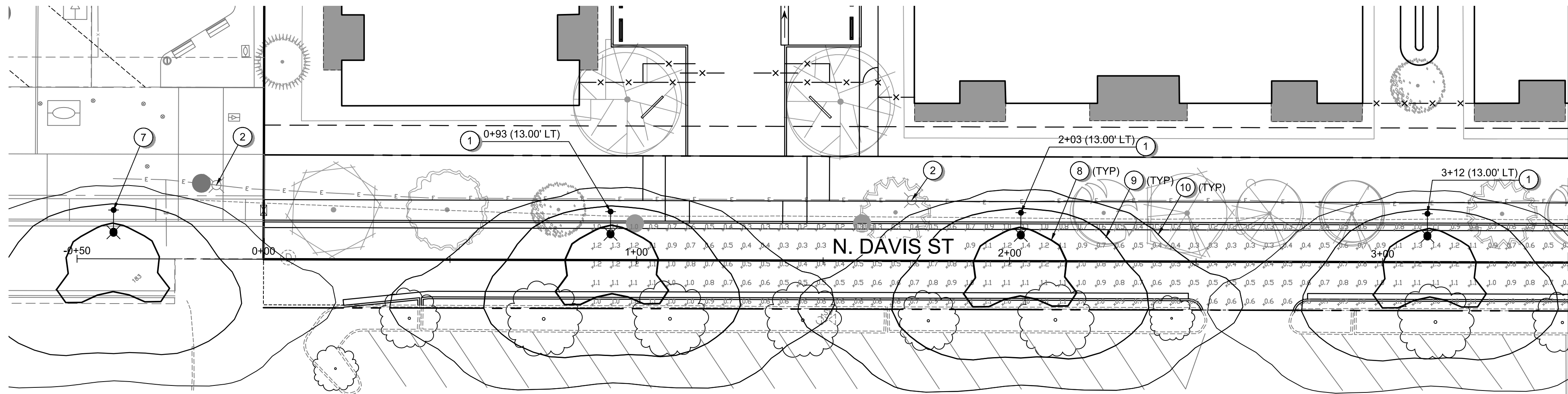
Warranty Five-year limited warranty. Complete warranty terms located at: [www.ael.com/resources/terms-and-conditions](http://www.ael.com/resources/terms-and-conditions). Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice. Please contact your sales representative for the latest product information.

### Autobahn Series ATBO Roadway Lighting

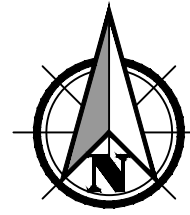
ATBO	Distribution	B.U.G. Ratings											
		2700K			3000K			4000/5000K					
		B	U	G	B	U	G	B	U	G			
P451	R2	3	0	3	3	0	3	3	0	3	3	0	3
	R3	2	0	2	2	0	2	2	0	2	2	0	2
	R4	4	0	2	4	0	2	4	0	2	4	0	2
	R5	3	0	3	3	0	3	3	0	3	3	0	3
	R2	3	0	3	3	0	3	3	0	3	3	0	3
P452	R3	3	0	3	3	0	3	3	0	3	3	0	3
	R4	5	0	3	5	0	3	5	0	3	5	0	3
	R5	3	0	3	3	0	3	3	0	3	3	0	3
	R2	3	0	3	3	0	3	3	0	3	3	0	3
	R3	3	0	3	3	0	3	3	0	3	3	0	3
P453	R4	5	0	3	5	0	3	5	0	3	5	0	3
	R5	3	0	3	3	0	3	3	0	3	3	0	3
	R2	3	0	3	3	0	3	3	0				



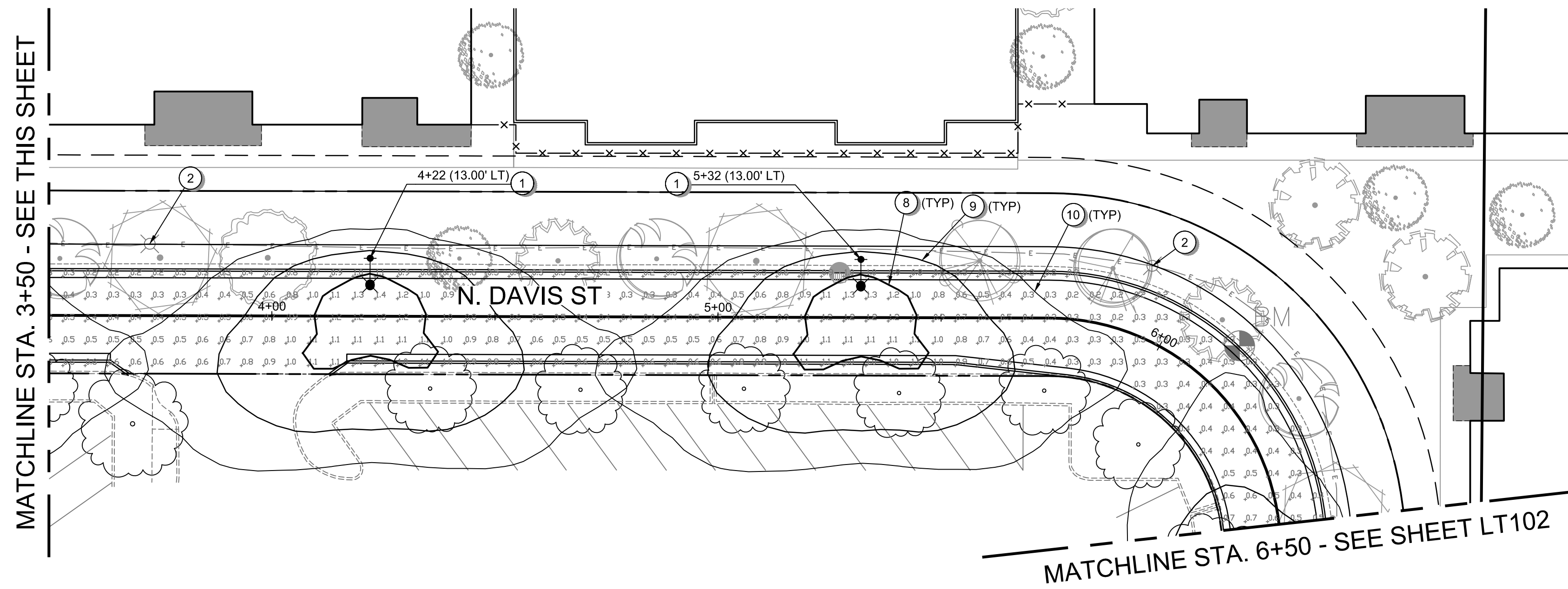
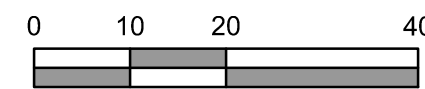
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MATCHLINE STA. 3+50 - SEE THIS SHEET

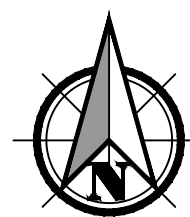


Scale 1" = 20'

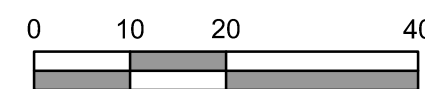


MATCHLINE STA. 3+50 - SEE THIS SHEET

MATCHLINE STA. 6+50 - SEE SHEET LT102



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.

**SITE IMPROVEMENT KEYNOTES:**

- ① PROPOSED LEOTEK GREEN COBRA JR LUMINAIRE AT 25FT MOUNTING HEIGHT. SEE POLE AND LUMINAIRE SCHEDULE, SHEET LT105, PGE APPROVED EQUIPMENT LIST, SHEET LT105, AND MANUFACTURER BROCHURE DETAILS, SHEET LT106.
- ② REMOVE EXISTING LUMINAIRE.
- ③ PROPOSED AMERICAN ELECTRIC AUTOBAHN ATB0 P201 LUMINAIRE AT 25FT MOUNTING HEIGHT. SEE POLE AND LUMINAIRE SCHEDULE, SHEET LT105, APPROVED EQUIPMENT LIST, SHEET LT105, AND MANUFACTURER BROCHURE DETAILS, SHEET LT106.
- ④ PROPOSED AMERICAN ELECTRIC AUTOBAHN ATB0 P202 LUMINAIRE AT 25FT MOUNTING HEIGHT. SEE POLE AND LUMINAIRE SCHEDULE, SHEET LT105, APPROVED EQUIPMENT LIST, SHEET LT105, AND MANUFACTURER BROCHURE DETAILS, SHEET LT106.
- ⑤ PROPOSED AMERICAN ELECTRIC AUTOBAHN ATB0 P203 LUMINAIRE AT 25FT MOUNTING HEIGHT. SEE POLE AND LUMINAIRE SCHEDULE, SHEET LT105, APPROVED EQUIPMENT LIST, SHEET LT105, AND MANUFACTURER BROCHURE DETAILS, SHEET LT106.
- ⑥ PROTECT EXISTING LUMINAIRE.
- ⑦ PROPOSED LEOTEK GREEN COBRA JR LUMINAIRE AT 25FT MOUNTING HEIGHT INSTALLED AS PART OF PLAZA LOS AMIGOS DEVELOPMENT.
- ⑧ ISOLUMEN LINE REPRESENTING 1.0 FC.
- ⑨ ISOLUMEN LINE REPRESENTING 0.5 FC.
- ⑩ ISOLUMEN LINE REPRESENTING 0.25 FC.

**STREET LIGHT CONSTRUCTION NOTES:**

1. POWER SOURCE LOCATIONS TO BE DETERMINED BY PORTLAND GENERAL ELECTRIC (PGE). ALL LIGHT POLE POWER SOURCES SHALL BE VERIFIED WITH PGE PLANS. CHANGES IN POWER SOURCE LOCATIONS WILL REQUIRE AS-BUILT DRAWINGS.
2. CALL PGE AT 503-323-6700 FOR UTILITY COORDINATION ON STREET LIGHTS. REFERENCE PGE WORK ORDER NUMBER XX.
3. STREET LIGHT EQUIPMENT AND MATERIALS WITHIN PUBLIC RIGHT OF WAY SHALL CONFORM TO PGE SCHEDULE 95 OPTION "C" SPECIFICATIONS. MATERIALS SUBMITTALS AND INSTALLATIONS SHALL BE APPROVED BY PGE PRIOR TO CONSTRUCTION UNLESS NOTED OTHERWISE.
4. ALL ELECTRICAL EQUIPMENT SHALL CONFORM TO THE CURRENT STANDARDS OF THE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA) AND THE UNDERWRITERS LABORATORY (UL) WHEREVER APPLICABLE. IN ADDITION TO THE REQUIREMENTS OF THE PLANS, STANDARD SPECIFICATIONS, AND SPECIAL PROVISIONS, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CURRENT REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC), THE NATIONAL ELECTRICAL SAFETY CODE, THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI), AND ANY APPLICABLE LOCAL ORDINANCES.
5. LUMINAIRES ARE ORIENTED PERPENDICULAR TO THE REFERENCED CENTERLINE ALIGNMENT UNLESS NOTED OTHERWISE.

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**STREET LIGHTING PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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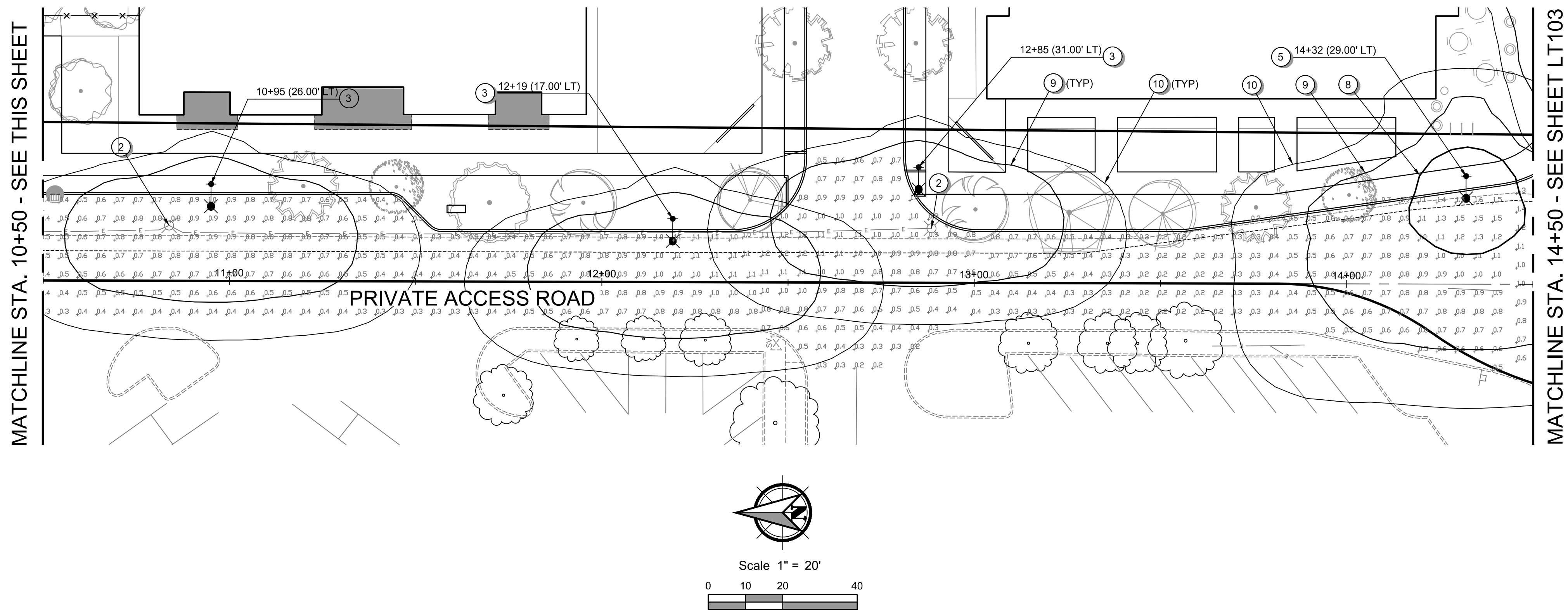
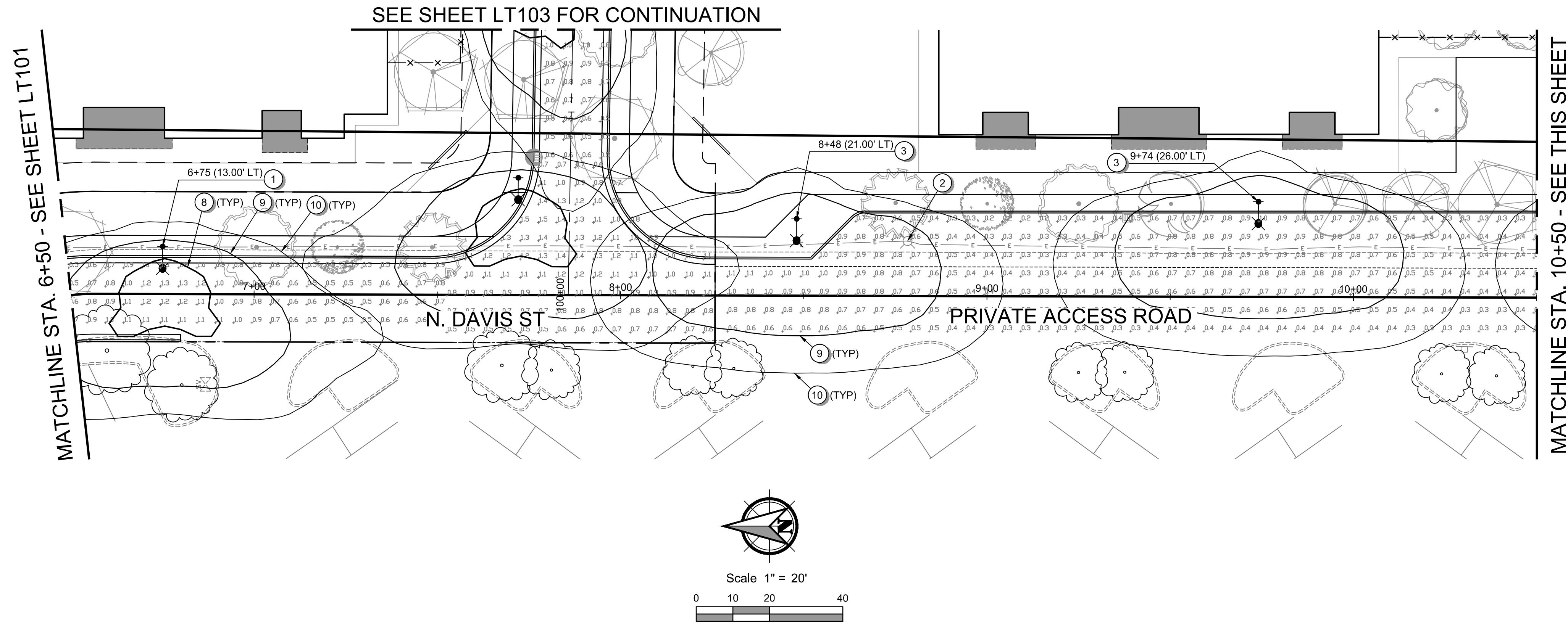
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**LT101**

SHEET **44** OF **49**

**PRELIMINARY**



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**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.

**SITE IMPROVEMENT KEYNOTES:**

- PROPOSED LEOTEK GREEN COBRA JR LUMINAIRE AT 25FT MOUNTING HEIGHT. SEE POLE AND LUMINAIRE SCHEDULE, SHEET LT105, PGE APPROVED EQUIPMENT LIST, SHEET LT105, AND MANUFACTURER BROCHURE DETAILS, SHEET LT106.
- REMOVE EXISTING LUMINAIRE.
- PROPOSED AMERICAN ELECTRIC AUTOBAHN ATB0 P201 LUMINAIRE AT 25FT MOUNTING HEIGHT. SEE POLE AND LUMINAIRE SCHEDULE, SHEET LT105, APPROVED EQUIPMENT LIST, SHEET LT105, AND MANUFACTURER BROCHURE DETAILS, SHEET LT106.
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- PROTECT EXISTING LUMINAIRE.
- PROPOSED LEOTEK GREEN COBRA JR LUMINAIRE AT 25FT MOUNTING HEIGHT INSTALLED AS PART OF PLAZA LOS AMIGOS DEVELOPMENT.
- ISOLUMEN LINE REPRESENTING 1.0 FC.
- ISOLUMEN LINE REPRESENTING 0.5 FC.
- ISOLUMEN LINE REPRESENTING 0.25 FC.

**STREET LIGHT CONSTRUCTION NOTES:**

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**STREET LIGHTING PLAN FOR:**  
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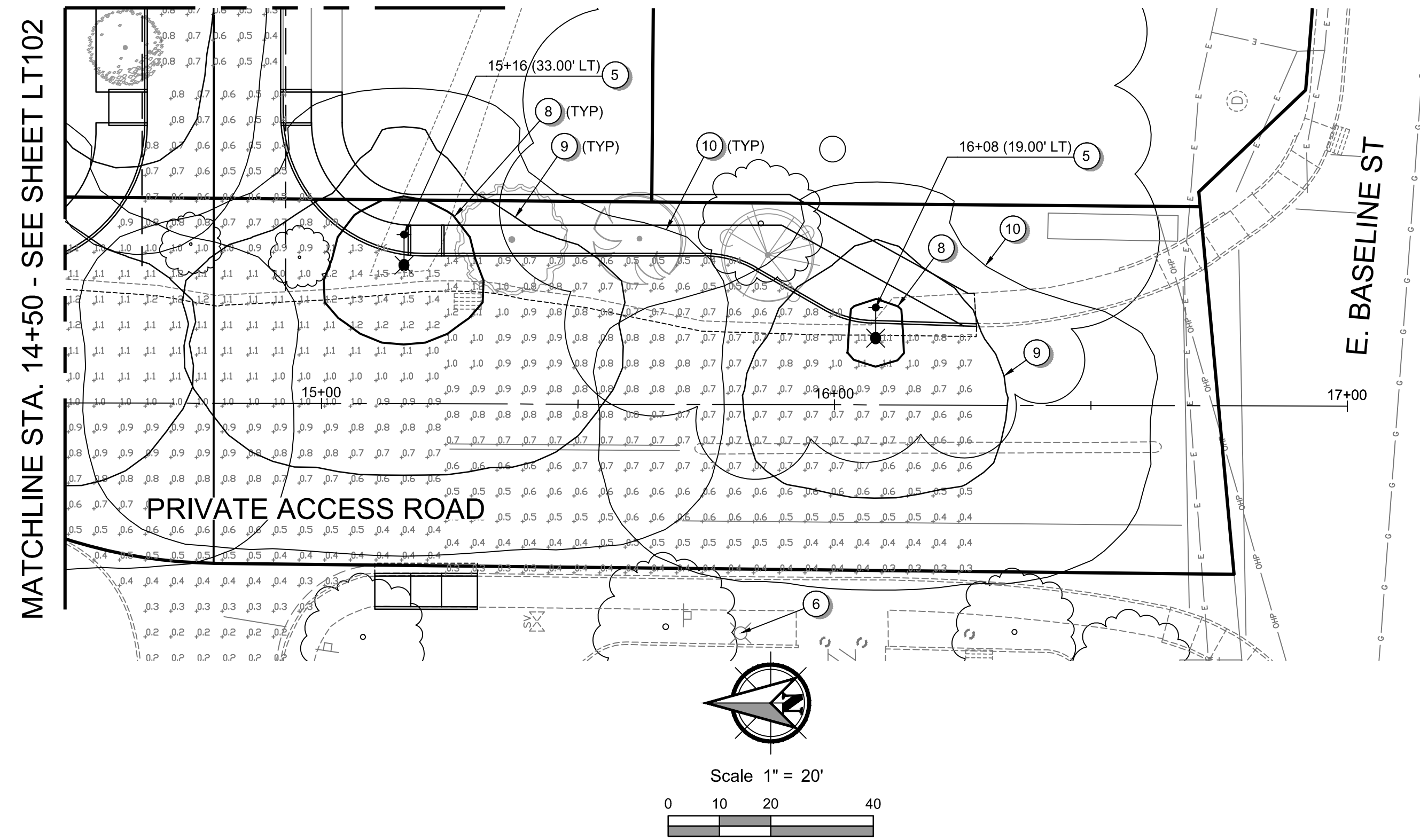
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SHEET **45** OF **49**

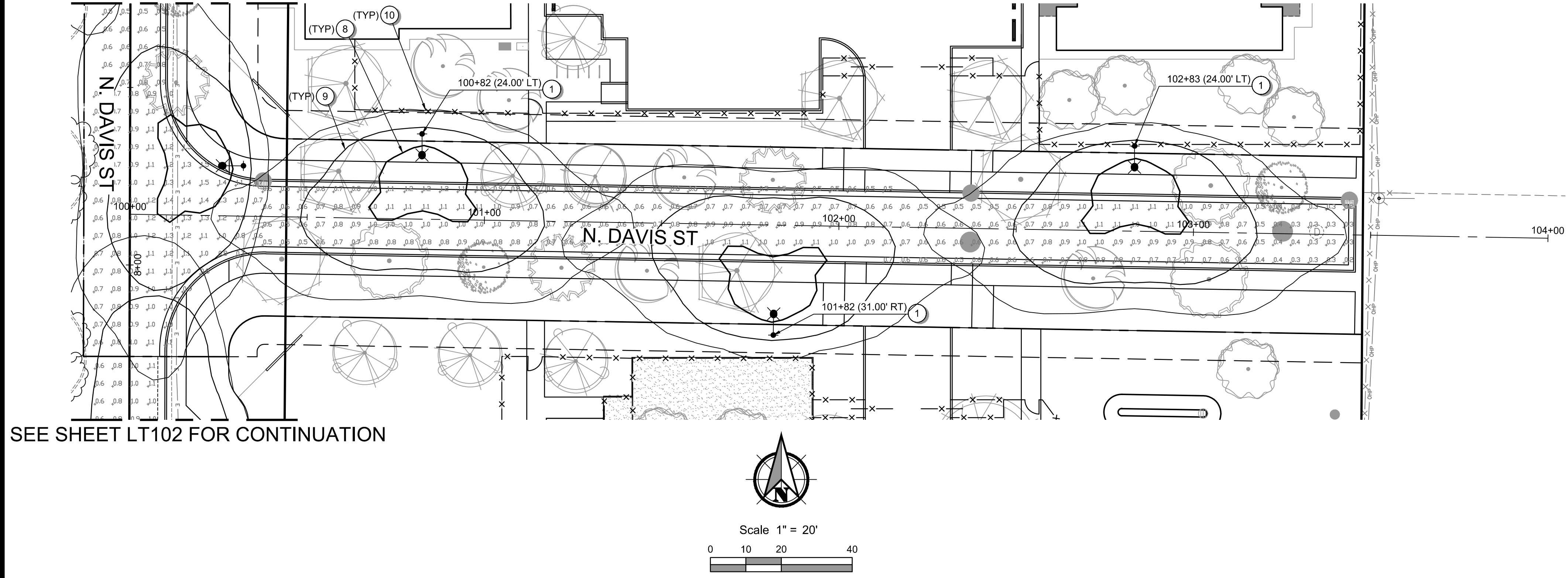
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SEE SHEET LT104 FOR CONTINUATION



SEE SHEET LT102 FOR CONTINUATION



SEE SHEET LT102 FOR CONTINUATION

**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.

**SITE IMPROVEMENT KEYNOTES:**

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- REMOVE EXISTING LUMINAIRE.
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STREET LIGHTING PLAN FOR:

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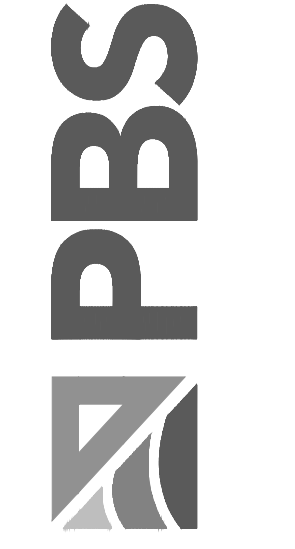
SHEET **46** OF **49**

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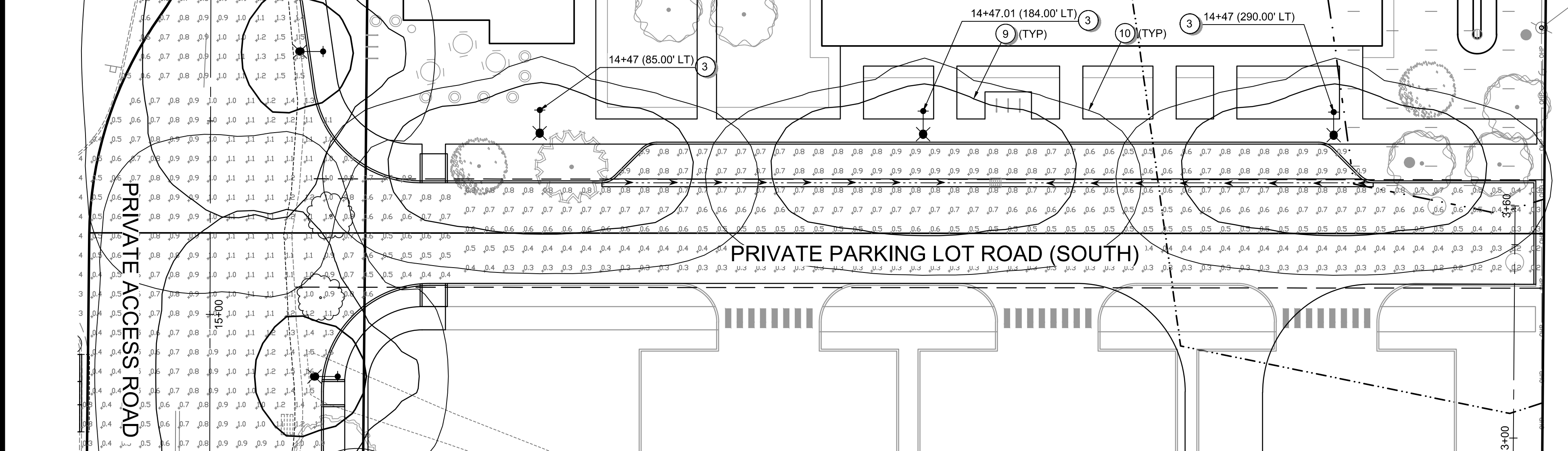
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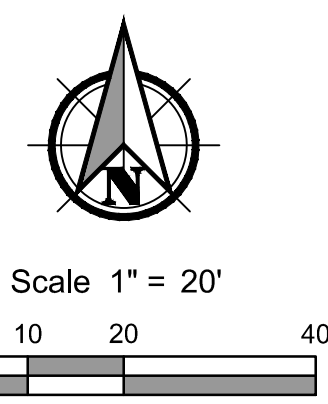


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SEE SHEET LT102 FOR CONTINUATION



SEE SHEET LT103 FOR CONTINUATION



**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.

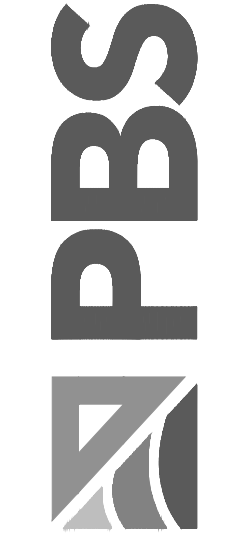
**SITE IMPROVEMENT KEYNOTES:**

- ① PROPOSED LEOTEK GREEN COBRA JR LUMINAIRE AT 25FT MOUNTING HEIGHT. SEE POLE AND LUMINAIRE SCHEDULE, SHEET LT105, PGE APPROVED EQUIPMENT LIST, SHEET LT105, AND MANUFACTURER BROCHURE DETAILS, SHEET LT106.
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**STREET LIGHTING PLAN FOR:**  
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 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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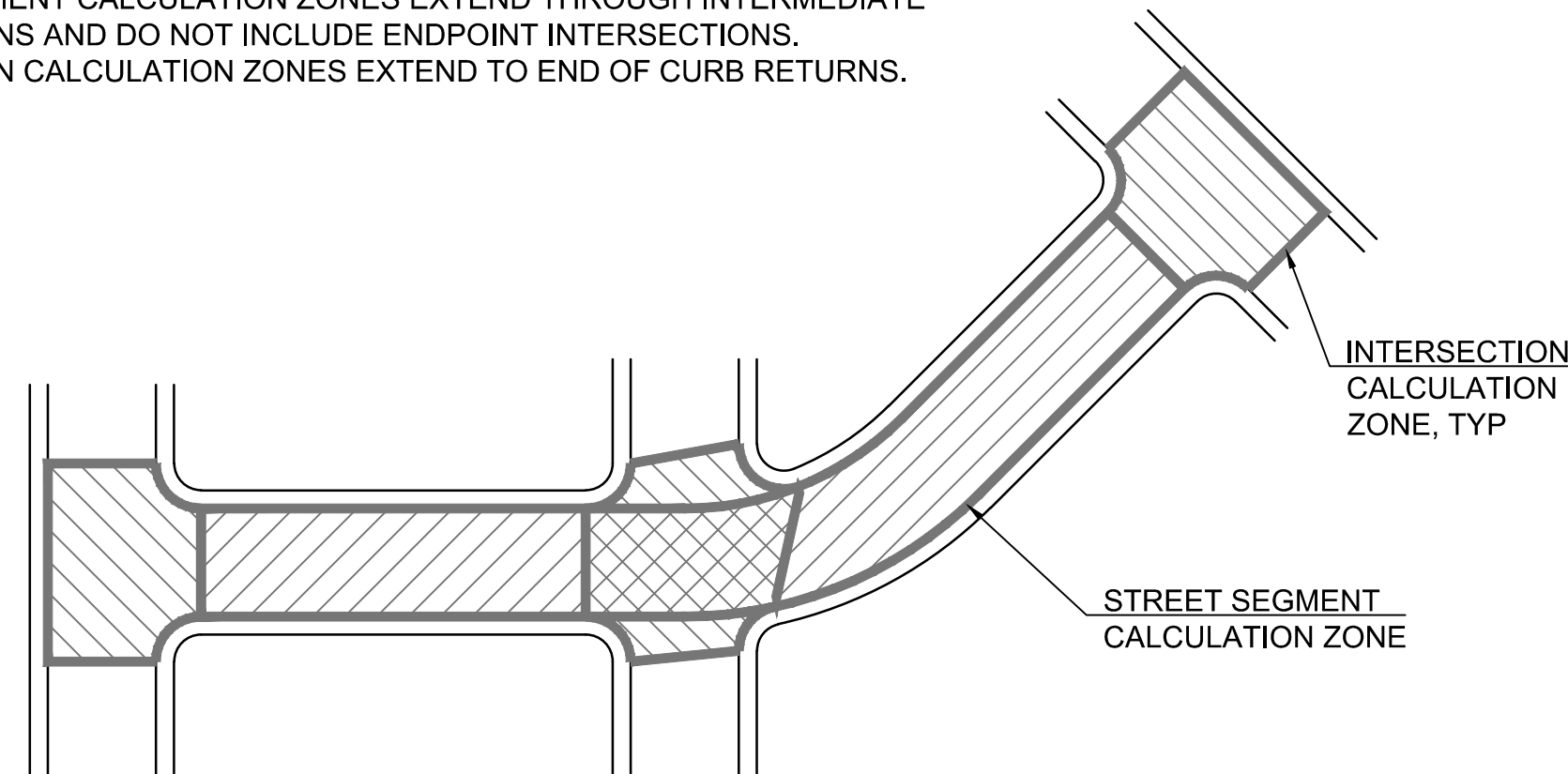


**ILLUMINANCE STATISTICS**

ZONE	AVERAGE (FC)	MAXIMUM (FC)	MINIMUM (FC)	MAX/MIN RATIO	AVG/MIN RATIO
STANDARDS FOR LOCAL STREET WITH LOW PEDESTRIAN ACTIVITY (PER IES/ANSI RP-8-14)	0.5	N/A	N/A	10.0:1	6.0:1
PRIVATE ACCESS ROAD	0.7	1.6	0.2	8.0:1	3.5:1
PRIVATE PARKING LOT ROAD (SOUTH)	0.6	0.9	0.2	4.5:1	3.0:1
STANDARDS FOR COLLECTOR STREET WITH LOW PEDESTRIAN ACTIVITY (PER IES/ANSI RP-8-14)	0.6	N/A	N/A	8.0:1	4.0:1
N DAVIS STREET	0.7	1.5	0.2	7.5:1	3.0:1
STANDARDS FOR LOCAL/LOCAL INTERSECTIONS WITH LOW PEDESTRIAN ACTIVITY (PER IES/ANSI RP-8-14)	0.8	N/A	N/A	N/A	6.0:1
PRIVATE ACCESS ROAD & PRIVATE PARKING LOT ROAD (NORTH)	0.8	1.2	0.2	6.0:1	4.0:1
PRIVATE ACCESS ROAD & PRIVATE PARKING LOT ROAD (SOUTH)	0.8	1.6	0.2	8.0:1	4.0:1
STANDARDS FOR COLLECTOR/LOCAL INTERSECTIONS WITH LOW PEDESTRIAN ACTIVITY (PER IES/ANSI RP-8-14)	1.0	N/A	N/A	N/A	4.0:1
N DAVIS STREET & PRIVATE ACCESS ROAD	1.0	1.5	0.5	3.0:1	2.0:1

**NOTES:**

- CALCULATION ZONES ARE MEASURED BETWEEN CURB FACES. SEE EXAMPLE GRAPHIC BELOW FOR TYPICAL CALCULATION ZONE LAYOUT.
- STREET SEGMENT CALCULATION ZONES EXTEND THROUGH INTERMEDIATE INTERSECTIONS AND DO NOT INCLUDE ENDPOINT INTERSECTIONS.
- INTERSECTION CALCULATION ZONES EXTEND TO END OF CURB RETURNS.



**POLE AND LUMINAIRE SCHEDULE**

#	Pole Type*	Installation*	Alignment	Station	Offset**	Luminaire*					Mounting Height (feet)	Mast Arm Length (feet)*	Luminaire Options*	PGE Schedule and Option	
						Manufacturer & Series	Lamp Watts	Initial Lumens	Light Loss Factor (LLF)	Line Volt					B-U-G*** Rating
1	Composite	Direct-Buried	N DAVIS ST	0+93	13' LT	Leotek GCJ LED Street Light H-Series	45	5,020	0.74	120V-277V	2-0-2	25	8	ANSI 7-wire Photo-control Receptacle (PCR7), Rubber Wildlife Guard (RWG), Utility Wattage Label (WL), Fixed Drive Current (FDC), 3000K color temperature (3K), Type II Distribution	95 C
				2+03	13' LT										
				3+12	13' LT										
				4+22	13' LT										
				5+32	13' LT										
				6+75	13' LT										
				7+72	32' LT										
				100+82	24' LT										
				101+82	31' RT										
				102+83	24' LT										
3	Composite	Direct-Buried	PRIVATE ACCESS ROAD	8+48	21' LT	Autobahn ATB0 LED Street Light P201 Performance Package	36	4,952	0.74	120V-277V	1-0-1	25	0.67	7 Pin Photocontrol Receptacle, Rubber Wildlife Guard (RWG), Utility Wattage Label (WL), Fixed Drive Current (FDC), 3000K color temperature (3K), Type III Distribution	95 C
				9+74	26' LT										
				10+95	26' LT										
				12+19	17' LT										
				12+85	31' LT										
				14+47	85' LT										
				14+47	189' LT										
14+47	290' LT														
4	Composite	Direct-Buried	PRIVATE ACCESS ROAD	16+08	19' LT	Autobahn ATB0 LED Street Light P202 Performance Package	49	6,517	0.74	120V-277V	1-0-2	25	0.67	7 Pin Photocontrol Receptacle, Rubber Wildlife Guard (RWG), Utility Wattage Label (WL), Fixed Drive Current (FDC), 3000K color temperature (3K), Type IV Distribution	95 C
				14+32	29' LT										
5	Composite	Direct-Buried	PRIVATE ACCESS ROAD	14+32	29' LT	Autobahn ATB0 LED Street Light P203 Performance Package	70	9,494	0.74	120V-277V	2-0-3	25	0.67	7 Pin Photocontrol Receptacle, Rubber Wildlife Guard (RWG), Utility Wattage Label (WL), Fixed Drive Current (FDC), 3000K color temperature (3K), Type IV Distribution	95 C
				15+16	33' LT										

\* See PGE approved street light equipment tables and private road street light equipment tables, this sheet, for specifications or model options.

\*\* Offset is measured between roadway construction centerline and the center of the pole.

\*\*\* B = backlight, U = uplight, G = glare

**SELECTED PGE-APPROVED STREET LIGHT EQUIPMENT**

LUMINAIRES*: LED Street Light (TYPE II)	
Size	Manufacturer & Model
45 Watt LED, 5,020 Lumens	Leotek GCJ2-20H-MV-WW-2R-GY-700-PCR7-RWG-WL-FDC-PGE

\*OR APPROVED EQUAL FROM CURRENT PGE APPROVED MATERIALS LIST

POLE OPTIONS*:			
COMPOSITE, 2-PIECE, SMOOTH FINISH, DIRECT-BURIED			
Length, Type	Mounting Height, Color	Segment	Shakespeare
30-foot, Direct Buried	25 feet, Gray	Stub Piece	25-STUB-UP
		Top Piece	BHT3099S2BL9901

\*OR APPROVED EQUAL FROM CURRENT PGE APPROVED MATERIALS LIST

MAST ARM OPTIONS*:			
Length, Finish	Whatley	Valmont	Shakespeare
8 feet, AL Finish	MA-96	IMA0832B475	OPAR-8

\*OR APPROVED EQUAL FROM CURRENT PGE APPROVED MATERIALS LIST

PHOTO CONTROL OPTIONS*:			
EXTENDED LIFE TWIST LOCK			
Type	Ripley	DTL	Intermatic
Photoelectric Control	RD8645	DLL 1271.5 J50	EK4536SB

\*OR APPROVED EQUAL FROM CURRENT PGE APPROVED MATERIALS LIST

**SELECTED PRIVATE ROAD STREET LIGHT EQUIPMENT**

LUMINAIRES*: LED Street Light (TYPE II)	
Size	Manufacturer & Model
36 Watt LED, 4,952 Lumens	ATB0-P201-MVOLT-R3-3K-P7
49 Watt LED, 6,517 Lumens	ATB0-P202-MVOLT-R4-3K-P7
70 Watt LED, 9,494 Lumens	ATB0-P203-MVOLT-R4-3K-P7

\*OR APPROVED EQUAL

POLE OPTIONS*:			
COMPOSITE, 2-PIECE, SMOOTH FINISH, DIRECT-BURIED			
Length, Type	Mounting Height, Color	Segment	Shakespeare
30-foot, Direct Buried	25 feet, Gray	Stub Piece	25-STUB-UP
		Top Piece	BHT3099S2BL9901

\*OR APPROVED EQUAL

MAST ARM OPTIONS*:	
Length, Finish	Holophane
8 inch, BK Finish	HZ-08-1A-BO

\*OR APPROVED EQUAL

PHOTO CONTROL OPTIONS*:			
EXTENDED LIFE TWIST LOCK			
Type	Ripley	DTL	Intermatic
Photoelectric Control	RD8645	DLL 1271.5 J50	EK4536SB

\*OR APPROVED EQUAL

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**STREET LIGHTING DETAILS FOR:**  
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 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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## GreenCobra™ Series

Four sizes deliver the lumen packages and appropriate housing scale for multiple mounting heights:




**GCJ**

- Sized for residential street applications.
- Lumen packages up to 9,600 lumens.




**GCM**

- Mid-size covers commercial and wider local streets.
- Lumen packages up to 19,100 lumens.



**GCL**

- High lumen output for commercial intersections and high-speed roadways.
- Lumen packages up to 29,300 lumens.



**GC2**

- High lumen output for commercial intersections and high-speed roadways.
- Lumen packages up to 35,800 lumens.

### HPS Equivalent Range

Model	Power	Output Range
GCJ	150W	2,400 lm - 9,400 lm
GCM	150W	9,000 lm - 17,800 lm
GCL	High 400W / Low 400W	18,300 lm - 27,400 lm
GC2	400W	14,000 lm - 34,000 lm

### Dimensions

Model	Length	Width	Height
GCJ	18.35"	9.55"	4.78"
GCM	21.6"	12.2"	5.4"
GCL	25.2"	15.2"	5.7"
GC2	30.31"	15.75"	6.45"

To learn more visit [www.leotek.com](http://www.leotek.com) or contact a Leotek lighting agent 408.380.1788

**LEOTEK**

## Optical Engineering

Using breakthrough LEDs and highly engineered precision optics, the Autobahn series offers extremely efficient optical distributions, multiple lumen packages and durable IP rated construction.

### ATB0

**Visualization of Applied Lumens**



Luminaire Performance	100W HPS Cobra head	Autobahn LED ATB0 P451
Pole Spacing	260	260
Average Footcandles	1.3	1.1
Avg/Min	3.3	1.8
Power (Watts)	292	105
Energy Savings	Baseline	64%



**Autobahn ATB0**

- Up to 400W HPS Replacement
- 20, 30, or 45 LED's
- Types II, III, IV & V distributions

**Effective Projected Area (EPA)**  
 The EPA for the ATB0 is 0.76 sq. ft.  
 Approx. Wt.=14 lbs. (6.35 kg)

Autobahn Series | ATB0, ATB2 & ATB 5

**STREET LIGHTING DETAILS FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



DESIGNED:  
ASW  
 CHECKED:  
JAM  
 MAY 20, 2022  
74217.000

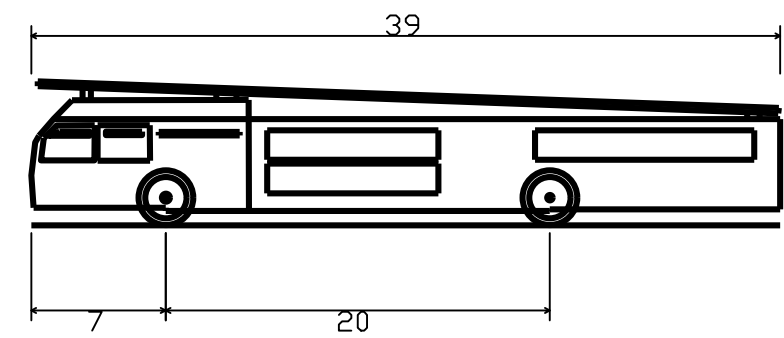
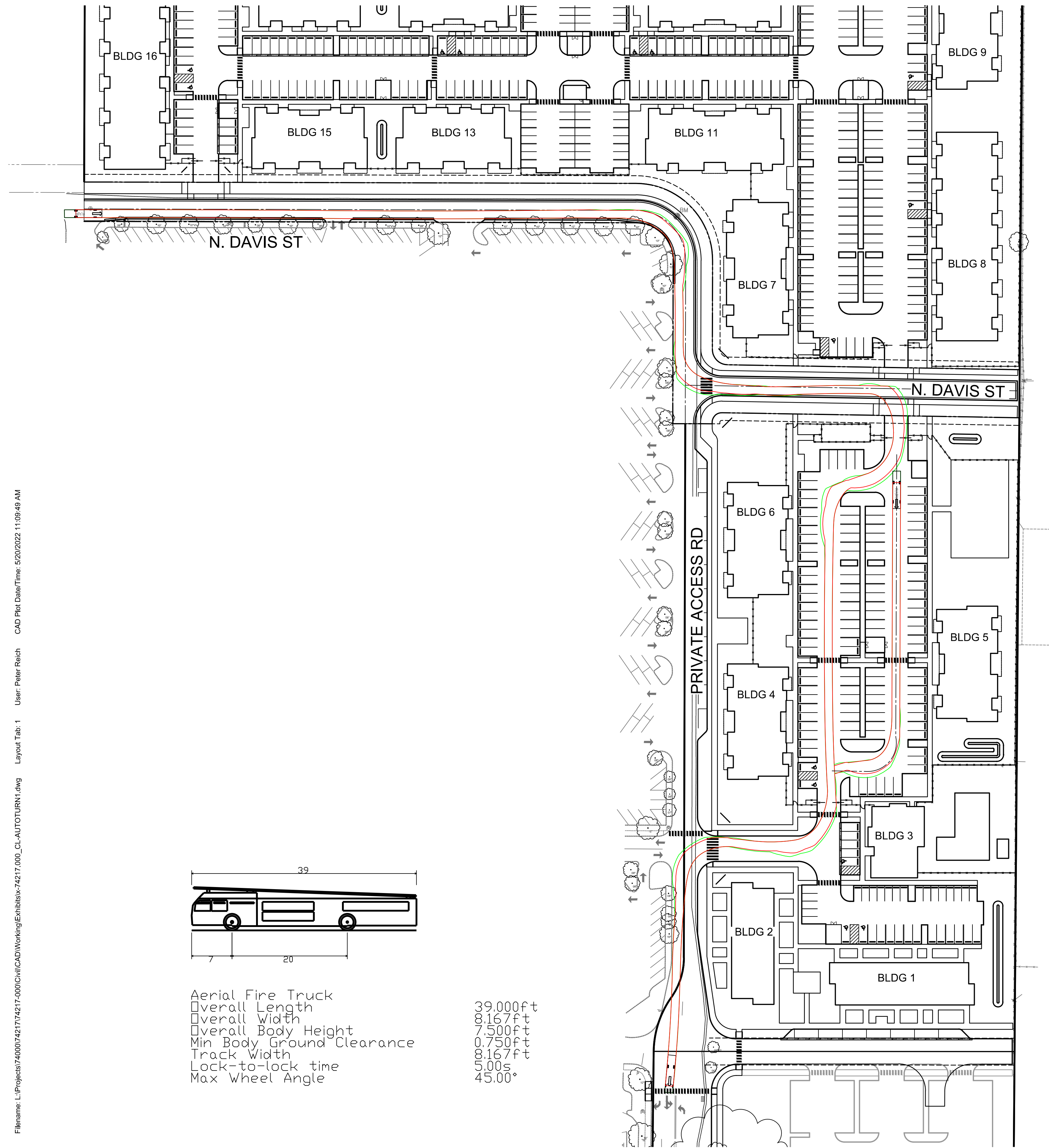
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**LT106**

SHEET 49 OF 49

PRELIMINARY



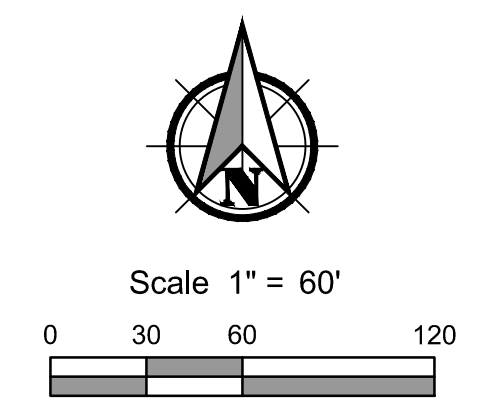
# AERIAL APPARATUS ACCESS EXHIBIT



Aerial Fire Truck	39.000ft
Overall Length	8.167ft
Overall Width	7.500ft
Overall Body Height	0.750ft
Min Body Ground Clearance	8.167ft
Track Width	5.00s
Lock-to-lock time	45.00°
Max Wheel Angle	

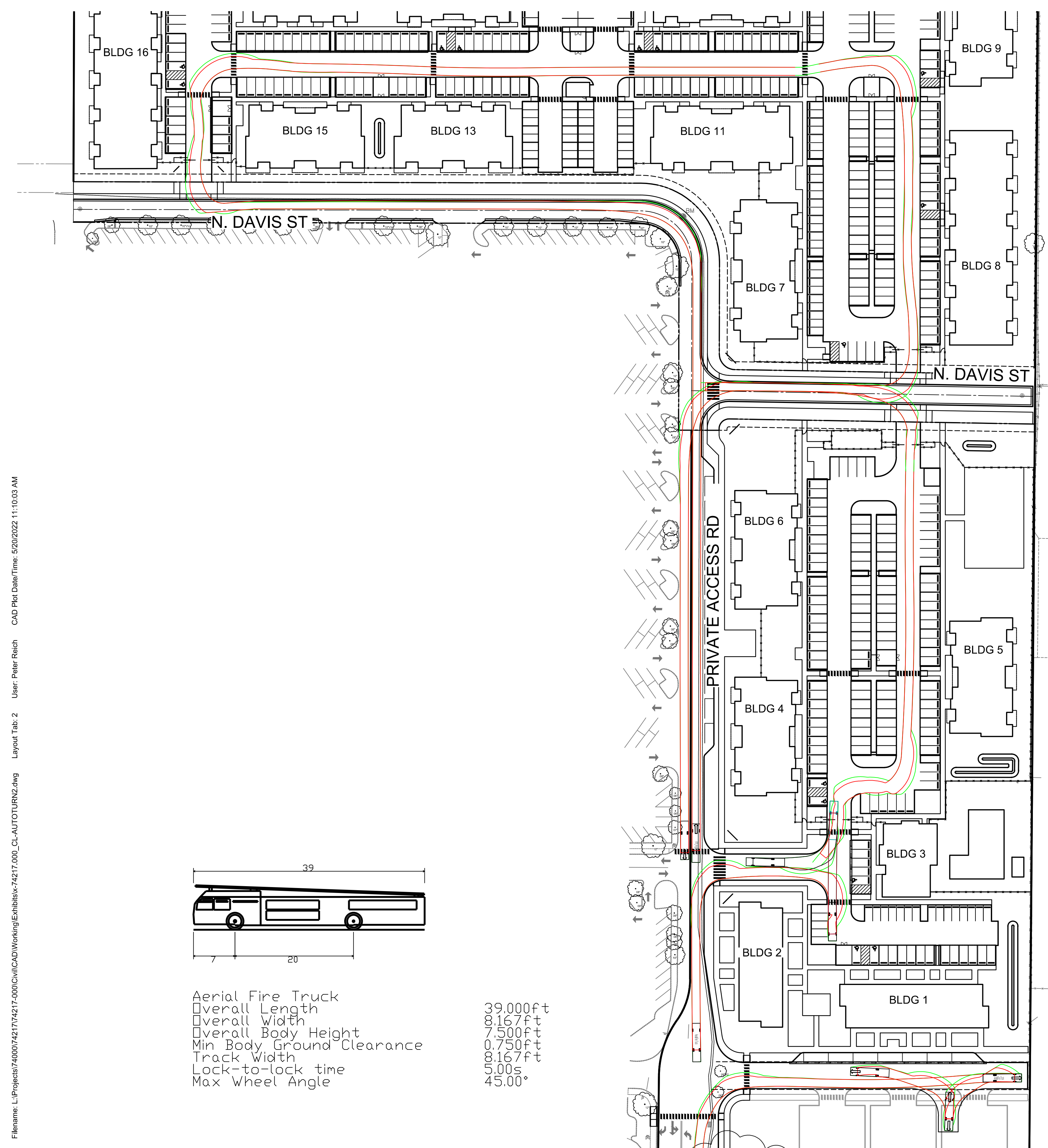
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## CORNELIUS MULTI-USE - AUTOTURN EXHIBIT 1 - 5/20/2022

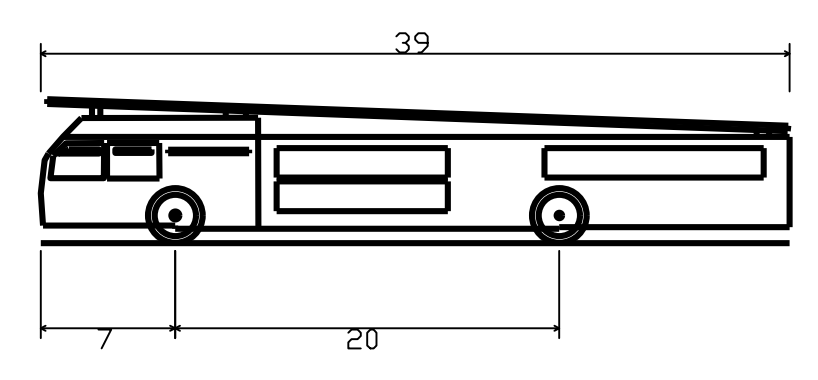




# AERIAL APPARATUS ACCESS EXHIBIT

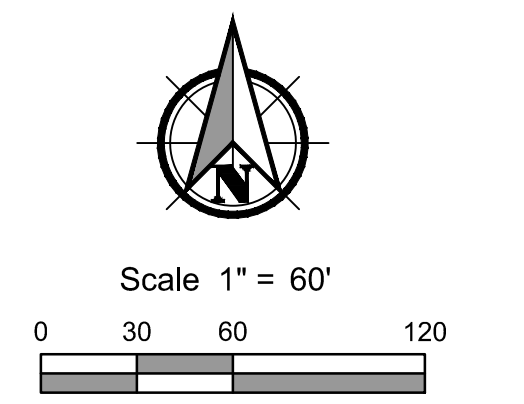


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Aerial Fire Truck	
Overall Length	39.000ft
Overall Width	8.167ft
Overall Body Height	7.500ft
Min Body Ground Clearance	0.750ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

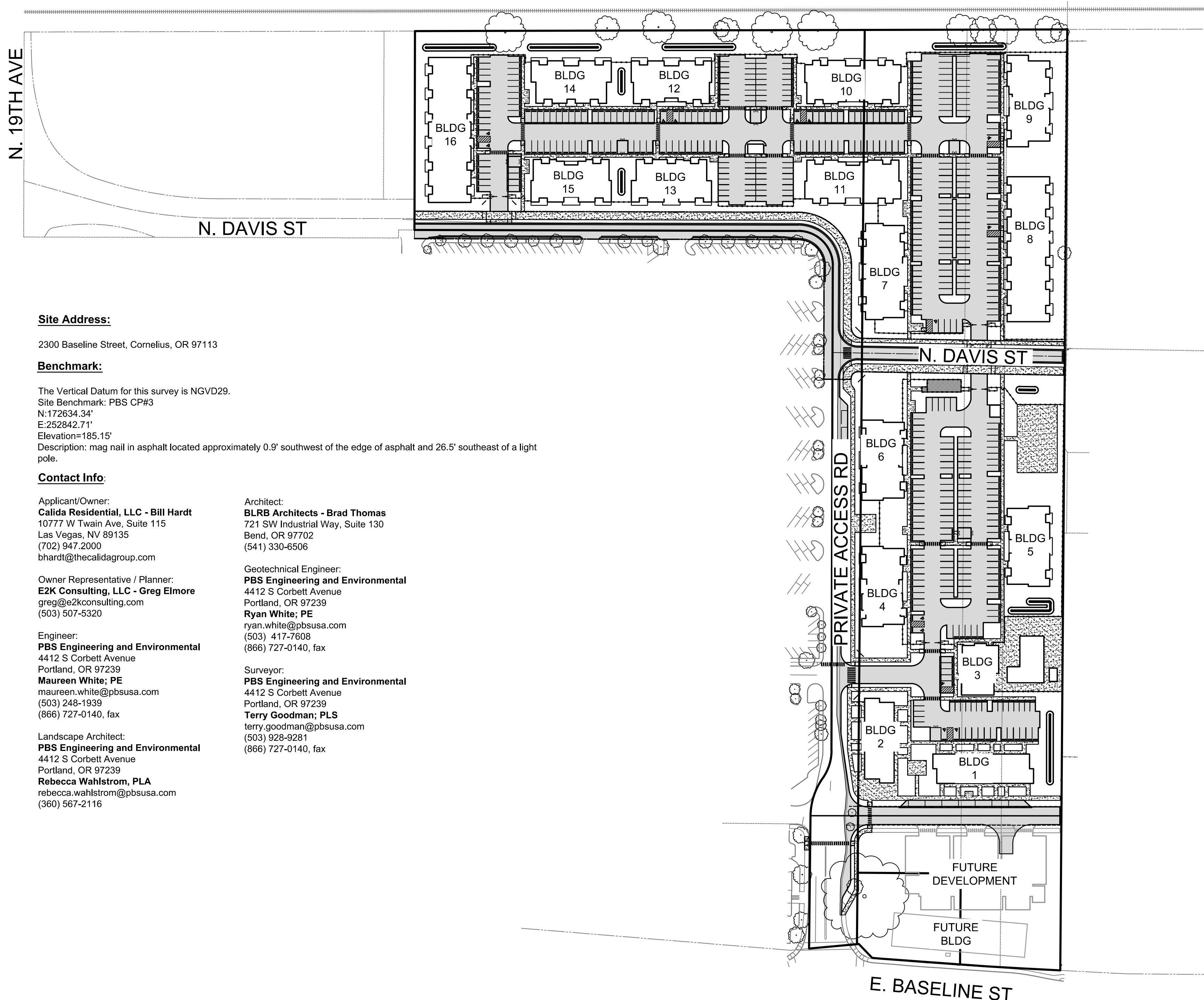
## CORNELIUS MULTI-USE - AUTOTURN EXHIBIT 2 - 5/2/2022





# CORNELIUS MULTIFAMILY LAND PARTITION

LOCATED IN THE SE 1/4 OF THE SW 1/4 OF SECTION 34, T. 1 N., R. 3 W., W.M.  
WASHINGTON COUNTY, OREGON



VICINITY MAP  
NOT TO SCALE

**Site Address:**

2300 Baseline Street, Cornelius, OR 97113

**Benchmark:**

The Vertical Datum for this survey is NGVD29.  
Site Benchmark: PBS CP#3  
N: 172634.34'  
E: 252842.71'  
Elevation: 185.15'  
Description: mag nail in asphalt located approximately 0.9' southwest of the edge of asphalt and 26.5' southeast of a light pole.

**Contact Info:**

**Applicant/Owner:**  
Calida Residential, LLC - Bill Hardt  
10777 W Twain Ave, Suite 115  
Las Vegas, NV 89135  
(702) 947.2000  
bhardt@thecalidagroup.com

**Owner Representative / Planner:**  
E2K Consulting, LLC - Greg Elmore  
greg@e2kconsulting.com  
(503) 507-5320

**Engineer:**  
PBS Engineering and Environmental  
4412 S Corbett Avenue  
Portland, OR 97239  
**Maureen White; PE**  
maureen.white@pbsusa.com  
(503) 248-1939  
(866) 727-0140, fax

**Landscape Architect:**  
PBS Engineering and Environmental  
4412 S Corbett Avenue  
Portland, OR 97239  
**Rebecca Wahlstrom, PLA**  
rebecca.wahlstrom@pbsusa.com  
(360) 567-2116

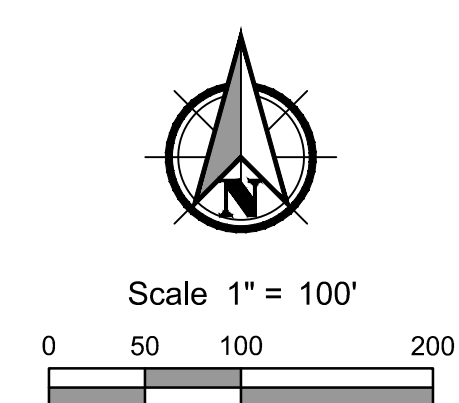
**Architect:**  
BLRB Architects - Brad Thomas  
721 SW Industrial Way, Suite 130  
Bend, OR 97702  
(541) 330-6506

**Geotechnical Engineer:**  
PBS Engineering and Environmental  
4412 S Corbett Avenue  
Portland, OR 97239  
**Ryan White; PE**  
ryan.white@pbsusa.com  
(503) 417-7608  
(866) 727-0140, fax

**Surveyor:**  
PBS Engineering and Environmental  
4412 S Corbett Avenue  
Portland, OR 97239  
**Terry Goodman; PLS**  
terry.goodman@pbsusa.com  
(503) 928-9281  
(866) 727-0140, fax

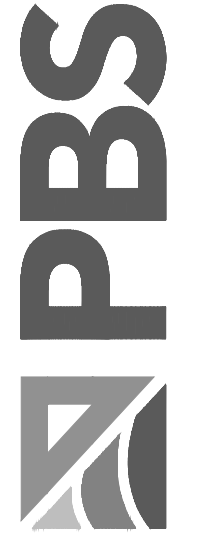
Sheet Index		
Sheet #	Sheet ID	Sheet Title
1	C001	COVER
2	C002	LEGEND AND ABBREVIATIONS
3	C003	GENERAL NOTES
4	C100	EXISTING CONDITIONS KEY MAP
5	C101	EXISTING CONDITIONS PLAN
6	C102	EXISTING CONDITIONS PLAN
7	C103	EXISTING CONDITIONS PLAN
8	C104	EXISTING CONDITIONS PLAN
9	C105	EXISTING CONDITIONS PLAN
10	C106	EXISTING CONDITIONS PLAN
11	C200	DIMENSIONED SITE IMPROVEMENT PLAN KEY MAP
12	C201	DIMENSIONED SITE IMPROVEMENT PLAN
13	C202	DIMENSIONED SITE IMPROVEMENT PLAN
14	C203	DIMENSIONED SITE IMPROVEMENT PLAN
15	C204	DIMENSIONED SITE IMPROVEMENT PLAN
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17	C206	DIMENSIONED SITE IMPROVEMENT PLAN
18	C207	DIMENSIONED SITE IMPROVEMENT PLAN
19	C300	PRELIMINARY PLAT
20	C400	UTILITY PLAN KEY MAP
21	C401	UTILITY PLAN
22	C402	UTILITY PLAN
23	C403	UTILITY PLAN
24	C404	UTILITY PLAN
25	C405	UTILITY PLAN
26	C406	UTILITY PLAN
27	C407	UTILITY PLAN
28	L101	PLANTING LEGEND, DETAILS & NOTES
29	L102	PLANTING PLAN
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32	L105	PLANTING PLAN
33	L106	PLANTING PLAN
34	L107	PLANTING PLAN
35	L108	PLANTING PLAN
36	L109	PLANTING DETAILS
37	L110	IRRIGATION DETAILS

No.	Revision	Date	By	App'd
A	PRELIMINARY - ISSUED FOR REVIEW	03/10/2022	PVR	MPW



60% SUBMITTAL

PBS Engineering and Environmental Inc.  
4412 S Corbett Avenue  
Portland, OR 97239  
503.248.1939  
pbsusa.com



COVER FOR:  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
Call before you dig.

DESIGNED:  
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MPW  
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74217.000

SHEET ID  
**C001**

SHEET 1 OF 37

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Existing Linetype Legend		Proposed/Future Linetype Legend	
Existing Sanitary Sewer Pipe	SS	Proposed Sanitary Sewer Pipe	SS
Existing 4" Sanitary Sewer Pipe	4" SS	Proposed Sanitary Lateral	SS
Existing 6" Sanitary Sewer Pipe	6" SS	Proposed Sanitary Force Main	SS
Existing 8" Sanitary Sewer Pipe	8" SS	Proposed Storm Under Drain	SS
Existing 10" Sanitary Sewer Pipe	10" SS	Proposed Storm Rain Drain	SS
Existing 12" Sanitary Sewer Pipe	12" SS	Proposed Storm Pipe	SS
Existing 15" Sanitary Sewer Pipe	15" SS	Proposed Water Lateral	SS
Existing 18" Sanitary Sewer Pipe	18" SS	Proposed Water Pipe	SS
Existing 24" Sanitary Sewer Pipe	24" SS	Proposed Irrigation Pipe	SS
Existing 30" Sanitary Sewer Pipe	30" SS	Proposed Irrigation Lateral	SS
Existing Sanitary Force Main	FM	Proposed Lot Line	SS
Existing Storm Sewer Pipe	SD	Proposed Flow Line	SS
Existing 4" Storm Sewer Pipe	4" SD	Proposed Centerline	SS
Existing 6" Storm Sewer Pipe	6" SD	Proposed Right-of-way	SS
Existing 8" Storm Sewer Pipe	8" SD	Proposed Sawcut Line	SS
Existing 10" Storm Sewer Pipe	10" SD	Proposed Easement	SS
Existing 12" Storm Sewer Pipe	12" SD	Proposed Curb & Gutter	SS
Existing 15" Storm Sewer Pipe	15" SD	Proposed End Of Pav't	SS
Existing 18" Storm Sewer Pipe	18" SD	Proposed Sidewalk	SS
Existing 24" Storm Sewer Pipe	24" SD	Proposed Wall	SS
Existing Water Pipe	WL	Proposed Building	SS
Existing 4" Water Pipe	4" WL	Proposed Building Overhang	SS
Existing 6" Water Pipe	6" WL	Proposed Setback	SS
Existing 8" Water Pipe	8" WL	Proposed Property Line	SS
Existing 10" Water Pipe	10" WL	Proposed Cut Line	SS
Existing 12" Water Pipe	12" WL	Proposed Tree Protection	SS
Existing 15" Water Pipe	15" WL	Proposed Paint Stripe	SS
Existing 18" Water Pipe	18" WL	Proposed Fence	SS
Existing 24" Water Pipe	24" WL	Proposed Wetland Buffer	SS
Existing Water Lateral	WL	Proposed Wetland Perimeter	SS
Existing Irrigation Pipe	IRR	Proposed Contour	SS
Existing 4" Irrigation Pipe	4" IRR	Erosion Control Filter Fabric Fence	SS
Existing 6" Irrigation Pipe	6" IRR		
Existing 8" Irrigation Pipe	8" IRR		
Existing 10" Irrigation Pipe	10" IRR		
Existing 12" Irrigation Pipe	12" IRR		
Existing Irrigation Lateral	IRR		
Existing Cable Tv Line	TV		
Existing Electric Line	E		
Existing Gas Line	G		
Existing Over Head Power Line	OHP		
Existing Telephone Line	T		
Existing Fiber Optic Line	FO		
Existing Underground Utility Line	UGP		
Existing Centerline			
Existing Curb			
Existing Lot Line			
Existing Gravel road			
Existing Flow Line			
Existing Paint Stripe			
Existing Right-of-way			
Existing Building			
Existing Wetland Perimeter			
Existing Wetland Buffer			
Existing Property Line			
Existing Utility Easement			
Existing Quarter Section			
Existing Railroad			
Existing Fence			
Existing Wall			
Existing Contour			

Hatching Legend	
	Proposed Asphalt
	Proposed Concrete
	Proposed Gravel
	Existing Wetland

Abbreviation Legend		Abbreviation Legend	
Acres	AC	High Water Elevation	HW
Area dRAIN	AD	Hydrant	HYD
Avenue	AVE	Invert Elevation	IE
Approved	APP'D	Intersection	INTX
Butterfly	BF	Invert	INV
Boulevard	BLVD	Length	L
Benchmark	BM	Lateral	LAT
Blow Off	BO	Low Point of Curb	LP
Back Of Curb	BOC	Left	LT
Begin Vertical Curve	BVC	Maximum	MAX
Care Of	C/O	Manhole	MH
Catch Basin	CB	Minimum	MIN
Cubic Feet	CF	Mechanical Joint	MJ
Cast Iron	CI	Number	No. or #
Cement	CEM	Overhead Electric	OHE
Circle	CIR	Pavement	PAVT
Centerline	CL	Point Of Curve	PC
Corrugated Metal Pipe	CMP	Power Pole	PP
Cleanout	CO	Point Of Reverse Curve	PRC
Combination	COMB	Point Of Reverse Vertical Curve	PRVC
Compaction	COMP	Point Of Tangent	PT
Concrete	CONC	Point Of Vertical Intersection	PVI
Construction	CONST	Polyvinyl Chloride	PVC
Corrugated Polyethylene	CPE	Place	PL
Concrete Sewer Pipe	CSP	Radius	R
Court	CT	Right Of Way	R/W
Cubic Yard	CY	Return	RET
Cement	CEM	Right	RT
Depth	D	Storm Drain	SD
Ductile Iron	DI	Sanitary Sewer	SS
Diameter	DIA	Steel	STL
Ductile Iron Pipe	DIP	Sidewalk	S/W
Down Spout	DS	Street	ST
Edge Of Pavement	EOP	Station Centerline	STA
End Curb Return	ER	Standard	STD
Easement	ESMT	Sanitary	SAN
Existing	EXTG	Storm	STM
Elevation	EL	Tangent	T
Electric	ELEC	Thrust Block	TB
End Vertical Curb	EVC	Temporary Benchmark	TBM
Finished Floor	FF	Top Of Curb	TC
Finished Grade	FG	Telephone	TEL
Fire Hydrant	FH	Temporary	TEMP
Flange	FLG	Top Of Manhole	TOP
Force Main	FM	Typical	TYP
Foot / Feet	FT	Underground Electric	UGE
Gas	G	Vertical Curve	VC
Galvanized Iron	GI	Vertical	VERT
Ground	GRD	Water	WTR
Gate Valve	GV	With	W/
High Density Polyethylene	HDPE	Without	W/O
Horizontal	HORIZ	Water Meter	WM
High Point of Curb	HP	Yard	YD

Symbol Legend	
Existing Water Valve	
Existing Gas Valve	
Existing Fire Hydrant	
Existing Power Pole	
Existing Water Meter	
Existing Electrical Pedestal	
Existing Project Bench Mark	
Existing Iron Rod	
Existing Sanitary Manhole	
Existing Storm Manhole	
Existing Catch Basin	
Existing Area Drain	
Existing Combo Inlet	
Existing Telephone Pad	
Existing Cleanout	
Existing Flow Arrow	
Proposed Bollard	
Proposed Street Light	
Proposed Road Barrier	
Proposed Road Sign	
Proposed Flow Arrow	
Proposed Catch Basins	
Proposed Area Drain	
Proposed Combination Curb Inlet	
Proposed Storm Reducer	
Proposed Rain Drain	
Proposed Storm Cleanout	
Proposed Storm Manhole	
Proposed Sedimentation Manhole	
Proposed Drywell	
Proposed Sanitary Cap	
Proposed Sanitary Reducer	
Proposed Sanitary Cleanout	
Proposed Sanitary Manhole	
Proposed Fire Protection Vault	
Proposed Water Meter	
Proposed Water Backflow Device	
Proposed Water Valve	
Proposed Water Bend Tee W/valve	
Proposed Water Bend Tee W/tb	
Proposed Water 22 1/2" Bend W/tb	
Proposed Water 11 1/2" Bend W/tb	
Proposed Water 45" Bend W/tb	
Proposed Water 90" Bend W/tb	
Proposed Water Stand Pipe	
Proposed Water Bend X	
Proposed Water Temporary Blowoff	
Proposed Water Standard Blowoff	
Proposed Water Reducer	
Proposed Water Thrust Block	
Proposed Fire Hydrant	
Proposed Inlet Protection Pillow	
Proposed Gravel Construction Entrance	

LEGEND AND ABBREVIATIONS FOR:

# CORNELIUS MULTIFAMILY DEVELOPMENT

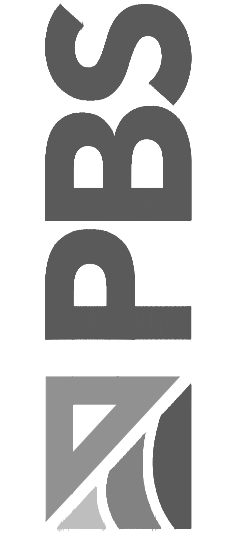
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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MPW  
MAY 20, 2022  
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SHEET ID  
**C002**





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**CITY OF CORNELIUS GENERAL NOTES:**

**WATER GENERAL NOTES:**

- ALL NEW AND REPLACEMENT PUBLIC WATER MAINS SHALL BE CLASS DR18 C900.
- HYDRANT ASSEMBLIES SHALL USE CLASS 52 DUCTILE IRON PIPE TO CONNECT THE GATE VALVE TO THE HYDRANT AND SHALL BE INSTALLED AS SHOWN IN CITY OF CORNELIUS DETAIL W-1.
- VALVES SHALL BE RESILIENT SEATED GATE VALVES.
- ALL VALVES SHALL BE MUELLER BRAND.
- VALVES SHALL BE SET AS SHOWN IN CITY OF CORNELIUS DETAIL W-2.
- A MINIMUM OF THREE LENGTHS OF PIPE SHALL BE RESTRAINED AT ALL WATER SYSTEM DEAD-ENDS.
- MECHANICAL RESTRAINTS SHALL BE USED ON ALL TEES, CROSSES, VALVES, AND CHANGES IN PIPE DIRECTION OF MORE THAN 10 DEGREES. FIELD LOCK GASKETS ALONE ARE INSUFFICIENT TO MEET THIS REQUIREMENT FOR MECHANICAL RESTRAINTS.
- CONCRETE THRUST BLOCKS SHALL ONLY BE USED IN SPECIAL CASES AND WHEN DIRECTED BY THE CITY ENGINEER OR CITY'S ENGINEERING INSPECTOR. WHEN REQUIRED, THRUST BLOCKS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF CORNELIUS DETAILS W-3 AND W-4.
- WATER SERVICES 2-INCH AND SMALLER SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF CORNELIUS DETAIL W-7.
- THE PARTY CONSTRUCTING A NEW WATER MAIN SHALL BE RESPONSIBLE FOR CONSTRUCTING ALL 2-INCH AND SMALLER SERVICE CONNECTIONS. THESE CONNECTIONS INCLUDE THE CONNECTION TO THE MAIN LINE, SERVICE, METER BOX, AND CURB STOP. THE CITY WILL SET THE METER.
- WHERE SERVICE LINES WILL BE CONSTRUCTED FOR ADJOINING LOTS, THE SERVICE LINES SHALL BE LAID IN THE SAME TRENCH, WHENEVER POSSIBLE, TO MINIMIZE STREET CUTS. THE TAPS INTO THE MAIN LINE AND THE CENTERLINE OF THE METER BOXES SHALL BE A MINIMUM OF 24" APART. SERVICE LINES SHALL BE A MINIMUM OF 12" APART.
- 12-GAUGE COPPER TRACER WIRE IS REQUIRED ON ALL SERVICE LINES BETWEEN THE WATER MAIN AND THE METER.
- 12-GAUGE COPPER TRACER WIRE IS REQUIRED ON MAIN LINES WHERE THE RUN BETWEEN VALVE BOXES IS NOT LINEAR.
- TRENCHING BACKFILL IN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF CORNELIUS DETAIL S-3.
- PAVEMENT SHALL BE RESTORED TO PRE-EXISTING CONDITIONS OR BETTER. PAVEMENT RESTORATION SHALL FOLLOW THE REQUIREMENTS OF CITY OF CORNELIUS DETAILS S-4 AND S-5.

**SANITARY AND STORM SEWERS GENERAL NOTES:**

- IN GENERAL, THE LATEST VERSION OF THE CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION STANDARDS FOR SANITARY SEWER AND SURFACE WATER MANAGEMENT STANDARDS SHALL GOVERN CONSTRUCTION AND DESIGN OF SANITARY SEWER AND STORM AND EROSION CONTROL FACILITIES. WHERE CONFLICTS EXIST BETWEEN THE CITY OF CORNELIUS PUBLIC WORKS STANDARDS AND THE CWS STANDARDS, THE CITY STANDARDS SHALL PREVAIL.
- ALL NON-METALLIC PIPE, INCLUDING MAIN LINES AND LATERALS, SHALL HAVE 12-GAUGE, GREEN-COATED TRACER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE. THE TRACER WIRE SHALL CLIMB THE OUTSIDE OF THE MANHOLE TO THE TOP PICK HOLE AND GO BEHIND STEPS AND TIE TO THE TOP STEP WITH A 30" TAIL.
- TRACER WIRE IS NOT REQUIRED ON STRAIGHT SECTIONS OF PIPE BETWEEN STRUCTURES (MANHOLES AND CATCH BASINS).
- TRENCHING BACKFILL IN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF CORNELIUS DETAIL S-3.
- PAVEMENT SHALL BE RESTORED TO PRE-EXISTING CONDITIONS OR BETTER. PAVEMENT RESTORATION SHALL FOLLOW THE REQUIREMENTS OF CITY OF CORNELIUS DETAILS S-4 AND S-5.

**STREETS GENERAL NOTES:**

- WHERE STORM AND SANITARY LATERALS TRAVERSE UNDER A CURB, THE CURB SHALL BE STAMPED TO IDENTIFY THE LATERAL TYPE.
- RESTORATION OF AN EXISTING CURB AND GUTTER IS SHOWN IN CITY OF CORNELIUS DETAIL S-15
- SIDEWALKS SHALL MEET ADA REQUIREMENTS UNLESS STEEP TERRAIN MAKES THIS IMPOSSIBLE.
- THE PEDESTRIAN ZONE, WHICH INCLUDES SIDEWALKS, PATHWAYS, AND BULB-OUTS, MUST REMAIN FREE OF OBSTACLES. OBSTACLES INCLUDE ABOVE GROUND OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO: FIRE HYDRANTS, MAILBOXES, UTILITY PEDESTALS, UTILITY POLES, ABOVE GROUND UTILITY VAULTS, TREES, SIGN POSTS AND SIGNS, STREET LIGHT POLES, SIGNAL POLES, AND SIGNAL CONTROL EQUIPMENT. THE ONLY EXCEPTION TO THIS RULE IS WHERE THE SIDEWALK IS MORE THAN 6 FEET WIDE. IN THE CASES OF THESE WIDE SIDEWALKS, THE ABOVE GROUND OBSTRUCTIONS SHOULD BE PLACED AS CLOSE AS POSSIBLE TO THE CURB SO THAT A CLEAR CORRIDOR FOR PEDESTRIANS AT LEAST 5-FEET WIDE IS MAINTAINED.
- PEDESTALS, POWER METER BOXES, POWER TRANSFORMERS, CABLE CLOSURES, AND SIMILAR FRANCHISE UTILITY FACILITIES SHALL BE LOCATED OUTSIDE THE RIGHT-OF-WAY IN THE PUBLIC UTILITY EASEMENT, UNLESS APPROVED BY THE CITY ENGINEER.
- SIDEWALK FINISHING REQUIREMENTS ARE SHOWN IN CITY OF CORNELIUS DETAIL S-25.

**SIGNING AND STRIPING GENERAL NOTES:**

- SIGNS PROJECTING OVER SIDEWALKS SHALL BE MOUNTED SUCH THAT THEY ARE AT LEAST 7 FEET ABOVE A SIDEWALK OR PATHWAY.
- THE WIDTH OF THE BOTTOM OF THE ADA RAMP SHALL BE AT LEAST AS WIDE AS THE SIDEWALK OR PATHWAY IT SERVES.
- SIGNING AND STRIPING SHALL FOLLOW THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS BY THE FEDERAL HIGHWAY ADMINISTRATION EXCEPT AS NOTED IN THESE NOTES.
- ARTERIALS SHALL BE STRIPED WITH THE APPROPRIATE LANE MARKINGS.
- BIKE LANES SHALL BE STRIPED.
- PARKING SPACES IN PARALLEL PARKING BAYS CAN BE MARKED WITH A SIMPLE "T" AT THE CORNER OF THE SPACES ADJACENT TO THE TRAVEL LANES.
- PARKING SPACES IN HEAD-IN PARKING BAYS MUST BE STRIPED BETWEEN THE SPACES.
- ALL STRIPING SHALL BE THERMOPLASTIC.
- PERMANENT SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF CORNELIUS DETAIL S-31.

**LANDSCAPING GENERAL NOTES:**

- BROADLEAF TREES PLANTED IN SINGLE-FAMILY AND DUPLEX NEIGHBORHOODS, SHALL BE A MINIMUM CALIPER SIZE OF 1.5".
- BROADLEAF TREES PLANTED IN OTHER THAN SINGLE-FAMILY AND DUPLEX NEIGHBORHOODS SHALL BE A MINIMUM CALIPER SIZE OF 2".
- CONIFERS MUST BE A MINIMUM 5 FEET IN HEIGHT AT TIME OF PLANTING.
- TREES IN PARKWAY STRIPS SHALL BE INSTALLED WITH AN 18-INCH DEEP ROOT BARRIER.
- THE APPROPRIATE PLANTING METHODS FOR TREES ARE SHOWN IN CITY OF CORNELIUS DETAIL S-41.
- WATERING OF NEWLY PLANTED TREES IS REQUIRED. WATERING SHALL BE ACCOMPLISHED THROUGH USE OF A TEMPORARY IRRIGATION SYSTEM OR WITH INDIVIDUAL PORTABLE TREE WATERING DEVICES SUCH AS "GATOR BAGS."

**STREET LIGHTING GENERAL NOTES:**

- STREET LIGHTING SHALL BE LED.
- STREET LIGHT FIXTURES SHALL EMIT NO LIGHT UPWARD.
- COLOR TEMPERATURE (CCT) SHALL NOT EXCEED 3000K.
- ALL STREET LIGHTING SHALL BE OPTION C, IN OTHER WORDS, OWNED AND MAINTAINED BY THE CITY.

**PBS ENGINEERING + ENVIRONMENTAL GRADING NOTES**

- CUT AND FILL QUANTITIES WILL VARY DEPENDING ON FINAL GRADING IN THE FIELD DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PREPARING/ESTIMATING CONSTRUCTION EARTHWORK CALCULATIONS FOR BIDDING AND CONSTRUCTION ACTIVITY.
- REFER TO PROJECT GEOTECHNICAL INVESTIGATION REPORT PREPARED BY PBS ENGINEERING PROJECT NUMBER 74217.000 DATED OCTOBER 6, 2021 FOR RECOMMENDATIONS AND DETAILED EARTHWORK INFORMATION.
- CONTRACTOR TO COORDINATE WITH OWNER FOR GEOTECH MONITORING AND APPROVAL OF ALL EARTHWORK ACTIVITY. SOME OVER EXCAVATION OF POOR SOILS MAY BE NECESSARY.

**PBS ENGINEERING + ENVIRONMENTAL SITE IMPROVEMENT NOTES**

- CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ALIGNMENT, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
- NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION. PRIOR TO BIDDING AND ORDERING CONSTRUCTION MATERIALS, THE CONSTRUCTION CONTRACTOR SHALL THOROUGHLY REVIEW THESE DOCUMENTS FOR CONFLICTS WITH EXISTING AND PROPOSED NEW UTILITIES. NOTIFY THE OWNER AND ENGINEER IMMEDIATELY OF ANY POTENTIAL CONFLICTS. NEITHER THE OWNER OR THE OWNER'S REPRESENTATIVES/DESIGN CONSULTANTS SHALL BE RESPONSIBLE FOR ADDITIONAL CONSTRUCTION COSTS/DELAYS ASSOCIATED WITH POTENTIAL CONFLICTS THAT ARE REFLECTED ON THESE DOCUMENTS. UNANTICIPATED SUBSURFACE CONDITIONS WILL BE CONSIDERED OTHERWISE BY THE OWNER.
- CONFIRM ALL CONCRETE SCORING PATTERNS WITH LANDSCAPE ARCHITECT.
- UNDERGROUND ELECTRICAL AND GAS UTILITIES TO BE LOCATED TO AVOID CONFLICT WITH PROPOSED STORMWATER FACILITIES, SANITARY SEWER AND WATER LINES.
- PROTECT ALL UTILITIES DURING CONSTRUCTION.

**PBS ENGINEERING + ENVIRONMENTAL STORMWATER NOTES**

- CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ALIGNMENT, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND ORDERING MATERIALS. NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ALL WORK WITHIN EASEMENTS TO THE SPECIFICATIONS, AND STANDARDS AND CARE REQUIRED BY THE JURISDICTION OF THE EASEMENT.
- LOCATION OF EXISTING UTILITIES IS APPROXIMATE BASED OFF A TOPOGRAPHIC SURVEY PROVIDED TO PBS FROM PBS SURVEYING JOB NUMBER: 74217.000 DATED: AUGUST 2021 AND SHOWN ON C-100-C107. THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING LOCATION OF ALL UTILITIES BEFORE EXCAVATION WORK. CONTRACTOR WILL BE HELD FULLY LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES NOT PROPERLY LOCATED.
- NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION. PRIOR TO BIDDING AND ORDERING CONSTRUCTION MATERIALS, THE CONSTRUCTION CONTRACTOR SHALL THOROUGHLY REVIEW THESE DOCUMENTS FOR CONFLICTS WITH EXISTING AND PROPOSED NEW UTILITIES. NOTIFY THE OWNER AND ENGINEER IMMEDIATELY OF ANY POTENTIAL CONFLICTS. NEITHER THE OWNER OR THE OWNER'S REPRESENTATIVES/DESIGN CONSULTANTS SHALL BE RESPONSIBLE FOR ADDITIONAL CONSTRUCTION COSTS/DELAYS ASSOCIATED WITH POTENTIAL CONFLICTS THAT ARE REFLECTED ON THESE DOCUMENTS. UNANTICIPATED SUBSURFACE CONDITIONS WILL BE CONSIDERED OTHERWISE BY THE OWNER.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER, SANITARY SEWER AND STORMWATER LINES, WHERE POSSIBLE.
- INSTALL DETECTABLE UNDERGROUND MARKING TAPE ON ALL PROPOSED UTILITIES.
- THE GEOTECHNICAL ENGINEER OF RECORD SHOULD REVIEW THE GEOTECHNICAL-RELATED ASPECTS OF THE PROJECT PLANS AND SPECIFICATIONS, REQUESTS FOR INFORMATION (RFI), AND CONTRACTOR SUBMITTALS FOR CONFORMANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
- THE GEOTECHNICAL ENGINEER OF RECORD OR THEIR REPRESENTATIVE WILL BE REQUIRED TO PROVIDE OBSERVATION AND TESTING FOR THE GEOTECHNICAL-RELATED ASPECTS OF CONSTRUCTION.
- THE GEOTECHNICAL ENGINEER OF RECORD WILL PROVIDE A FINAL LETTER REGARDING COMPLIANCE WITH THE GEOTECHNICAL-RELATED ASPECTS OF CONSTRUCTION UPON PROJECT COMPLETION.
- PROTECT ALL EXISTING UTILITY LINES AND STRUCTURES.
- SEE PLAN FOR THE PIPE TYPE, SIZES, AND LENGTH.
- FOUNDATION DRAINS NOT SHOWN ON PLANS FOR DRAWING CLARITY. REFER TO ARCHITECTURAL PLANS FOR INFORMATION.

**PBS ENGINEERING + ENVIRONMENTAL SANITARY SEWER NOTES**

- CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ALIGNMENT, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND ORDERING MATERIALS. NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER, SANITARY SEWER AND STORMWATER LINES AND MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES, WHERE POSSIBLE, OR SEE CITY OF CORNELIUS WATER GENERAL NOTES ON THIS SHEET.
- SEE PLAN FOR THE PIPE TYPE, SIZES, AND LENGTH.
- UTILITIES TERMINATE 5' FROM BUILDING. SEE PLUMBING/MECHANICAL PLANS FOR CONTINUATION WITHIN BUILDING. CONFIRM LOCATIONS PRIOR TO CONSTRUCTION.
- PROTECT ALL EXISTING UTILITY LINES AND STRUCTURES.

**PBS ENGINEERING + ENVIRONMENTAL WATER NOTES**

- FIRE DEPARTMENT CONNECTION (FDC) LOCATIONS AND SIZES TO BE COORDINATED WITH SPRINKLER CONTRACTOR. PLACEMENT MUST BE WITHIN 150' OF FIRE HYDRANT.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ALIGNMENT, DEPTH AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND ORDERING MATERIALS. NOTIFY OWNER IMMEDIATELY OF EXISTING UTILITY CONFLICTS WITH NEW CONSTRUCTION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER, SANITARY SEWER AND STORMWATER LINES AND MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES, WHERE POSSIBLE, OR SEE CITY OF CORNELIUS WATER SYSTEM NOTES
- SEE PLAN FOR THE PIPE TYPE, SIZES, AND LENGTH.
- UTILITIES TERMINATE 5' FROM BUILDING. SEE PLUMBING/MECHANICAL PLANS FOR CONTINUATION WITHIN BUILDING. CONFIRM LOCATIONS PRIOR TO CONSTRUCTION.
- PROTECT ALL EXISTING UTILITY LINES AND STRUCTURES.

**PBS ENGINEERING + ENVIRONMENTAL EROSION AND SEDIMENT CONTROL NOTES**

- THE IMPLEMENTATION OF THESE EROSION CONTROL PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE FACILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED.
- THE EROSION CONTROL FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE FACILITIES SHALL BE UPGRADED FOR UNEXPECTED STORM EVENTS AND TO INSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. A WHEEL WASH MAY BE REQUIRED IF THE STABILIZED CONSTRUCTION ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO THE SURROUNDING PAVEMENT. INSTALL IF NECESSARY OR REQUIRED BY AGENCY.
- CONSTRUCT SEDIMENT FENCE 6 FT. AT THE TOE OF FILL SLOPES IN AREAS WHERE SEDIMENT-LADEN WATER HAS A POTENTIAL OF ENTERING WATERWAYS OR LEAVING THE RIGHT-OF-WAY.
- ADJUST SILT FENCE AS NECESSARY FOR CONSTRUCTION ACCESS.

PBS Engineering and Environmental Inc.  
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GENERAL NOTES FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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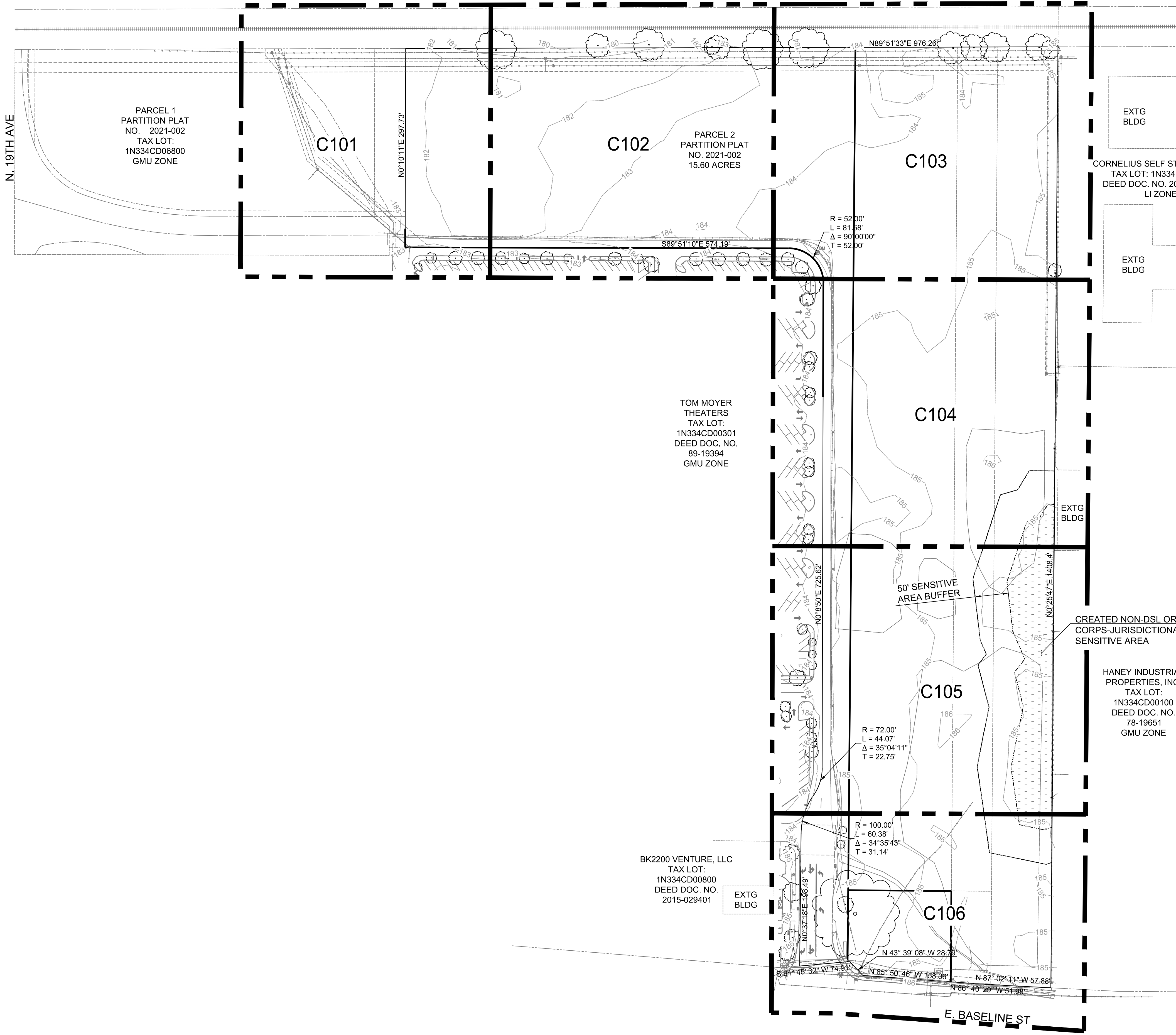
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CHECKED:  
MPW  
MAY 20, 2022  
74217.000

SHEET ID  
**C003**

SHEET **2** OF **49**



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VICINITY MAP  
NOT TO SCALE

EXISTING CONDITIONS SURVEY NOTES:

1. THE VERTICAL DATUM FOR THIS SURVEY IS NGVD29 (WASHINGTON COUNTY). \*SITE ELEVATIONS WERE TRANSFERRED THROUGH DIFFERENTIAL LEVELS FROM WASHINGTON COUNTY BENCHMARK 501 (ELEVATION=182.865')
2. HORIZONTAL: OREGON COORDINATE REFERENCE SYSTEM (OCRS) PORTLAND ZONE- NAD 83/2011 BASIS OF BEARINGS IS NORTH 28°46'04" EAST BETWEEN CONTROL POINTS 1 AND 15 BASED ON DUAL OCRS GNSS OBSERVATIONS.
3. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSE OF DESIGNING SITE IMPROVEMENTS.
4. CONTOURS DERIVED BY DIRECT FIELD OBSERVATIONS. ELEVATION AND CONTOUR ACCURACY IS ONE-HALF THE CONTOUR INTERVAL.
5. THIS MAP IS HAS BEEN PRODUCED FOR DESIGN PURPOSES AND SHOWS AN ACCURATE BOUNDARY DEPICTION.
6. BOUNDARIES SHOWN HAVE BEEN DETERMINED.
7. THE UNDERGROUND UTILITIES SHOWN HEREON WERE BASED ON FIELD MEASUREMENT OF UTILITY LOCATE PAINT MARKS SUPPLIED BY THE MT. VIEW LOCATING SERVICES INC. AS WELL AS SURFACE EVIDENCE AND PRIVATE ASBUILT RECORDS. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. ADDITIONALLY, CERTAIN UTILITIES ONSITE (WATER, SANITARY, STORM, GAS, ETC.) MAY NOT HAVE CONDUCTIBLE OR TRACEABLE LINES AND MAY BE PRESENT. \*PRIVATE ON-SITE CONDUCTIBLE UTILITY LOCATES WERE PERFORMED BY MT. VIEW LOCATING SERVICES INC. ON 7/29/2021.

PARCEL 1  
PARTITION PLAT  
NO. 2021-002  
TAX LOT:  
1N334CD06800  
GMU ZONE

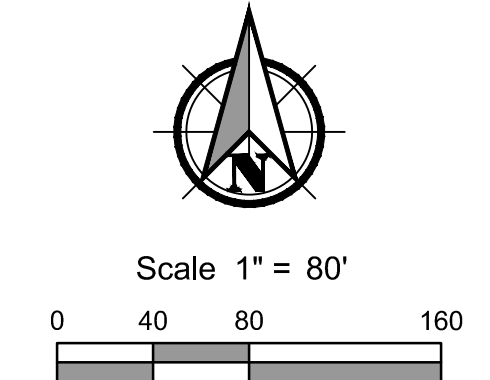
PARCEL 2  
PARTITION PLAT  
NO. 2021-002  
15.60 ACRES

TOM MOYER  
THEATERS  
TAX LOT:  
1N334CD00301  
DEED DOC. NO.  
89-19394  
GMU ZONE

CORNELIUS SELF STORAGE, LLC  
TAX LOT: 1N334CD04400  
DEED DOC. NO. 2019-070098  
LI ZONE

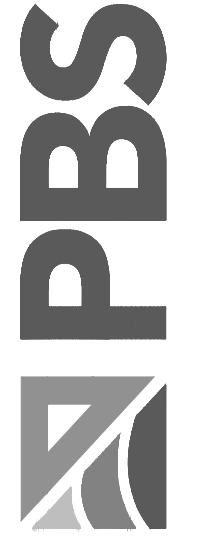
HANEY INDUSTRIAL  
PROPERTIES, INC.  
TAX LOT:  
1N334CD00100  
DEED DOC. NO.  
78-19651  
GMU ZONE

BK2200 VENTURE, LLC  
TAX LOT:  
1N334CD00800  
DEED DOC. NO.  
2015-029401



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EXISTING CONDITIONS KEY MAP FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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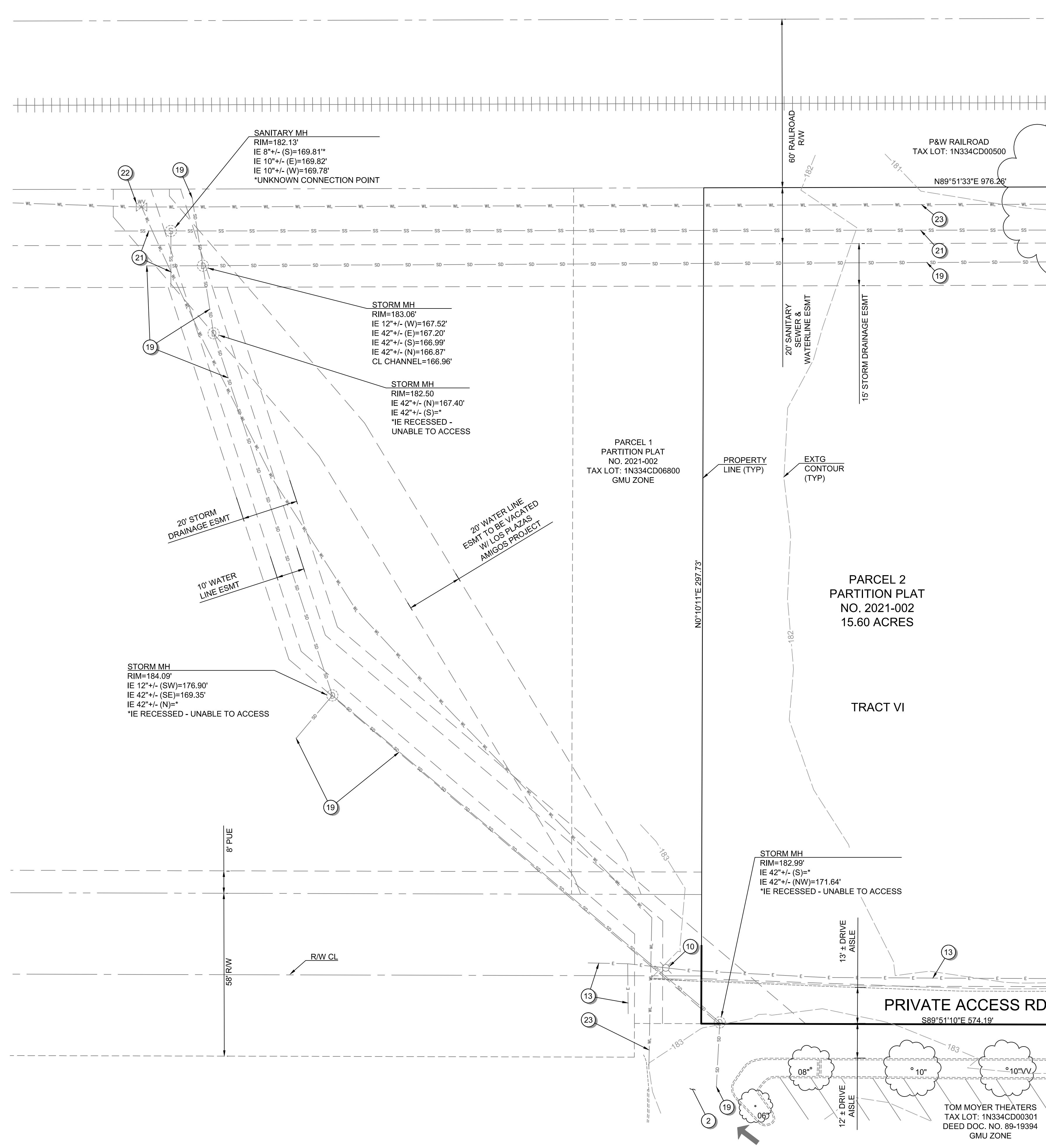
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MPW  
MAY 20, 2022  
74217.000

SHEET ID  
**C100**

SHEET **3** OF **49**



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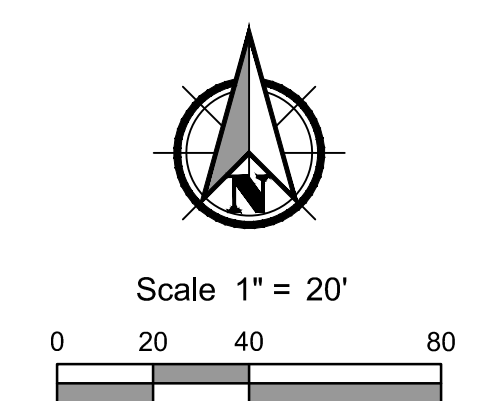
MATCHLINE - SEE SHEET C102 FOR CONTINUATION

**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

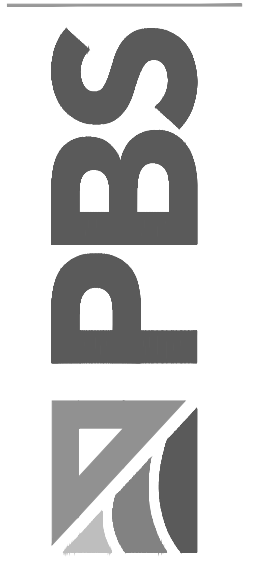
**EXISTING CONDITIONS PLAN KEYNOTES:**

- 1 EXISTING SITE ENTRANCE.
- 2 EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- 3 EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
- 4 EXISTING EDGE OF PAVEMENT.
- 5 EXISTING NEIGHBORING SITE CURB / TRAFFIC ISLANDS.
- 6 EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, AND DIAMETER AT BREAST HEIGHT.
- 7 EXISTING GROVE OF POPLAR TREES.
- 8 EXISTING BILLBOARD.
- 9 EXISTING TRACT BOUNDARY TO BE VACATED.
- 10 EXISTING SITE LIGHTING.
- 11 EXISTING OVERHEAD POWER POLE.
- 12 EXISTING GUY WIRE.
- 13 EXISTING UNDERGROUND POWER LINE.
- 14 EXISTING ELECTRICAL TRANSFORMER.
- 15 EXISTING TRAFFIC CONTROL BOX.
- 16 EXISTING TRAFFIC SIGNAL ARM.
- 17 EXISTING TELECOMMUNICATIONS LINE.
- 18 EXISTING GAS LINE.
- 19 EXISTING STORM CONVEYANCE PIPE.
- 20 EXISTING TELECOMMUNICATIONS PEDESTAL.
- 21 EXISTING GRAVITY SEWER PIPE.
- 22 EXISTING WATER VALVE.
- 23 EXISTING WATER MAIN.
- 24 EXISTING WATER SERVICE & METER.
- 25 EXISTING FIRE HYDRANT.
- 26 EXISTING IRRIGATION VALVE.



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**EXISTING CONDITIONS PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



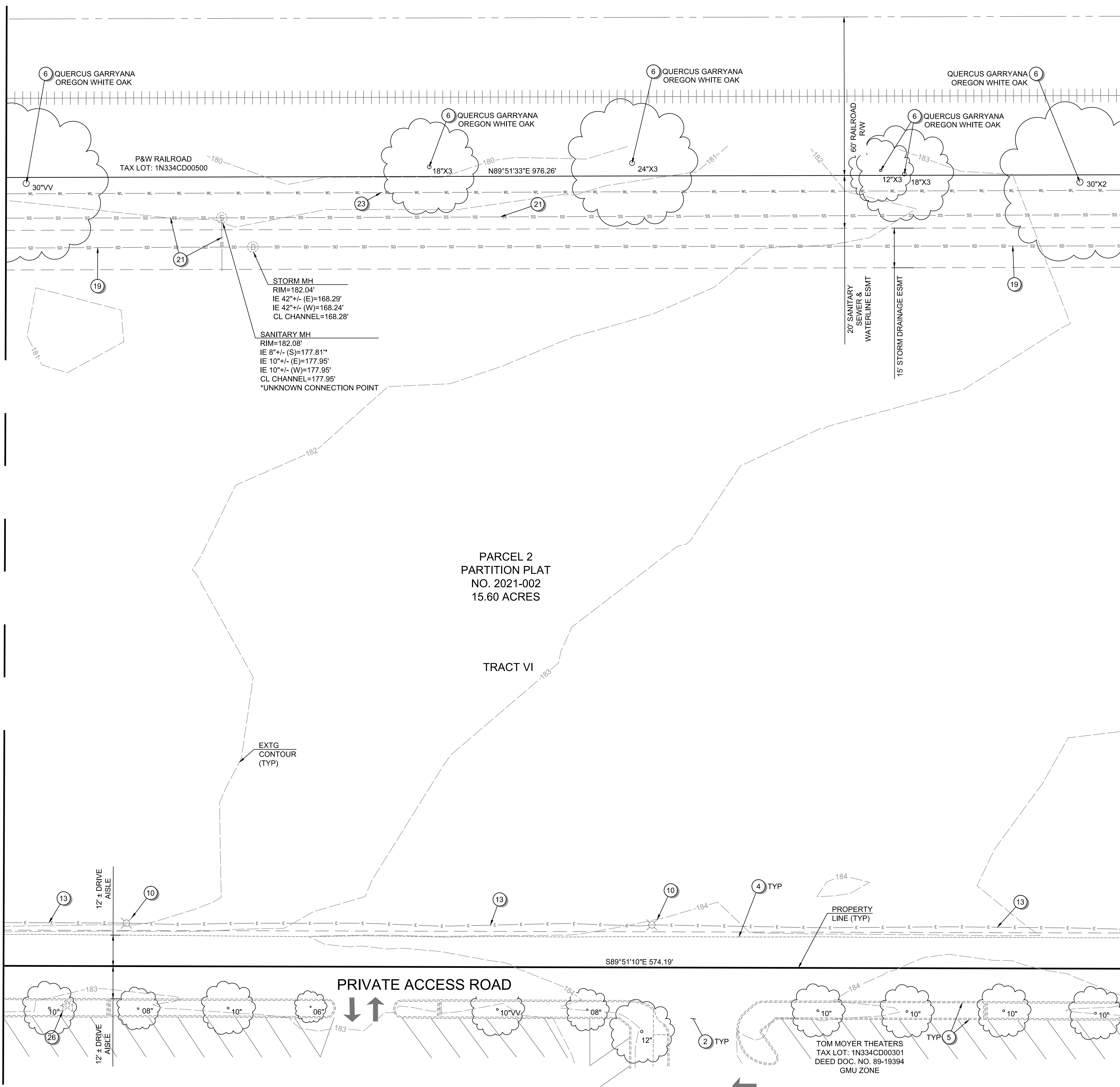
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CHECKED: MPW
MAY 20, 2022 74217.000
SHEET ID <b>C101</b>
SHEET <b>4</b> OF <b>49</b>



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MATCHLINE - SEE SHEET C101 FOR CONTINUATION

MATCHLINE - SEE SHEET C103 FOR CONTINUATION

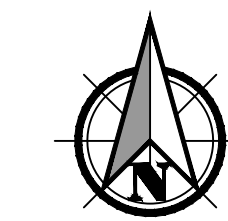


**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

**EXISTING CONDITIONS PLAN KEYNOTES:**

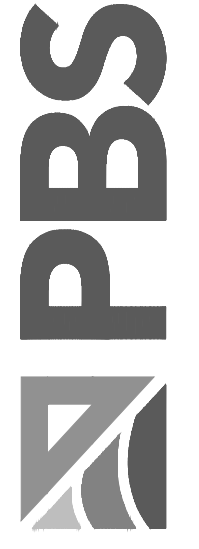
- 1 EXISTING SITE ENTRANCE.
- 2 EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- 3 EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
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- 18 EXISTING GAS LINE.
- 19 EXISTING STORM CONVEYANCE PIPE.
- 20 EXISTING TELECOMMUNICATIONS PEDESTAL.
- 21 EXISTING GRAVITY SEWER PIPE.
- 22 EXISTING WATER VALVE.
- 23 EXISTING WATER MAIN.
- 24 EXISTING WATER SERVICE & METER.
- 25 EXISTING FIRE HYDRANT.
- 26 EXISTING IRRIGATION VALVE.



Scale 1" = 20'  
0 20 40 80

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**EXISTING CONDITIONS PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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MAY 20, 2022  
74217.000

SHEET ID  
**C102**

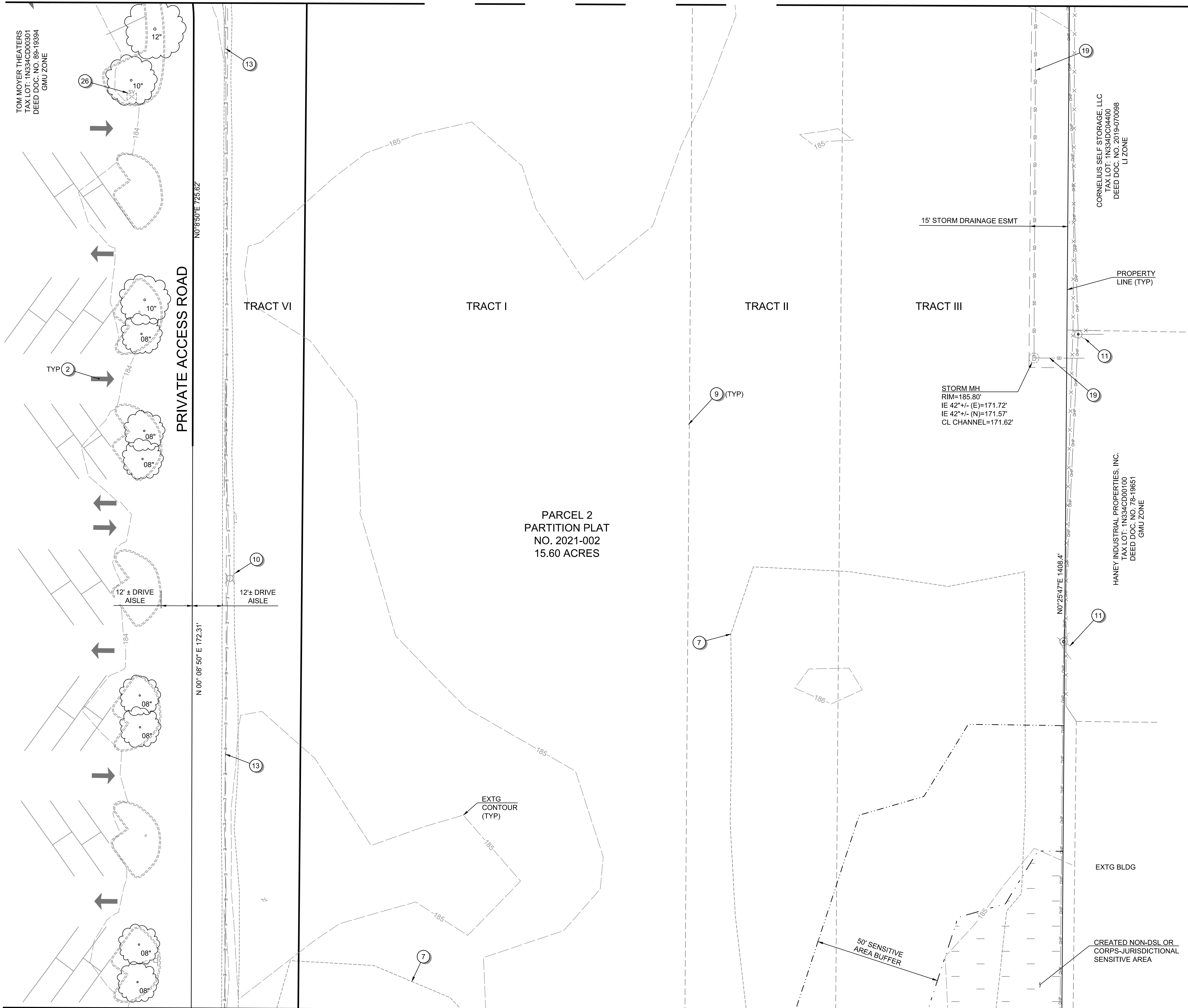
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MATCHLINE - SEE SHEET C103 FOR CONTINUATION

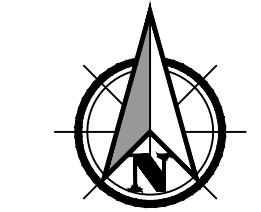


**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

**EXISTING CONDITIONS PLAN KEYNOTES:**

- ① EXISTING SITE ENTRANCE.
- ② EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- ③ EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
- ④ EXISTING EDGE OF PAVEMENT.
- ⑤ EXISTING NEIGHBORING SITE CURB / TRAFFIC ISLANDS.
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- ⑰ EXISTING TELECOMMUNICATIONS LINE.
- ⑱ EXISTING GAS LINE.
- ⑲ EXISTING STORM CONVEYANCE PIPE.
- ⑳ EXISTING TELECOMMUNICATIONS PEDESTAL.
- ㉑ EXISTING GRAVITY SEWER PIPE.
- ㉒ EXISTING WATER VALVE.
- ㉓ EXISTING WATER MAIN.
- ㉔ EXISTING WATER SERVICE & METER.
- ㉕ EXISTING FIRE HYDRANT.
- ㉖ EXISTING IRRIGATION VALVE.



Scale 1" = 20'  
0 20 40 80

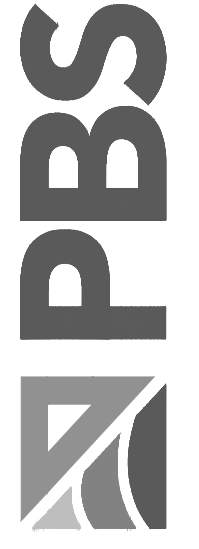
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**EXISTING CONDITIONS PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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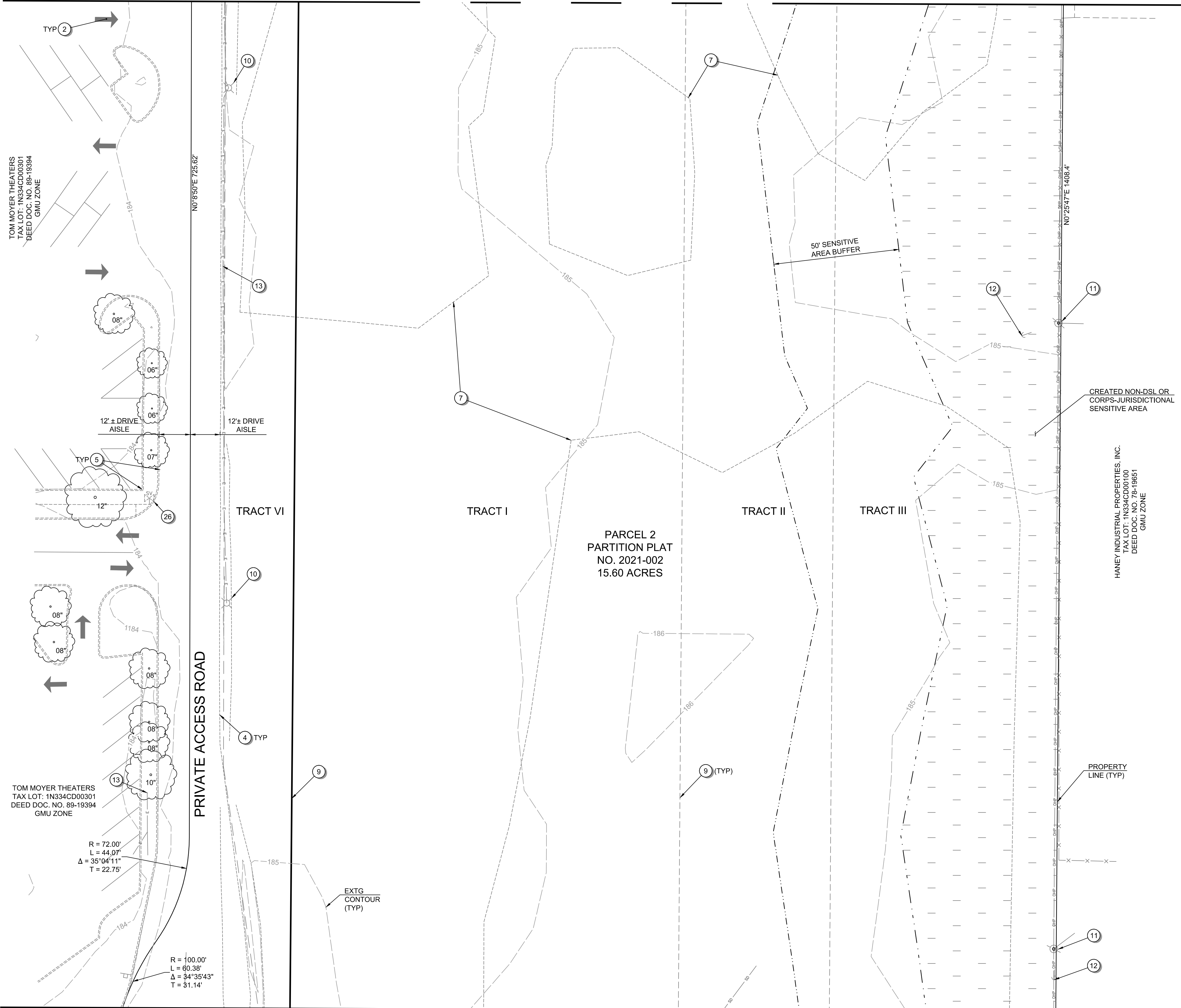
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 74217.000

SHEET ID  
**C104**

SHEET 7 OF 49



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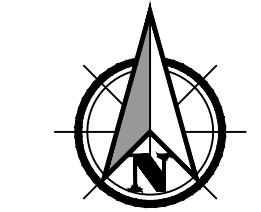


**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

**EXISTING CONDITIONS PLAN KEYNOTES:**

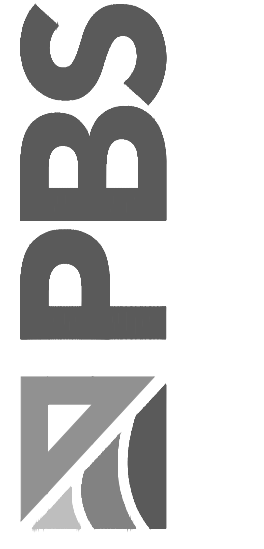
- ① EXISTING SITE ENTRANCE.
- ② EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- ③ EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
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- ㉔ EXISTING WATER SERVICE & METER.
- ㉕ EXISTING FIRE HYDRANT.
- ㉖ EXISTING IRRIGATION VALVE.



Scale 1" = 20'  
0 20 40 80

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Portland, OR 97239  
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**EXISTING CONDITIONS PLAN FOR:  
CORNELIUS MULTIFAMILY DEVELOPMENT  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON**



DESIGNED: PAR/JRK  
CHECKED: MPW  
MAY 20, 2022  
74217.000

SHEET ID  
**C105**

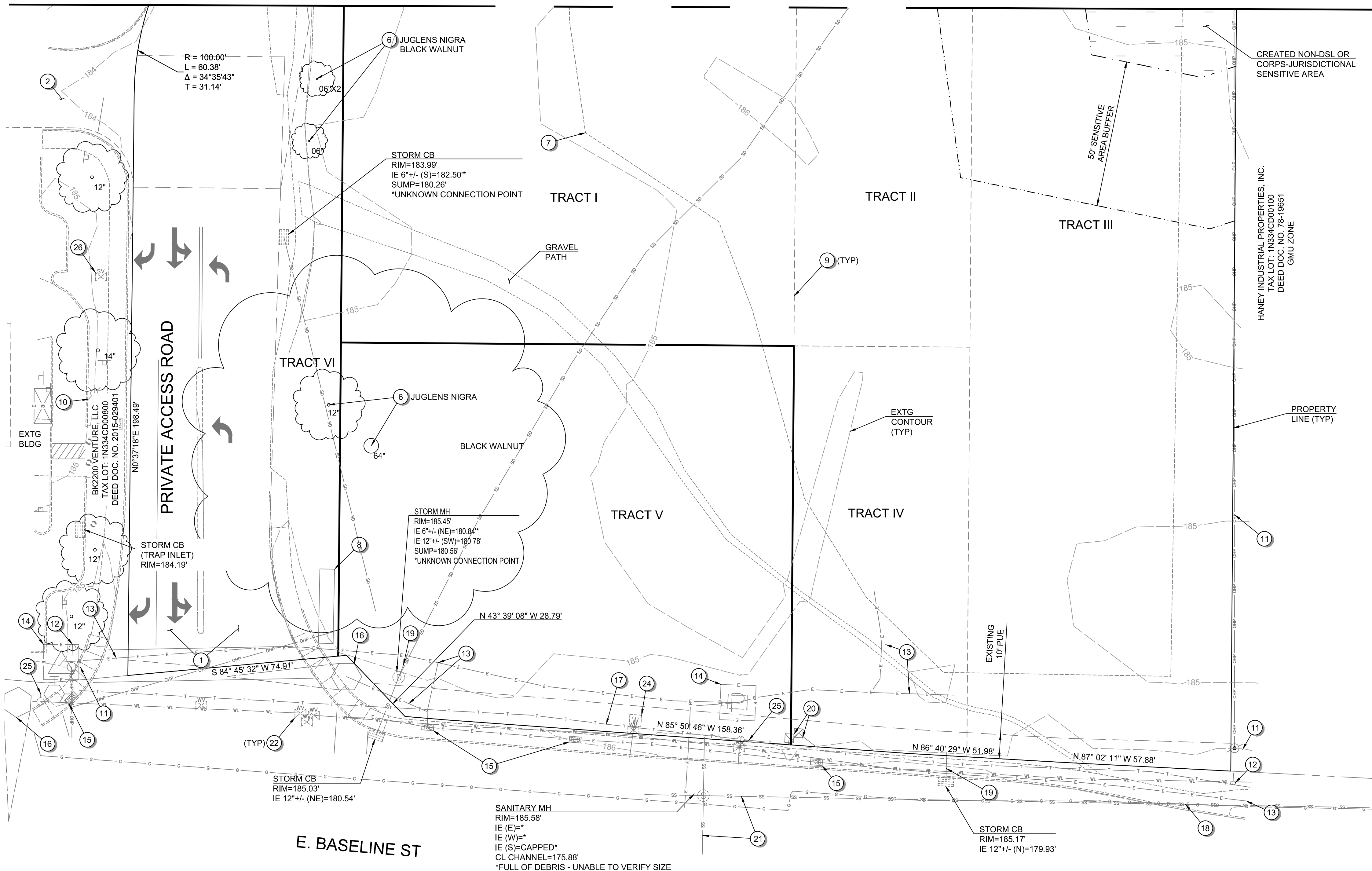
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MATCHLINE - SEE SHEET C106 FOR CONTINUATION



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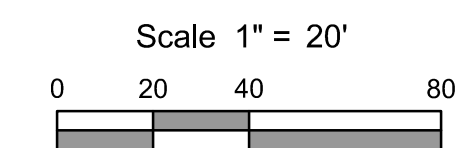
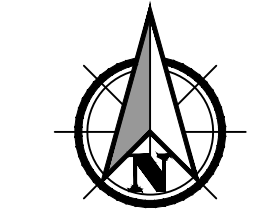


**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4. THE SANITARY, WATER, AND STORM PIPES SHOWN HAVE NOT BEEN SIZED FOR THIS SUBMITTAL.

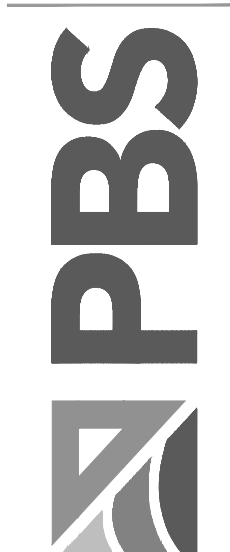
**EXISTING CONDITIONS PLAN KEYNOTES:**

- 1 EXISTING SITE ENTRANCE.
- 2 EXISTING DRIVE AISLE INGRESS/EGRESS FOR NEIGHBORING COMMERCIAL PROPERTY.
- 3 EXISTING NEIGHBORING COMMERCIAL PROPERTY PARKING LOT.
- 4 EXISTING EDGE OF PAVEMENT.
- 5 EXISTING NEIGHBORING SITE CURB / TRAFFIC ISLANDS.
- 6 EXISTING TREE - REFER TO PLAN FOR TREE GENUS, SPECIES, AND DIAMETER AT BREAST HEIGHT.
- 7 EXISTING GROVE OF POPLAR TREES.
- 8 EXISTING BILLBOARD.
- 9 EXISTING TRACT BOUNDARY TO BE VACATED.
- 10 EXISTING SITE LIGHTING.
- 11 EXISTING OVERHEAD POWER POLE.
- 12 EXISTING GUY WIRE.
- 13 EXISTING UNDERGROUND POWER LINE.
- 14 EXISTING ELECTRICAL TRANSFORMER.
- 15 EXISTING TRAFFIC CONTROL BOX.
- 16 EXISTING TRAFFIC SIGNAL ARM.
- 17 EXISTING TELECOMMUNICATIONS LINE.
- 18 EXISTING GAS LINE.
- 19 EXISTING STORM CONVEYANCE PIPE.
- 20 EXISTING TELECOMMUNICATIONS PEDESTAL.
- 21 EXISTING GRAVITY SEWER PIPE.
- 22 EXISTING WATER VALVE.
- 23 EXISTING WATER MAIN.
- 24 EXISTING WATER SERVICE & METER.
- 25 EXISTING FIRE HYDRANT.
- 26 EXISTING IRRIGATION VALVE.



**PRELIMINARY**

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**EXISTING CONDITIONS PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



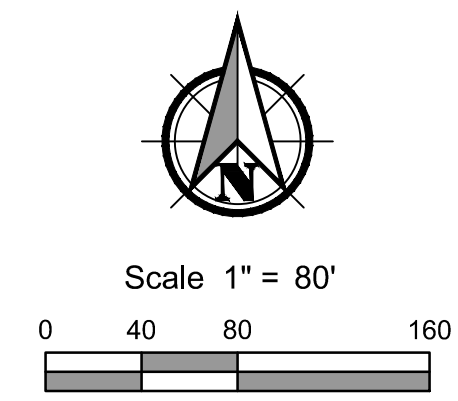
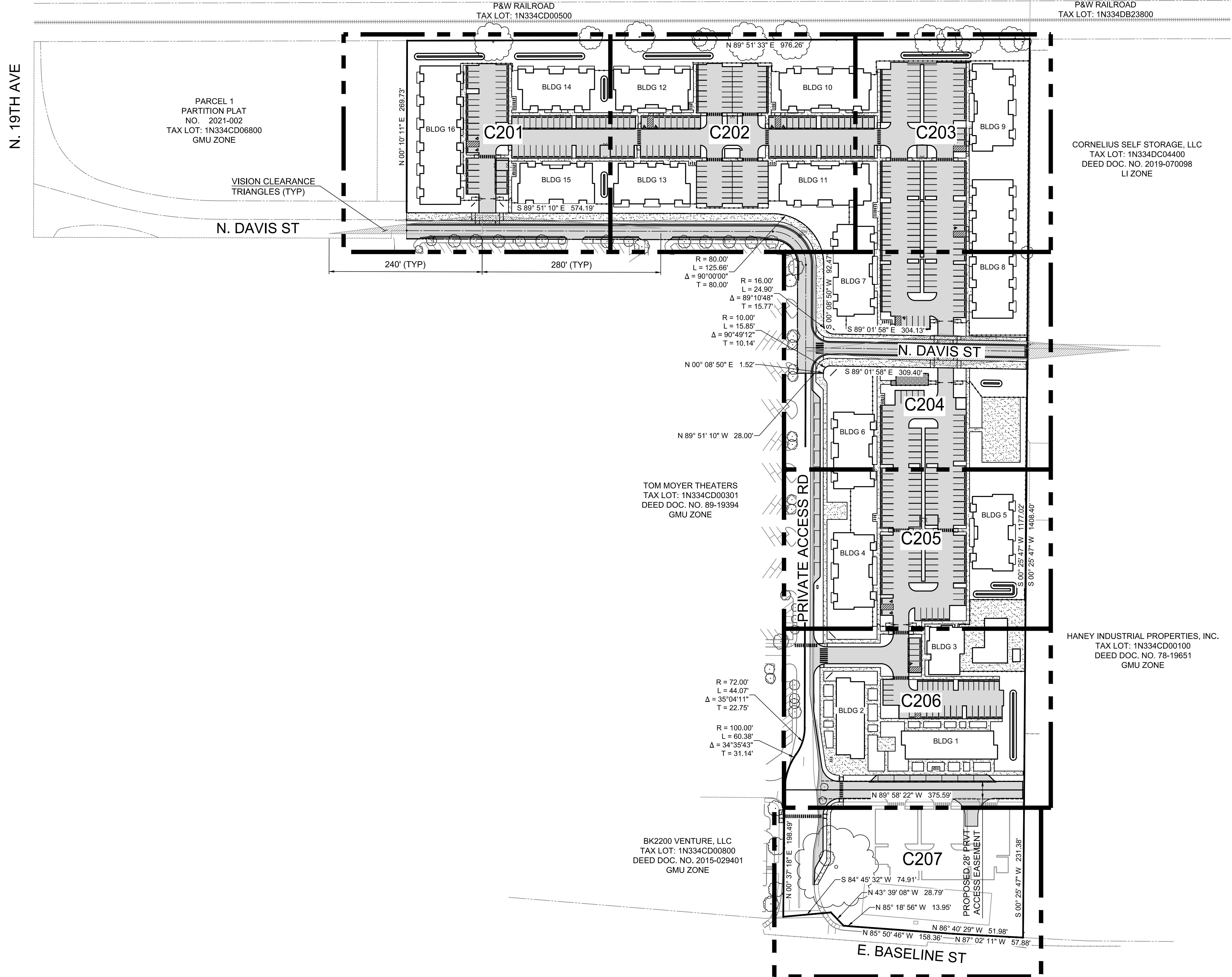
Know what's below.  
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DESIGNED: PAR/JRK  
 CHECKED: MPW  
 MAY 20, 2022  
 74217.000

SHEET ID  
**C106**

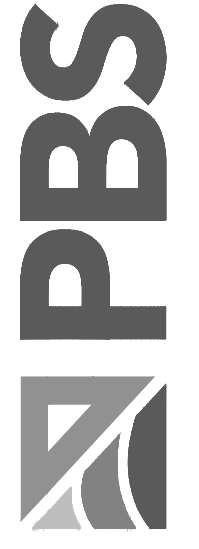


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**DIMENSIONED SITE IMPROVEMENT PLAN KEY MAP FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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DESIGNED:  
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MAY 20, 2022  
74217.000

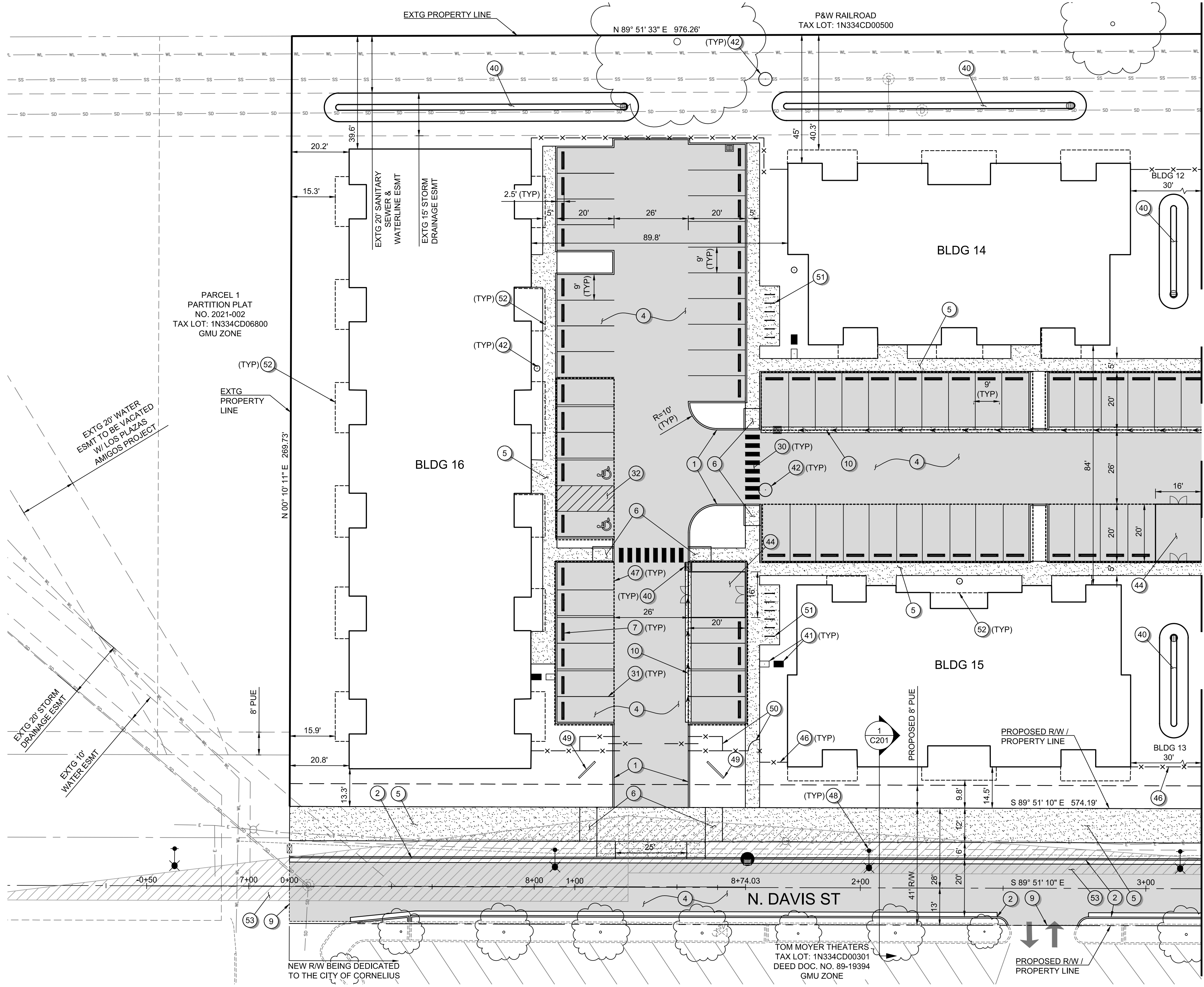
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**C200**

SHEET 10 OF 49

Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.



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 Layout Tab: C201  
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MATCHLINE - SEE SHEET C202 FOR CONTINUATION

**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
- N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

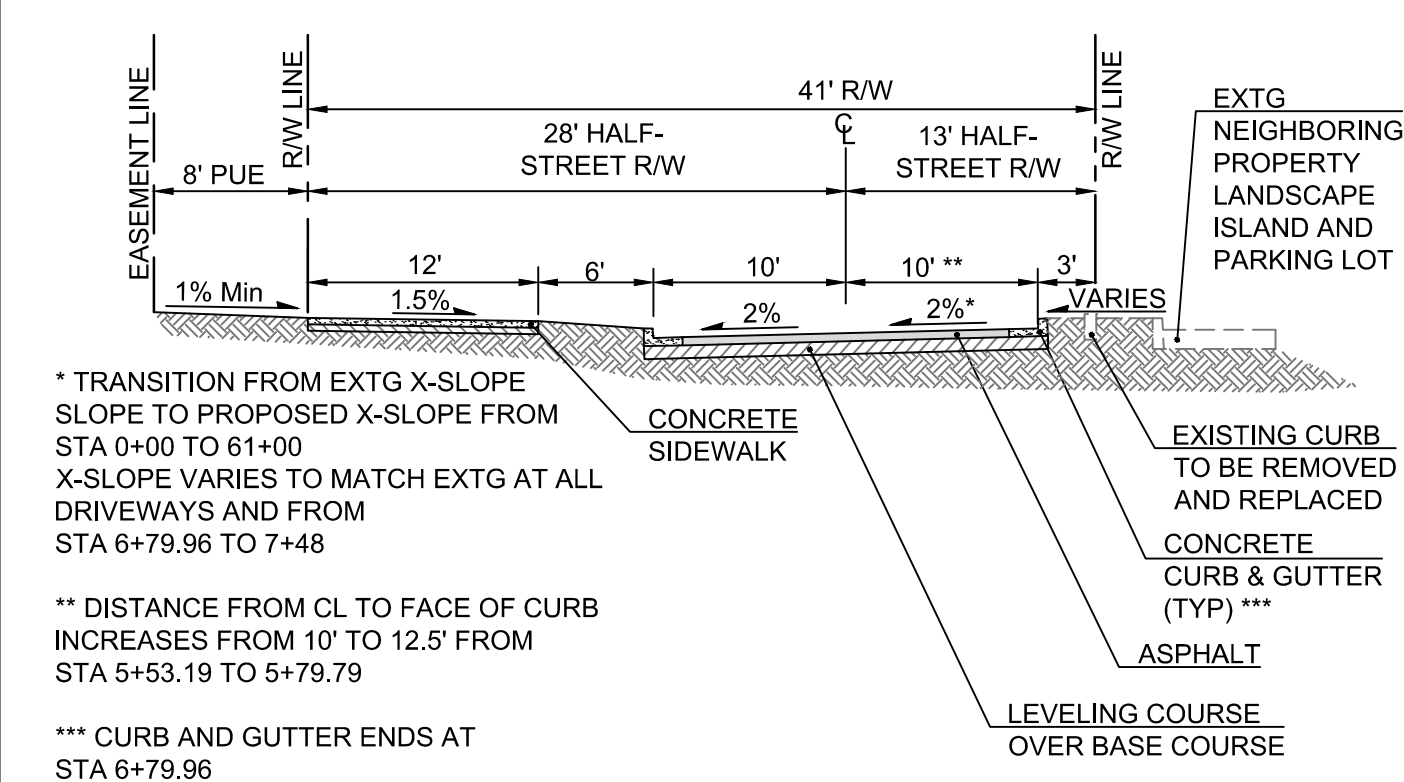
- CONSTRUCT VERTICAL CURB.
- CONSTRUCT CURB AND GUTTER.
- EMERGENCY TURNAROUND.
- CONSTRUCT ASPHALT.
- CONSTRUCT CONCRETE SIDEWALK.
- CONSTRUCT ADA RAMP.
- INSTALL WHEEL STOP.
- CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- CONSTRUCT CONCRETE VALLEY GUTTER.
- CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- INSTALL PIANO BAR CROSSWALK STRIPING.
- INSTALL PARKING STALL STRIPING.
- INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

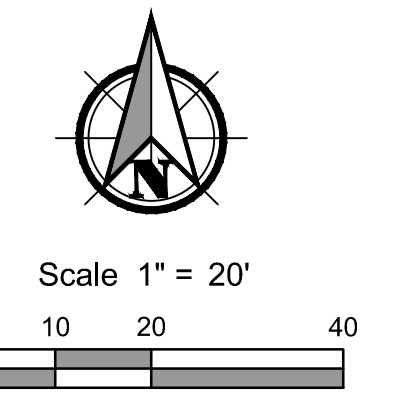
- STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- STREET LIGHTING.
- MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.



\* TRANSITION FROM EXTG X-SLOPE TO PROPOSED X-SLOPE FROM STA 0+00 TO 61+00 X-SLOPE VARIES TO MATCH EXTG AT ALL DRIVEWAYS AND FROM STA 6+79.96 TO 7+48  
 \*\* DISTANCE FROM CL TO FACE OF CURB INCREASES FROM 10' TO 12.5' FROM STA 5+53.19 TO 5+79.79  
 \*\*\* CURB AND GUTTER ENDS AT STA 6+79.96

**1 N DAVIS STREET (PUBLIC) SECTION**  
 C201 STA 0+00 TO 7+48 Scale: 1"=10'

**PRELIMINARY**

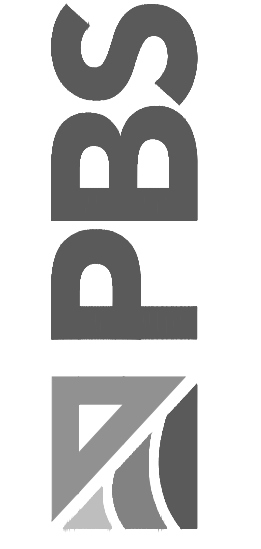


DIMENSIONED SITE IMPROVEMENT PLAN FOR:  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



DESIGNED: PAR/JRK
CHECKED: MPW
MAY 20, 2022 74217.000
SHEET ID <b>C201</b>
SHEET 12 OF 37

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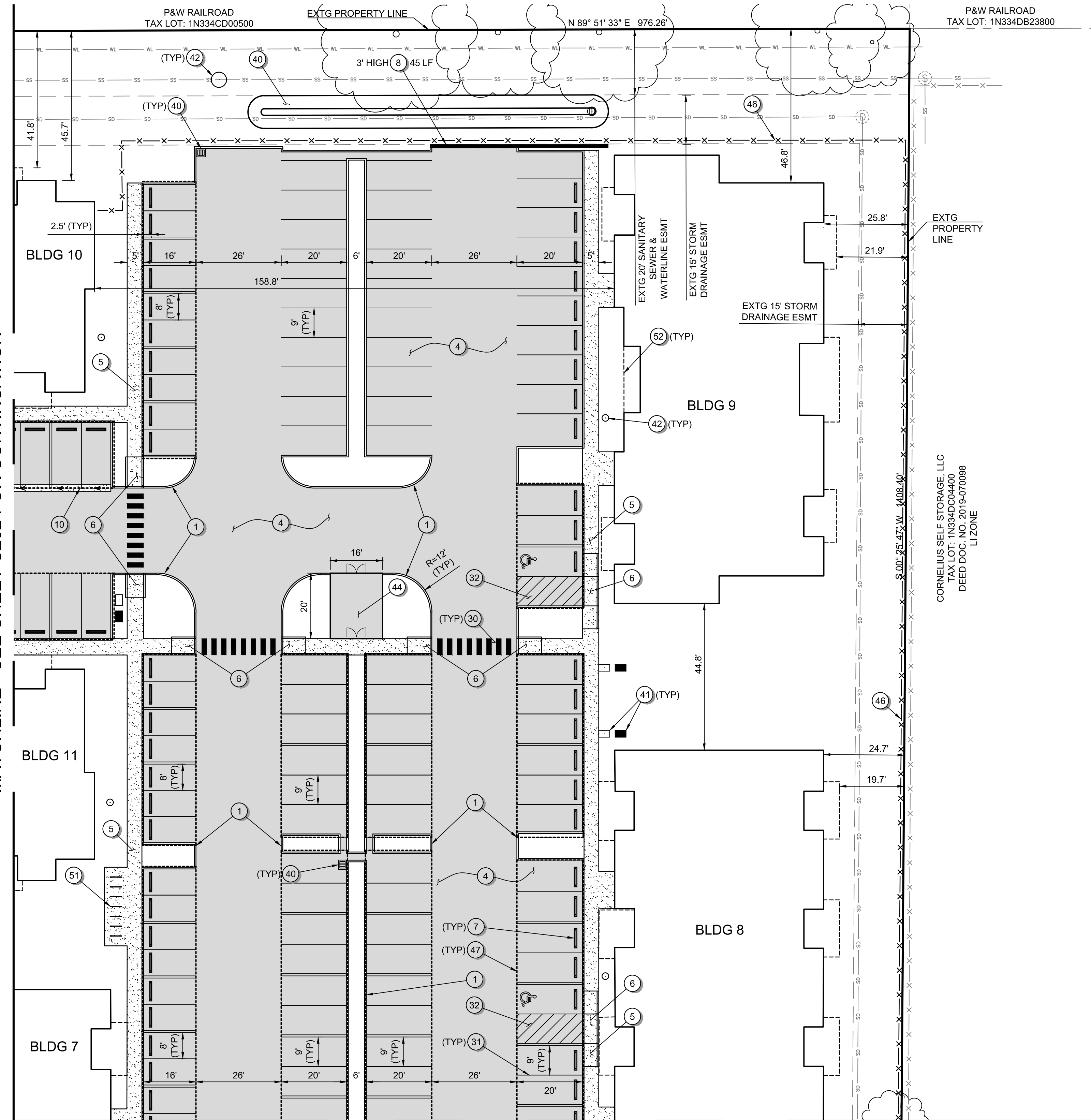




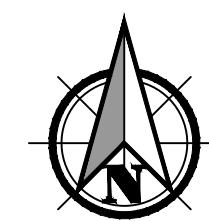


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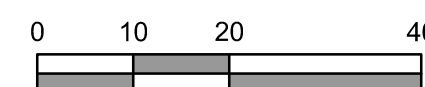
MATCHLINE - SEE SHEET C202 FOR CONTINUATION



MATCHLINE - SEE SHEET C204 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

- 1 CONSTRUCT VERTICAL CURB.
- 2 CONSTRUCT CURB AND GUTTER.
- 3 EMERGENCY TURNAROUND.
- 4 CONSTRUCT ASPHALT.
- 5 CONSTRUCT CONCRETE SIDEWALK.
- 6 CONSTRUCT ADA RAMP.
- 7 INSTALL WHEEL STOP.
- 8 CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- 9 SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- 10 CONSTRUCT CONCRETE VALLEY GUTTER.
- 11 CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- 30 INSTALL PIANO BAR CROSSWALK STRIPING.
- 31 INSTALL PARKING STALL STRIPING.
- 32 INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

- 40 STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 41 WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 42 SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 43 STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 44 TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 45 MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 46 CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- 47 COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 48 STREET LIGHTING.
- 49 MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 50 SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 51 BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 52 BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 53 SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.

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**DIMENSIONED SITE IMPROVEMENT PLAN FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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DESIGNED:  
PAR/JRK

CHECKED:  
MPW

MAY 20, 2022  
74217.000

SHEET ID

**C203**

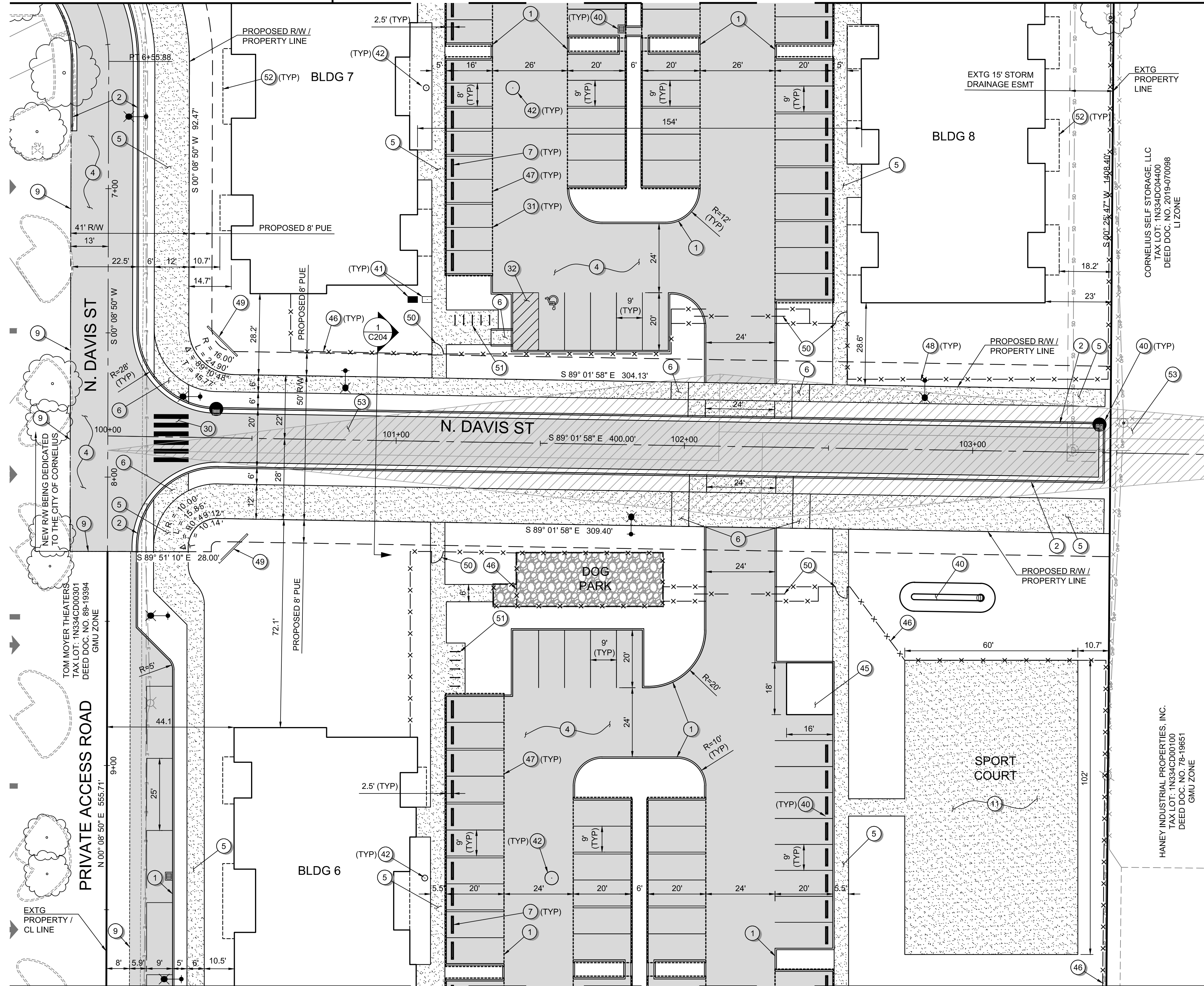
SHEET 14 OF 37

**PRELIMINARY**



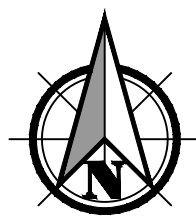
MATCHLINE - SEE SHEET C202 FOR CONTINUATION

MATCHLINE - SEE SHEET C203 FOR CONTINUATION

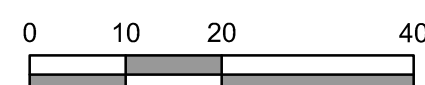


MATCHLINE - SEE SHEET C205 FOR CONTINUATION

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 Layout: Tab: C204  
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Scale 1" = 20'



Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

**GENERAL SHEET NOTES:**

- SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
- SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
- N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

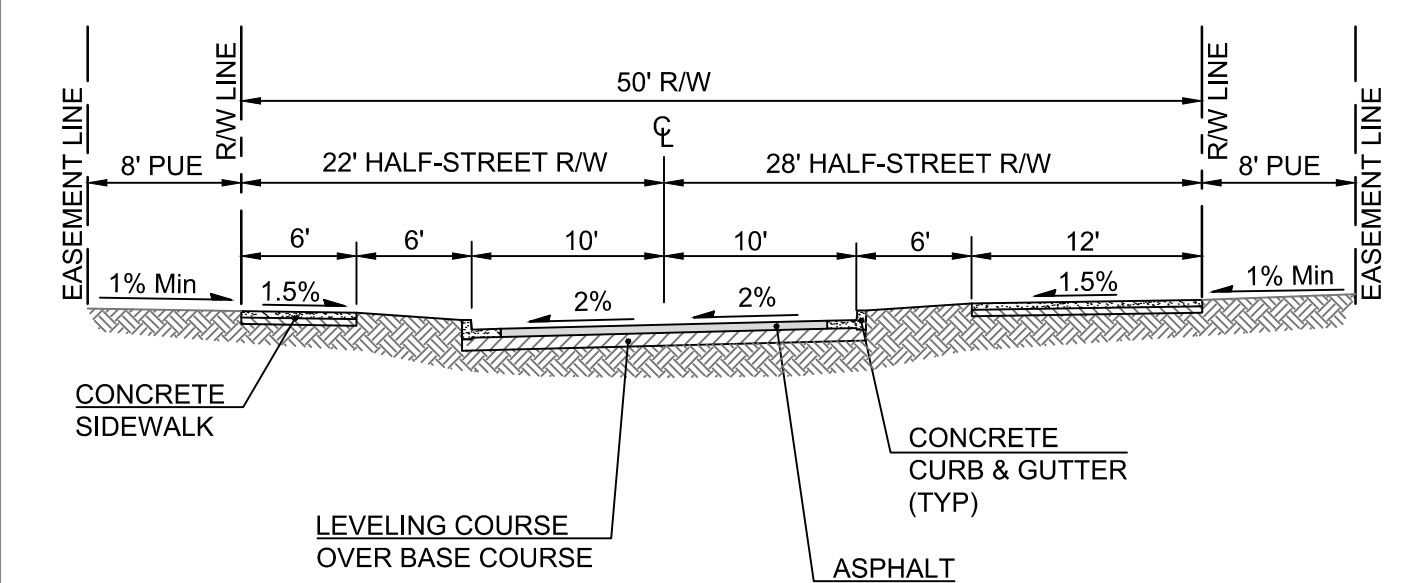
- CONSTRUCT VERTICAL CURB.
- CONSTRUCT CURB AND GUTTER.
- EMERGENCY TURNAROUND.
- CONSTRUCT ASPHALT.
- CONSTRUCT CONCRETE SIDEWALK.
- CONSTRUCT ADA RAMP.
- INSTALL WHEEL STOP.
- CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- CONSTRUCT CONCRETE VALLEY GUTTER.
- CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- INSTALL PIANO BAR CROSSWALK STRIPING.
- INSTALL PARKING STALL STRIPING.
- INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

- STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- STREET LIGHTING.
- MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.



1 N DAVIS STREET (PUBLIC) SECTION  
 C204 STA 100+38 TO 103+45 Scale: 1"=10'

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**DIMENSIONED SITE IMPROVEMENT PLAN FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON

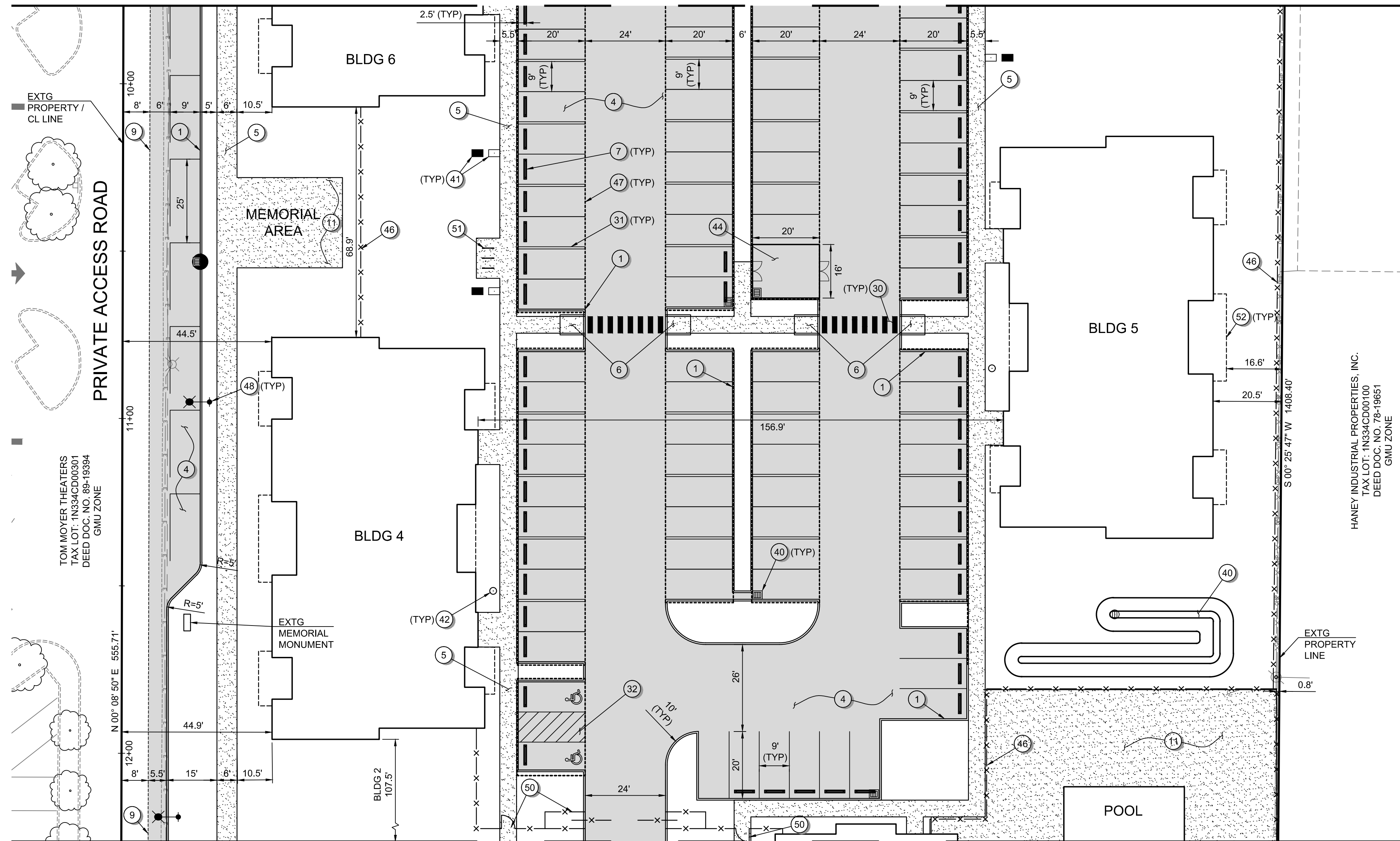


Know what's below.  
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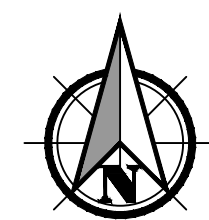
DESIGNED: PAR/JRK
CHECKED: MPW
MAY 20, 2022 74217.000
SHEET ID <b>C204</b>
SHEET 15 OF 37



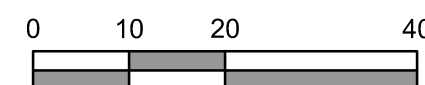
MATCHLINE - SEE SHEET C204 FOR CONTINUATION



MATCHLINE - SEE SHEET C206 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

1. CONSTRUCT VERTICAL CURB.
2. CONSTRUCT CURB AND GUTTER.
3. EMERGENCY TURNAROUND.
4. CONSTRUCT ASPHALT.
5. CONSTRUCT CONCRETE SIDEWALK.
6. CONSTRUCT ADA RAMP.
7. INSTALL WHEEL STOP.
8. CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
9. SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
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11. CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

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**MISCELLANEOUS KEYNOTES:**

40. STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
41. WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
42. SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
43. STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
44. TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
45. MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
46. CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
47. COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
48. STREET LIGHTING.
49. MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
50. SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
51. BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
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DIMENSIONED SITE IMPROVEMENT PLAN FOR:  
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DESIGNED:  
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CHECKED:  
MPW  
MAY 20, 2022  
74217.000

SHEET ID  
**C205**

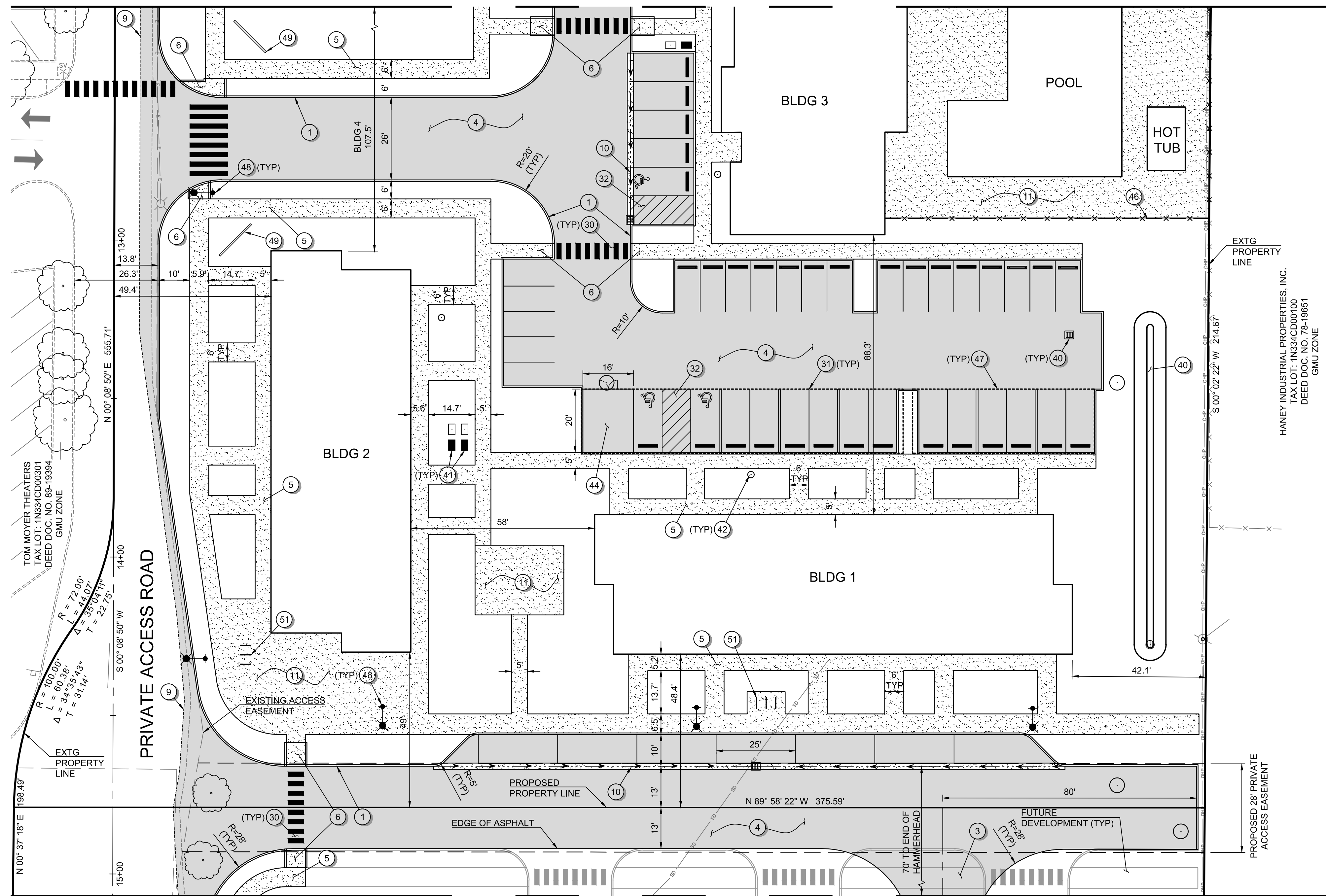
SHEET 16 OF 37

**PRELIMINARY**

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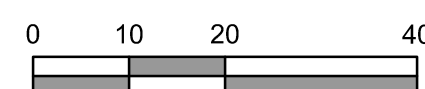
MATCHLINE - SEE SHEET C205 FOR CONTINUATION



MATCHLINE - SEE SHEET C207 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

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**STRIPING KEYNOTES:**

- 30 INSTALL PIANO BAR CROSSWALK STRIPING.
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**MISCELLANEOUS KEYNOTES:**

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- 43 STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 44 TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 45 MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 46 CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- 47 COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 48 STREET LIGHTING.
- 49 MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 50 SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 51 BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 52 BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 53 SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.

PBS Engineering and Environmental Inc.  
4412 S Corbett Avenue  
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**DIMENSIONED SITE IMPROVEMENT PLAN FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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CHECKED:  
MPW

MAY 20, 2022  
74217.000

SHEET ID

**C206**

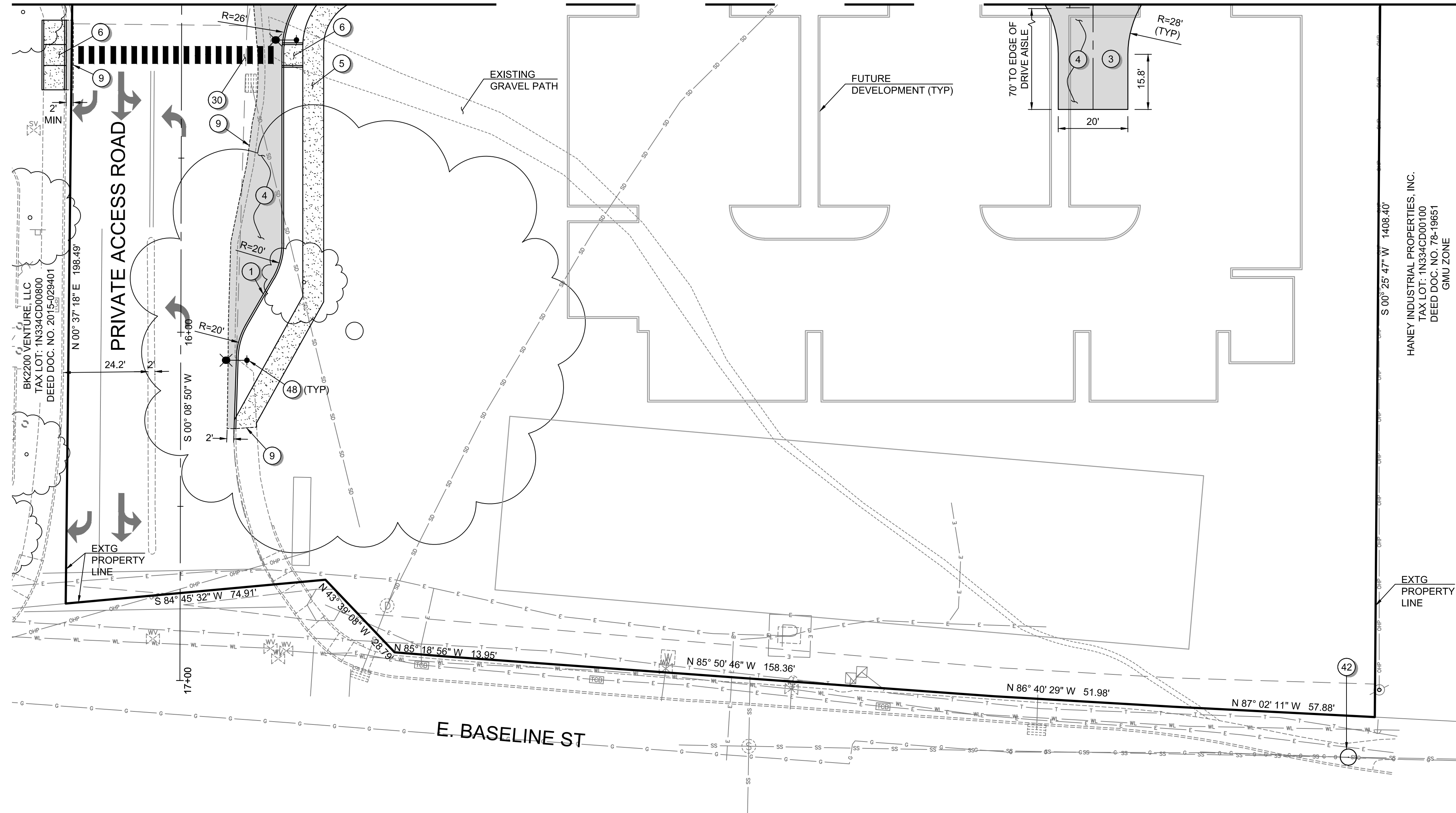
SHEET 17 OF 37

**PRELIMINARY**

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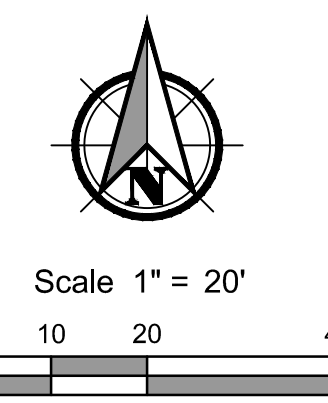


MATCHLINE - SEE SHEET C206 FOR CONTINUATION



HANEY INDUSTRIAL PROPERTIES, INC.  
 TAX LOT: 1N334CD00100  
 DEED DOC. NO. 78-19651  
 GNM ZONE

EXTG PROPERTY LINE



**GENERAL SHEET NOTES:**

1. SEE SHEET C002 FOR LEGEND AND ABBREVIATIONS.
2. SEE SHEET C003 FOR THE PROJECT'S GENERAL NOTES.
3. N DAVIS STREET IS CURRENTLY A PRIVATE ACCESS ROAD THAT IS PROPOSED TO BE IMPROVED AND DEDICATED TO THE CITY OF CORNELIUS AS A PUBLIC ROADWAY (NON-INDUSTRIAL COLLECTOR W/O PARKING). PORTIONS OF THE NEIGHBORING PROPERTY (TAXLOT 1N334CD00301) WILL BE ACQUIRED BY THE APPLICANT AND DEDICATED TO THE CITY AS R/W.

**SITE IMPROVEMENT KEYNOTES:**

- 1 CONSTRUCT VERTICAL CURB.
- 2 CONSTRUCT CURB AND GUTTER.
- 3 EMERGENCY TURNAROUND.
- 4 CONSTRUCT ASPHALT.
- 5 CONSTRUCT CONCRETE SIDEWALK.
- 6 CONSTRUCT ADA RAMP.
- 7 INSTALL WHEEL STOP.
- 8 CONSTRUCT RETAINING WALL. SEE SHEETS C301 TO C307 FOR GRADES.
- 9 SAWCUT HMA, CURB, AND/OR SIDEWALK AND MATCH EXISTING.
- 10 CONSTRUCT CONCRETE VALLEY GUTTER.
- 11 CONSTRUCT CONCRETE PATIO.

**STRIPING KEYNOTES:**

- 30 INSTALL PIANO BAR CROSSWALK STRIPING.
- 31 INSTALL PARKING STALL STRIPING.
- 32 INSTALL NO-PARKING STRIPING.

**MISCELLANEOUS KEYNOTES:**

- 40 STORMWATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 41 WATER SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 42 SANITARY SYSTEM. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 43 STREET LIGHTING. SEE SHEETS C401 TO C407 FOR MORE INFORMATION.
- 44 TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 45 MAINTENANCE SHED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 46 CHAIN LINK FENCE. SEE SHEET L105 FOR MORE INFORMATION.
- 47 COVERED PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 48 STREET LIGHTING.
- 49 MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 50 SECURITY GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 51 BICYCLE PARKING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 52 BUILDING OVERHANG. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 53 SIGHT DISTANCE TRIANGLE BASED ON AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS FOR A 25 MPH ROAD AND THE CITY'S DEVELOPMENT CODE.

**DIMENSIONED SITE IMPROVEMENT PLAN FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



DESIGNED:  
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SHEET ID  
**C207**  
 SHEET 18 OF 37

**PRELIMINARY**

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N. 19TH AVE

P&W RAILROAD  
TAX LOT: 1N334CD00500

P&W RAILROAD  
TAX LOT: 1N334DB23800

PARCEL 1  
PARTITION PLAT  
NO. 2021-002  
TAX LOT: 1N334CD06800  
GMU ZONE

PARCEL 1  
327,906 SF  
(7.53 ACRES)

CORNELIUS SELF STORAGE, LLC  
TAX LOT: 1N334DC04400  
DEED DOC. NO. 2019-070098  
LI ZONE

TOM MOYER THEATERS  
TAX LOT: 1N334CD00301  
DEED DOC. NO. 89-19394  
GMU ZONE

PARCEL 2  
230,426 SF  
(5.29 ACRES)

HANEY INDUSTRIAL PROPERTIES, INC.  
TAX LOT: 1N334CD00100  
DEED DOC. NO. 78-19651  
GMU ZONE

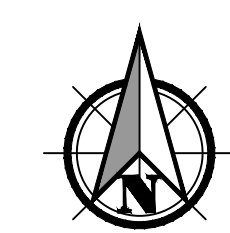
BK2200 VENTURE, LLC  
TAX LOT: 1N334CD00800  
DEED DOC. NO. 2015-029401  
GMU ZONE

PARCEL 3  
81,330 SF  
(1.87 ACRES)

E BASELINE ST

**GENERAL NOTES:**

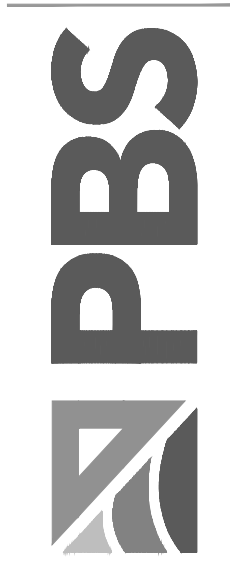
1. TOTAL AREA OF THE THREE PARCELS IS APPROXIMATELY 690,066 SF (15.84 ACRES).
2. REFER TO CIVIL UTILITY PLANS FOR MORE DETAILS ON PROPOSED UTILITY EASEMENTS.
3. REFER TO SURVEY FOR MORE DETAIL ON EXISTING EASEMENTS.



Scale 1" = 80'  
0 40 80 160

**PRELIMINARY**

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PRELIMINARY PLAT FOR:  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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**C300**

SHEET 19 OF 37



File name: L:\Projects\74217\74217-000\Civil\CAD\WorkingSheets\74217\_000\_C400.dwg Layout: Tab: UTILITY PLAN KEY MAP User: Peter Reich CAD Plot Date/Time: 5/20/2022 10:54:19 AM

N. 19TH AVE

PARCEL 1  
PARTITION PLAT  
NO. 2021-002  
TAX LOT: 1N334CD06800  
GMU ZONE

P&W RAILROAD  
TAX LOT: 1N334CD00500

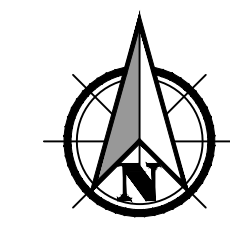
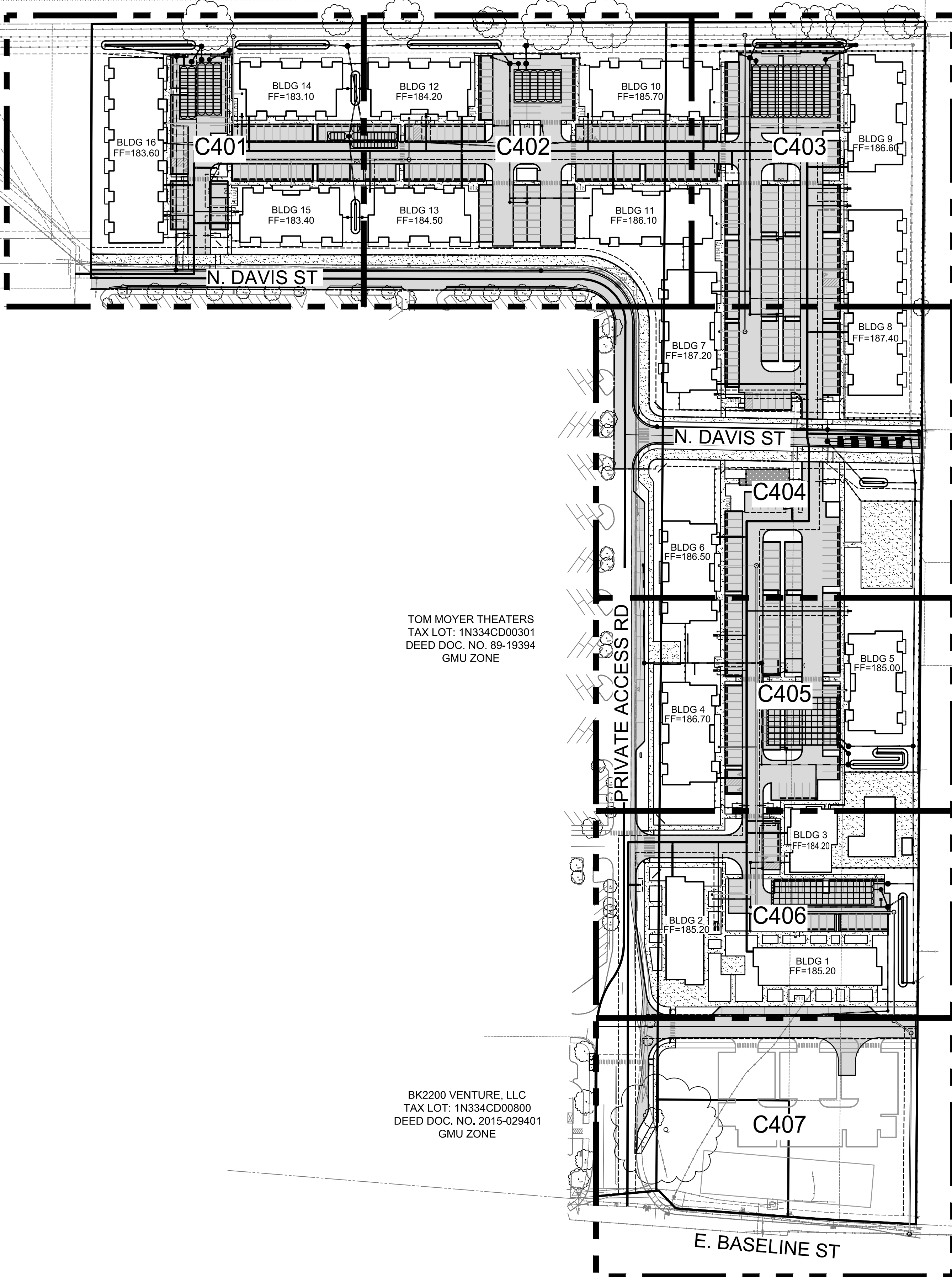
P&W RAILROAD  
TAX LOT: 1N334DB23800

CORNELIUS SELF STORAGE, LLC  
TAX LOT: 1N334DC04400  
DEED DOC. NO. 2019-070098  
LI ZONE

TOM MOYER THEATERS  
TAX LOT: 1N334CD00301  
DEED DOC. NO. 89-19394  
GMU ZONE

HANEY INDUSTRIAL PROPERTIES, INC.  
TAX LOT: 1N334CD00100  
DEED DOC. NO. 78-19651  
GMU ZONE

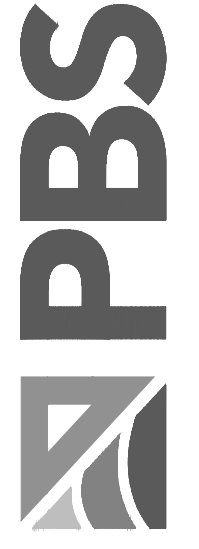
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TAX LOT: 1N334CD00800  
DEED DOC. NO. 2015-029401  
GMU ZONE



Scale 1" = 80'  
0 40 80 160

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UTILITY PLAN KEY MAP FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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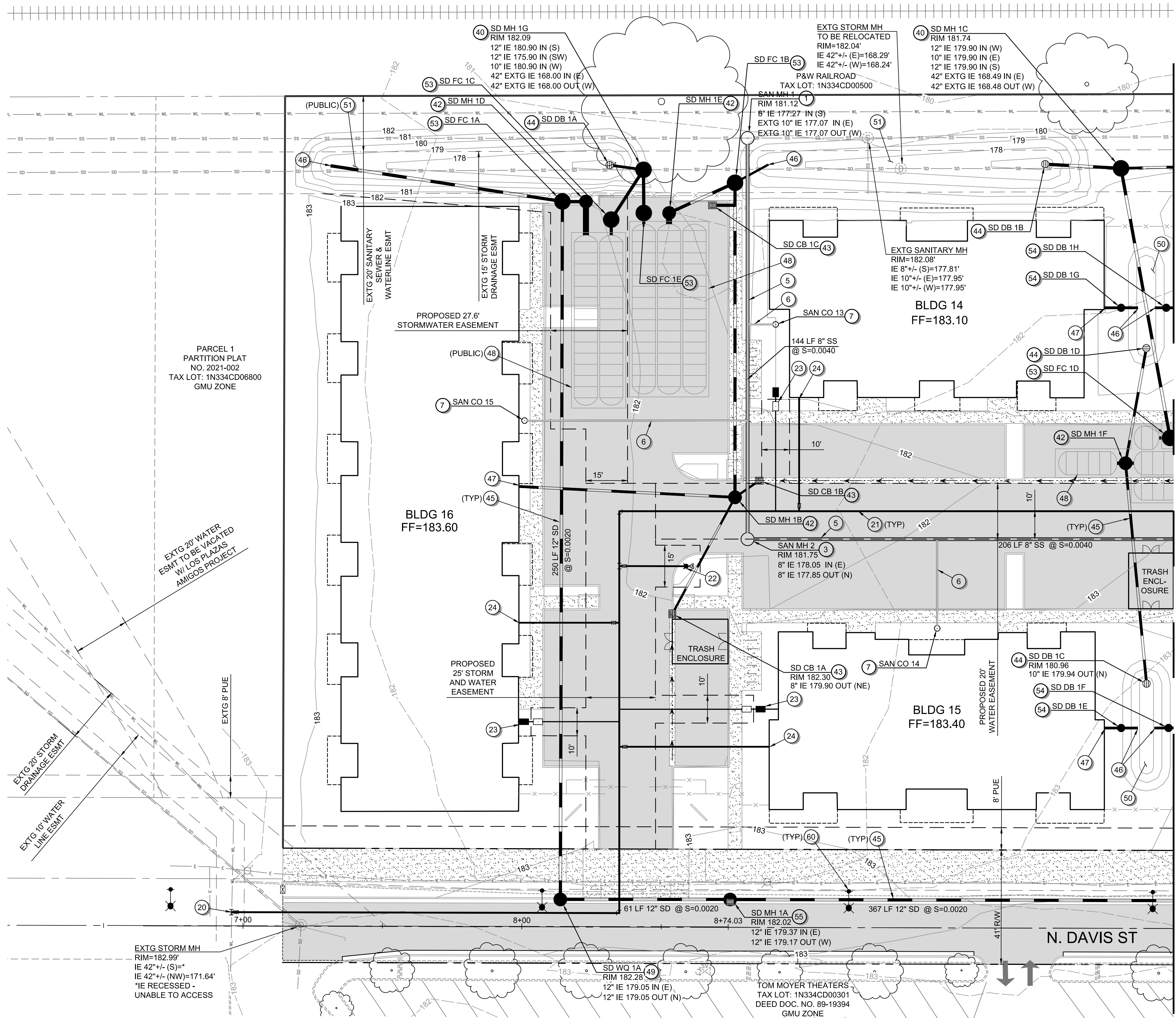
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SHEET ID  
**C400**

SHEET 26 OF 49



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MATCHLINE - SEE SHEET C402 FOR CONTINUATION

**GENERAL SHEET NOTES:**

- SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
- SEE SHEET C002 FOR PROJECT NOTES.
- THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
- CONNECTION TO EXISTING 8" SANITARY MAIN IN BASELINE SIDEWALK - INSTALL MANHOLE AT CONNECTION POINT.
- INSTALL SANITARY MANHOLE.
- INSTALL PUBLIC SANITARY MAIN.
- INSTALL PRIVATE SANITARY MAIN.
- INSTALL SANITARY LATERAL.
- CONSTRUCT SANITARY CLEANOUT.

**WATER KEYNOTES:**

- CONNECTION TO EXISTING WATER MAIN - INSTALL GATE VALVE.
- INSTALL PUBLIC 8" WATER MAIN.
- INSTALL STANDARD FIRE HYDRANT ASSEMBLY.
- DOMESTIC WATER SERVICE - INSTALL METER BOX AND BACKFLOW DEVICE.
- DOMESTIC FIRE SERVICE LINE - INSTALL GATE VALVE AFTER CONNECTION TO PUBLIC WATER MAIN.
- TEE CONNECTION POINT - INSTALL GATE VALVES.
- INSTALL STANDARD BLOWOFF FOR FUTURE EXTENSION.

**STORM SEWER KEYNOTES:**

- CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- CONNECT TO EXISTING STORM MANHOLE.
- INSTALL STORM MANHOLE.
- INSTALL CATCH BASIN.
- INSTALL AREA DRAIN.
- INSTALL STORM CONVEYANCE PIPE.
- STORM OUTFALL TO SURFACE FACILITY - INSTALL RIP-RAP PAD.
- INSTALL ROOF DRAIN LATERAL.
- INSTALL STORMTECH UNDERGROUND STORAGE DETENTION CHAMBERS.
- INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE.
- CONSTRUCT SURFACE WATER QUALITY FACILITY - FLAT BOTTOM BIORETENTION.
- CONSTRUCT SURFACE WATER QUALITY FACILITY - SWALE.
- INSTALL STORM DETENTION PIPE.
- INSTALL STORM FLOW CONTROL STRUCTURE.
- INSTALL STORM CLEANOUT.
- INSTALL CURB INLET MANHOLE.
- INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE W/ GRATED INLET.

**MISCELLANEOUS KEYNOTES:**

- STREET LIGHTING.

PARCEL 1  
PARTITION PLAT  
NO. 2021-002  
TAX LOT: 1N334CD06800  
GMU ZONE

EXTG 20" WATER  
ESMT TO BE VACATED  
W/ LOS PLAZAS  
AMIGOS PROJECT

EXTG 20" STORM  
DRAINAGE ESMT

EXTG STORM MH  
RIM=182.99'  
IE 42" +/- (S)=  
IE 42" +/- (NW)=171.64'  
IE RECESSED -  
UNABLE TO ACCESS

EXTG STORM MH  
TO BE RELOCATED  
RIM=182.04'  
IE 42" +/- (E)=168.29'  
IE 42" +/- (W)=168.24'

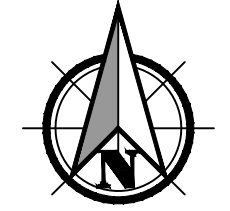
SD MH 1C  
RIM 181.74  
12" IE 179.90 IN (W)  
10" IE 179.90 IN (E)  
12" IE 179.90 IN (S)  
42" EXTG IE 168.49 IN (E)  
42" EXTG IE 168.48 OUT (W)

EXTG SANITARY MH  
RIM=182.08'  
IE 8" +/- (S)=177.81'  
IE 10" +/- (E)=177.95'  
IE 10" +/- (W)=177.95'

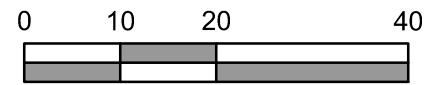
SD CB 1A  
RIM 182.30  
8" IE 179.90 OUT (NE)

SD MH 1A  
RIM 182.02  
12" IE 179.37 IN (E)  
12" IE 179.17 OUT (W)

TOM MOYER THEATERS  
TAX LOT: 1N334CD00301  
DEED DOC. NO. 89-19394  
GMU ZONE

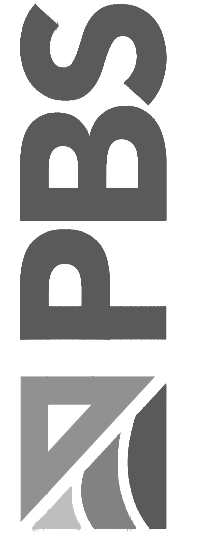


Scale 1" = 20'



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UTILITY PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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SHEET ID  
**C401**

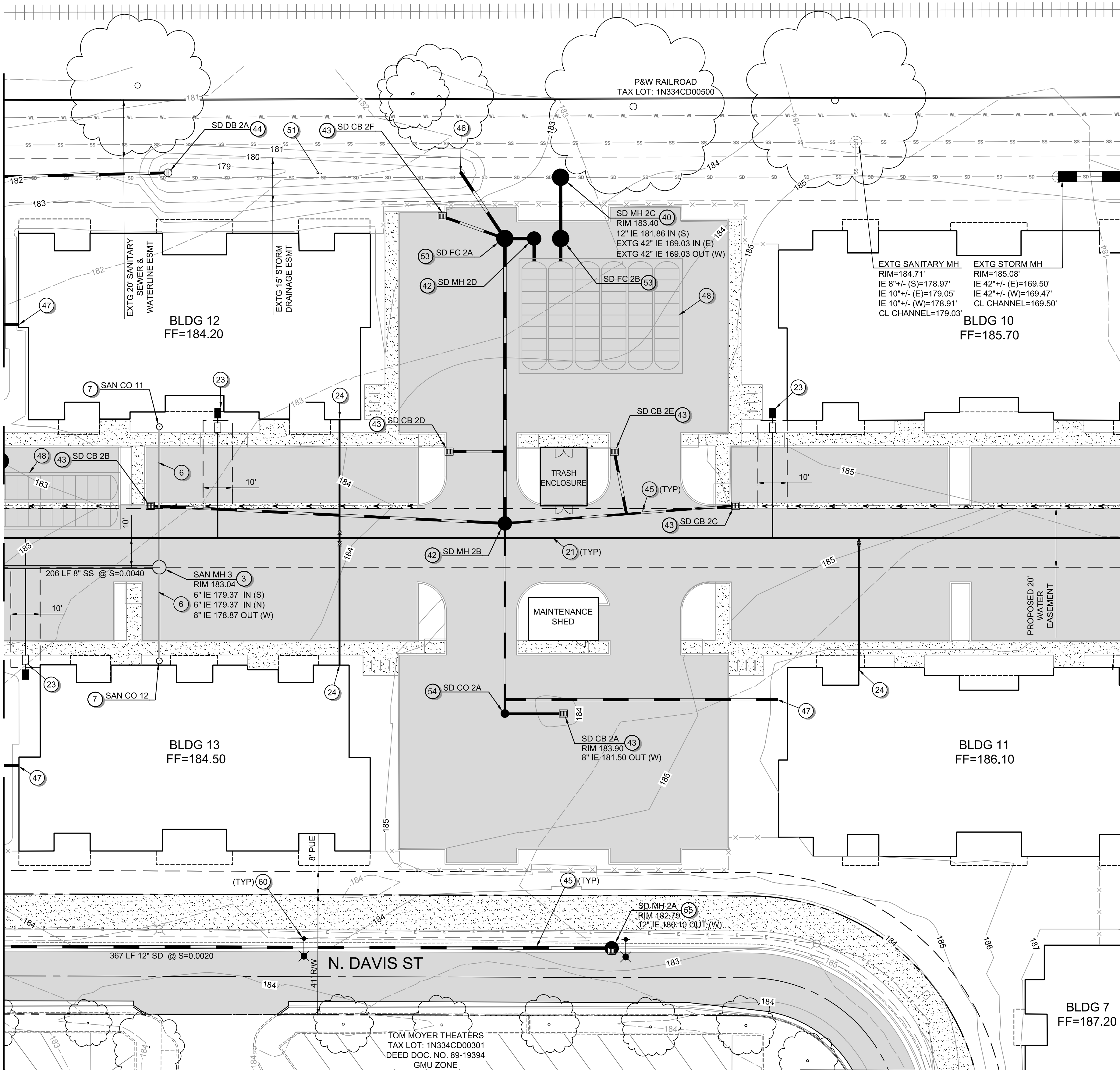
SHEET 27 OF 49

**PRELIMINARY**

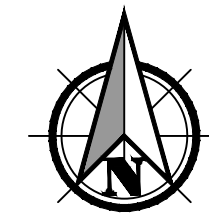


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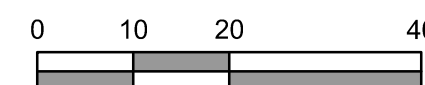
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MATCHLINE - SEE SHEET C404 FOR CONTINUATION



Scale 1" = 20'



Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- 1 CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
- 2 CONNECTION TO EXISTING 8" SANITARY MAIN IN BASELINE SIDEWALK - INSTALL MANHOLE AT CONNECTION POINT.
- 3 INSTALL SANITARY MANHOLE.
- 4 INSTALL PUBLIC SANITARY MAIN.
- 5 INSTALL PRIVATE SANITARY MAIN.
- 6 INSTALL SANITARY LATERAL.
- 7 CONSTRUCT SANITARY CLEANOUT.

**WATER KEYNOTES:**

- 20 CONNECTION TO EXISTING WATER MAIN - INSTALL GATE VALVE.
- 21 INSTALL PUBLIC 8" WATER MAIN.
- 22 INSTALL STANDARD FIRE HYDRANT ASSEMBLY.
- 23 DOMESTIC WATER SERVICE - INSTALL METER BOX AND BACKFLOW DEVICE.
- 24 DOMESTIC FIRE SERVICE LINE - INSTALL GATE VALVE AFTER CONNECTION TO PUBLIC WATER MAIN.
- 25 TEE CONNECTION POINT - INSTALL GATE VALVES.
- 26 INSTALL STANDARD BLOWOFF FOR FUTURE EXTENSION.

**STORM SEWER KEYNOTES:**

- 40 CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- 41 CONNECT TO EXISTING STORM MANHOLE.
- 42 INSTALL STORM MANHOLE.
- 43 INSTALL CATCH BASIN.
- 44 INSTALL AREA DRAIN.
- 45 INSTALL STORM CONVEYANCE PIPE.
- 46 STORM OUTFALL TO SURFACE FACILITY - INSTALL RIP-RAP PAD.
- 47 INSTALL ROOF DRAIN LATERAL.
- 48 INSTALL STORMTECH UNDERGROUND STORAGE DETENTION CHAMBERS.
- 49 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE.
- 50 CONSTRUCT SURFACE WATER QUALITY FACILITY - FLAT BOTTOM BIORETENTION.
- 51 CONSTRUCT SURFACE WATER QUALITY FACILITY - SWALE.
- 52 INSTALL STORM DETENTION PIPE.
- 53 INSTALL STORM FLOW CONTROL STRUCTURE.
- 54 INSTALL STORM CLEANOUT.
- 55 INSTALL CURB INLET MANHOLE.
- 56 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE W/ GRATED INLET.

**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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**UTILITY PLAN FOR:**  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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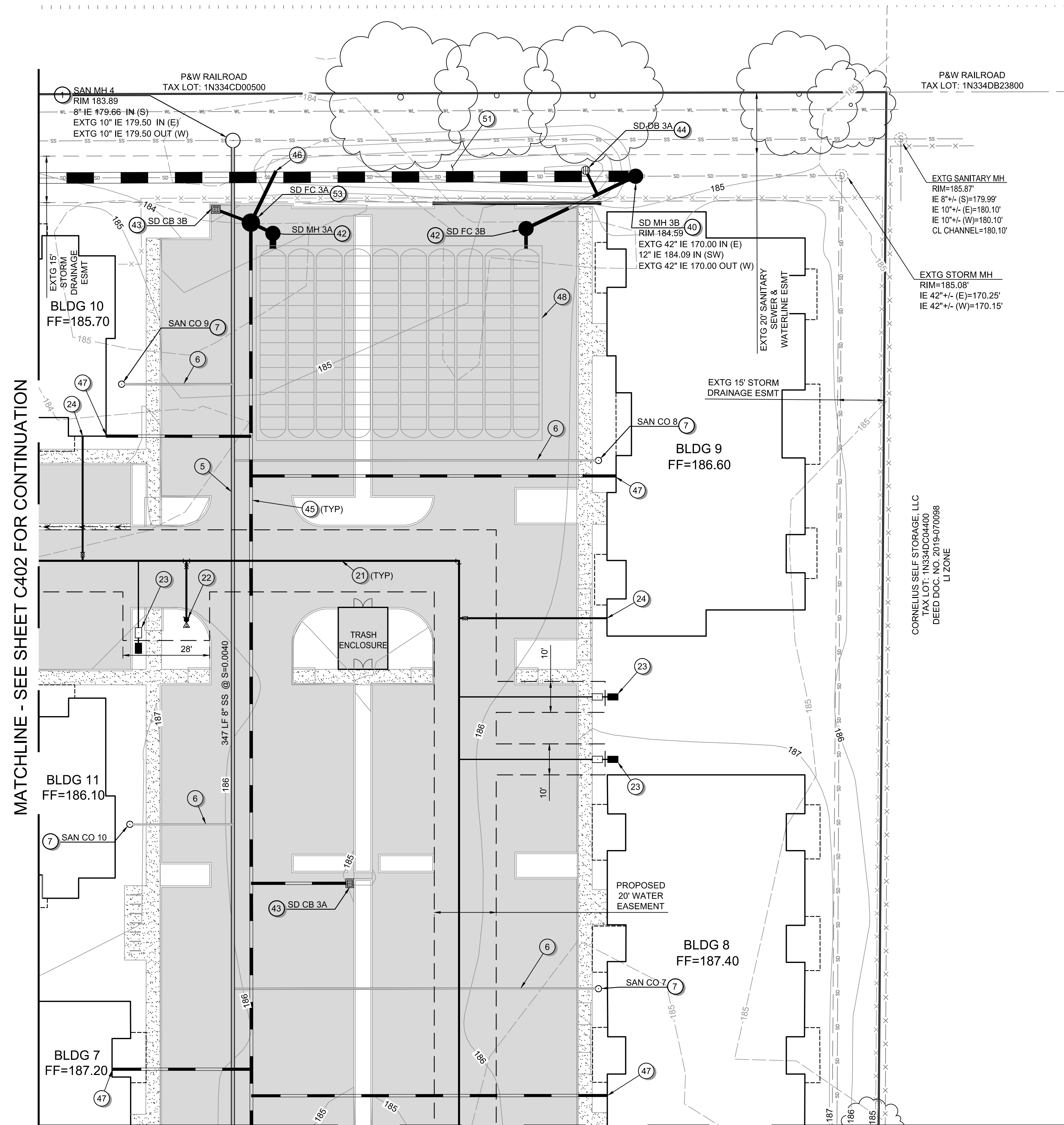
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**C402**

SHEET **28** OF **49**

**PRELIMINARY**

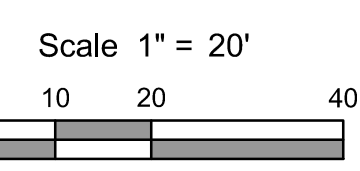
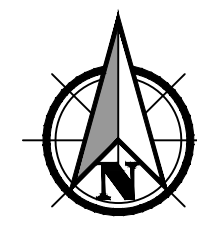


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MATCHLINE - SEE SHEET C402 FOR CONTINUATION

MATCHLINE - SEE SHEET C404 FOR CONTINUATION



**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- 1 CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
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**WATER KEYNOTES:**

- 20 CONNECTION TO EXISTING WATER MAIN - INSTALL GATE VALVE.
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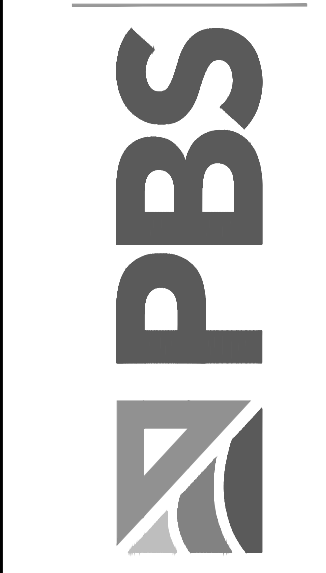
**STORM SEWER KEYNOTES:**

- 40 CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- 41 CONNECT TO EXISTING STORM MANHOLE.
- 42 INSTALL STORM MANHOLE.
- 43 INSTALL CATCH BASIN.
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**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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**UTILITY PLAN FOR:**  
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SHEET ID  
**C403**  
 SHEET 29 OF 49

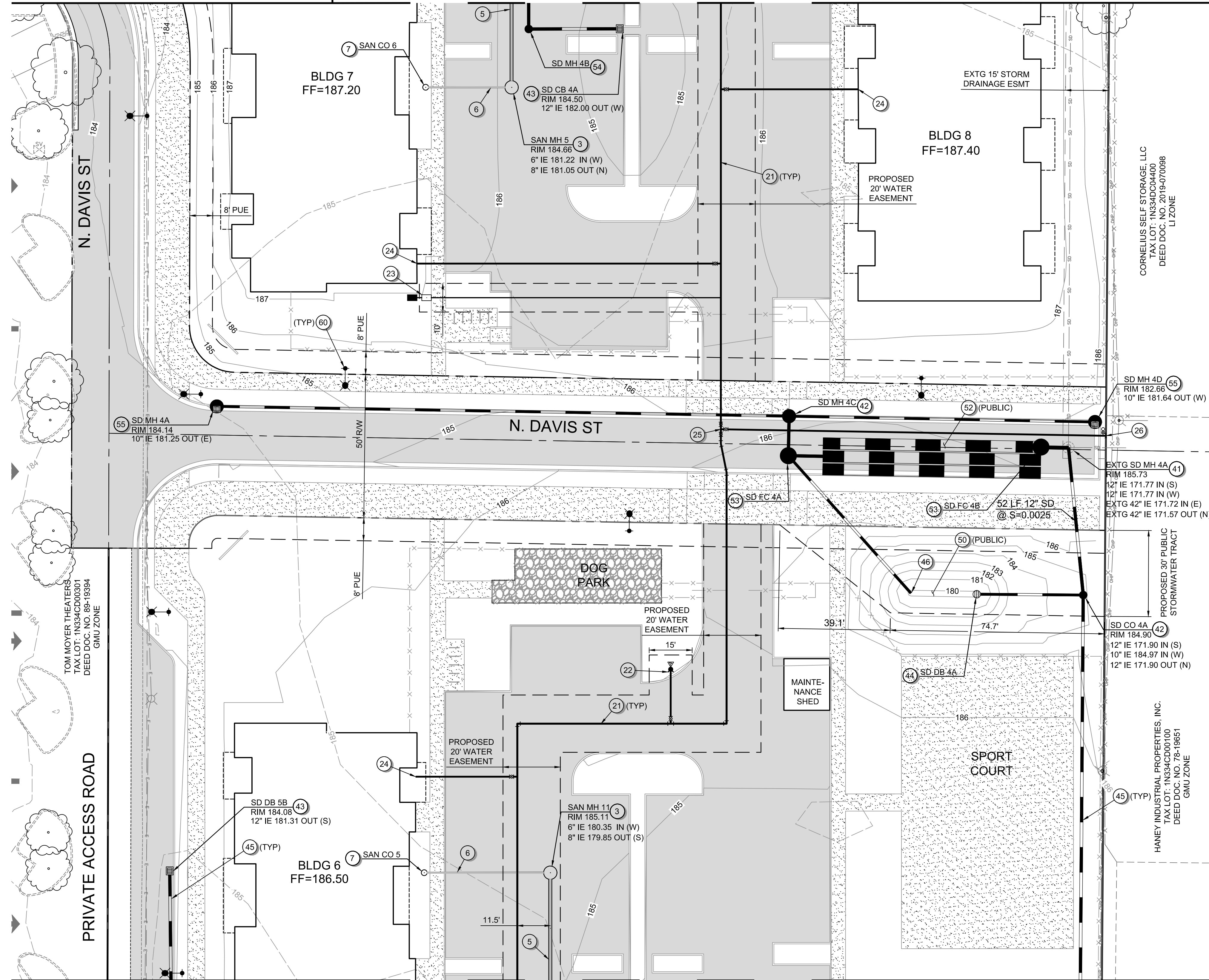
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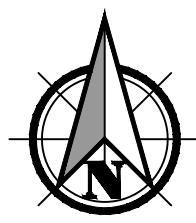


MATCHLINE - SEE SHEET C102 FOR CONTINUATION

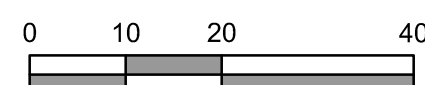
MATCHLINE - SEE SHEET C403 FOR CONTINUATION



MATCHLINE - SEE SHEET C405 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
3. THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAN.

**SANITARY SEWER KEYNOTES:**

- 1 CONNECTION TO EXISTING 10" SANITARY MAIN - INSTALL MANHOLE AT CONNECTION POINT.
- 2 CONNECTION TO EXISTING 8" SANITARY MAIN IN BASELINE SIDEWALK - INSTALL MANHOLE AT CONNECTION POINT.
- 3 INSTALL SANITARY MANHOLE.
- 4 INSTALL PUBLIC SANITARY MAIN.
- 5 INSTALL PRIVATE SANITARY MAIN.
- 6 INSTALL SANITARY LATERAL.
- 7 CONSTRUCT SANITARY CLEANOUT.

**WATER KEYNOTES:**

- 20 CONNECTION TO EXISTING WATER MAIN - INSTALL GATE VALVE.
- 21 INSTALL PUBLIC 8" WATER MAIN.
- 22 INSTALL STANDARD FIRE HYDRANT ASSEMBLY.
- 23 DOMESTIC WATER SERVICE - INSTALL METER BOX AND BACKFLOW DEVICE.
- 24 DOMESTIC FIRE SERVICE LINE - INSTALL GATE VALVE AFTER CONNECTION TO PUBLIC WATER MAIN.
- 25 TEE CONNECTION POINT - INSTALL GATE VALVES.
- 26 INSTALL STANDARD BLOWOFF FOR FUTURE EXTENSION.

**STORM SEWER KEYNOTES:**

- 40 CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
- 41 CONNECT TO EXISTING STORM MANHOLE.
- 42 INSTALL STORM MANHOLE.
- 43 INSTALL CATCH BASIN.
- 44 INSTALL AREA DRAIN.
- 45 INSTALL STORM CONVEYANCE PIPE.
- 46 STORM OUTFALL TO SURFACE FACILITY - INSTALL RIP-RAP PAD.
- 47 INSTALL ROOF DRAIN LATERAL.
- 48 INSTALL STORMTECH UNDERGROUND STORAGE DETENTION CHAMBERS.
- 49 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE.
- 50 CONSTRUCT SURFACE WATER QUALITY FACILITY - FLAT BOTTOM BIORETENTION.
- 51 CONSTRUCT SURFACE WATER QUALITY FACILITY - SWALE.
- 52 INSTALL STORM DETENTION PIPE.
- 53 INSTALL STORM FLOW CONTROL STRUCTURE.
- 54 INSTALL STORM CLEANOUT.
- 55 INSTALL CURB INLET MANHOLE.
- 56 INSTALL STORM PRE-TREATMENT WATER QUALITY MANHOLE W/ GRATED INLET.

**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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UTILITY PLAN FOR:  
**CORNELIUS MULTIFAMILY DEVELOPMENT**  
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SHEET ID  
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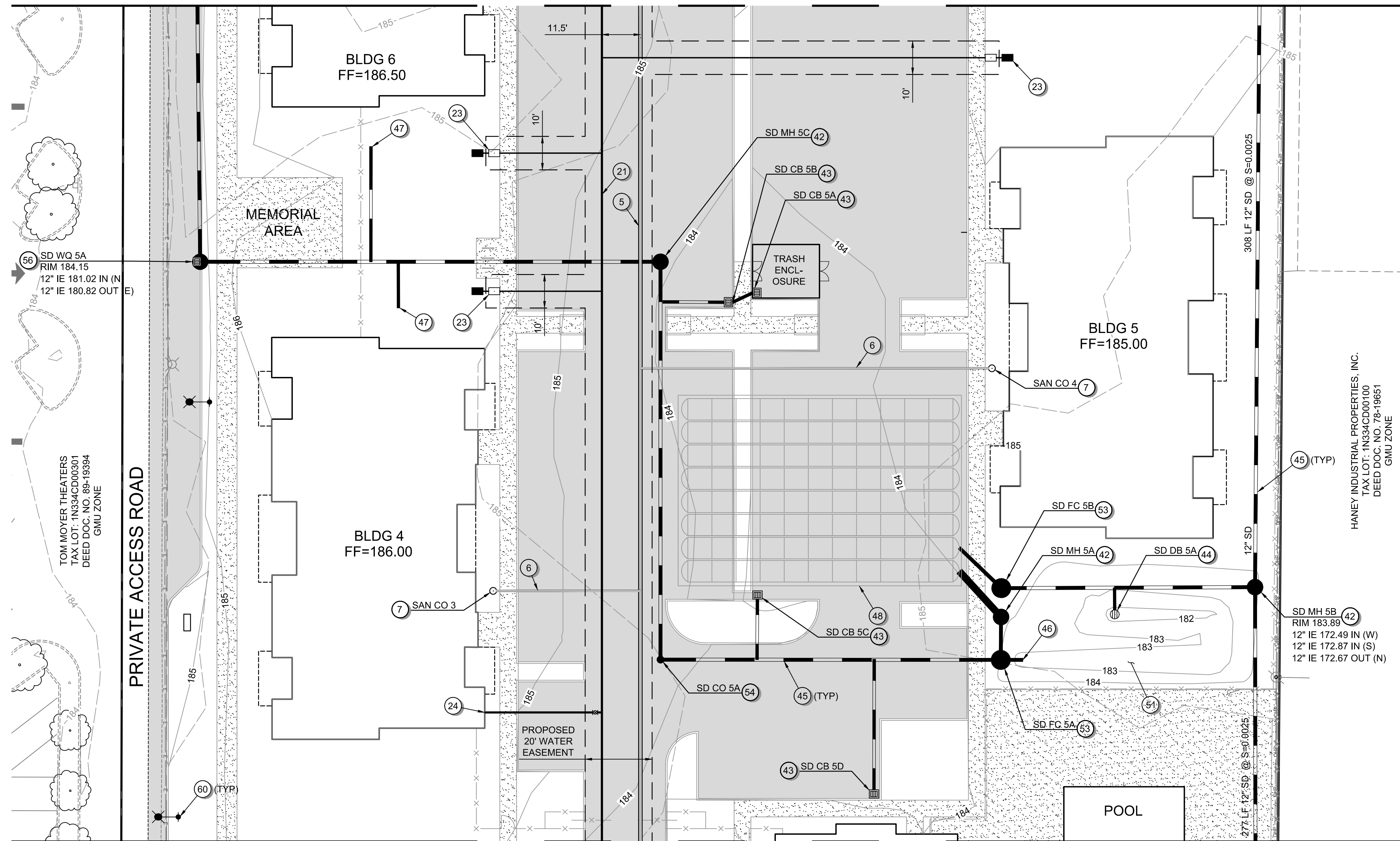
SHEET 30 OF 49

**PRELIMINARY**

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MATCHLINE - SEE SHEET C404 FOR CONTINUATION



MATCHLINE - SEE SHEET C406 FOR CONTINUATION

File name: L:\Projects\74217\74217-0001\Civil\CAD\WorkingSheets\74217\_000\_C401-C407.dwg Layout: Tab: C405 User: Peter Reich CAD Plot Date/Time: 5/20/2022 10:55:54 AM

**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
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**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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**UTILITY PLAN FOR:**  
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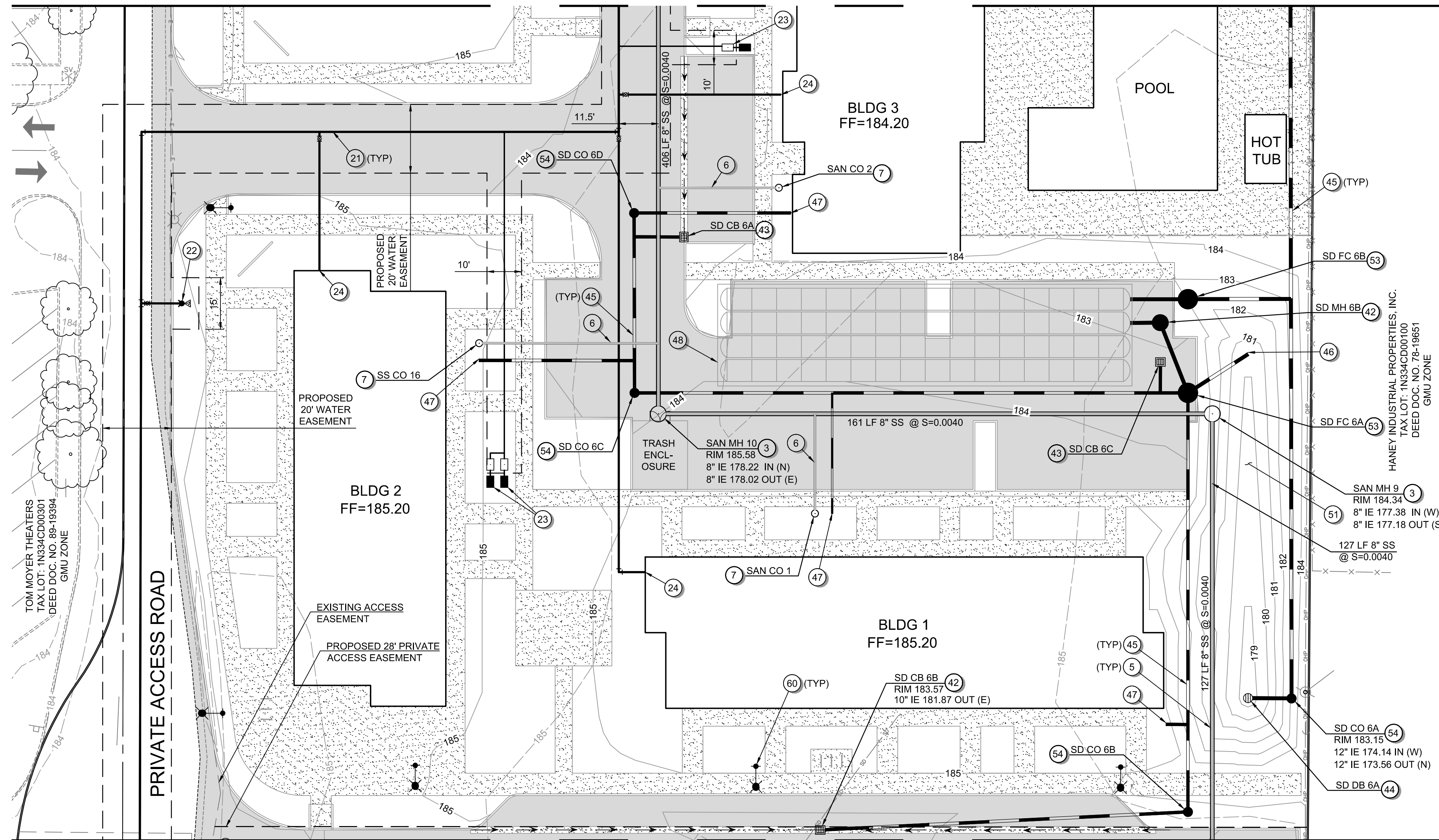
SHEET ID  
**C405**

SHEET 31 OF 49

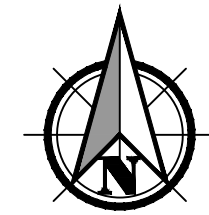
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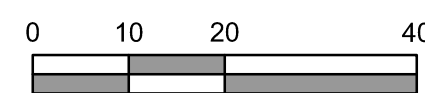
MATCHLINE - SEE SHEET C405 FOR CONTINUATION



MATCHLINE - SEE SHEET C407 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
2. SEE SHEET C002 FOR PROJECT NOTES.
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**MISCELLANEOUS KEYNOTES:**

- 60 STREET LIGHTING.

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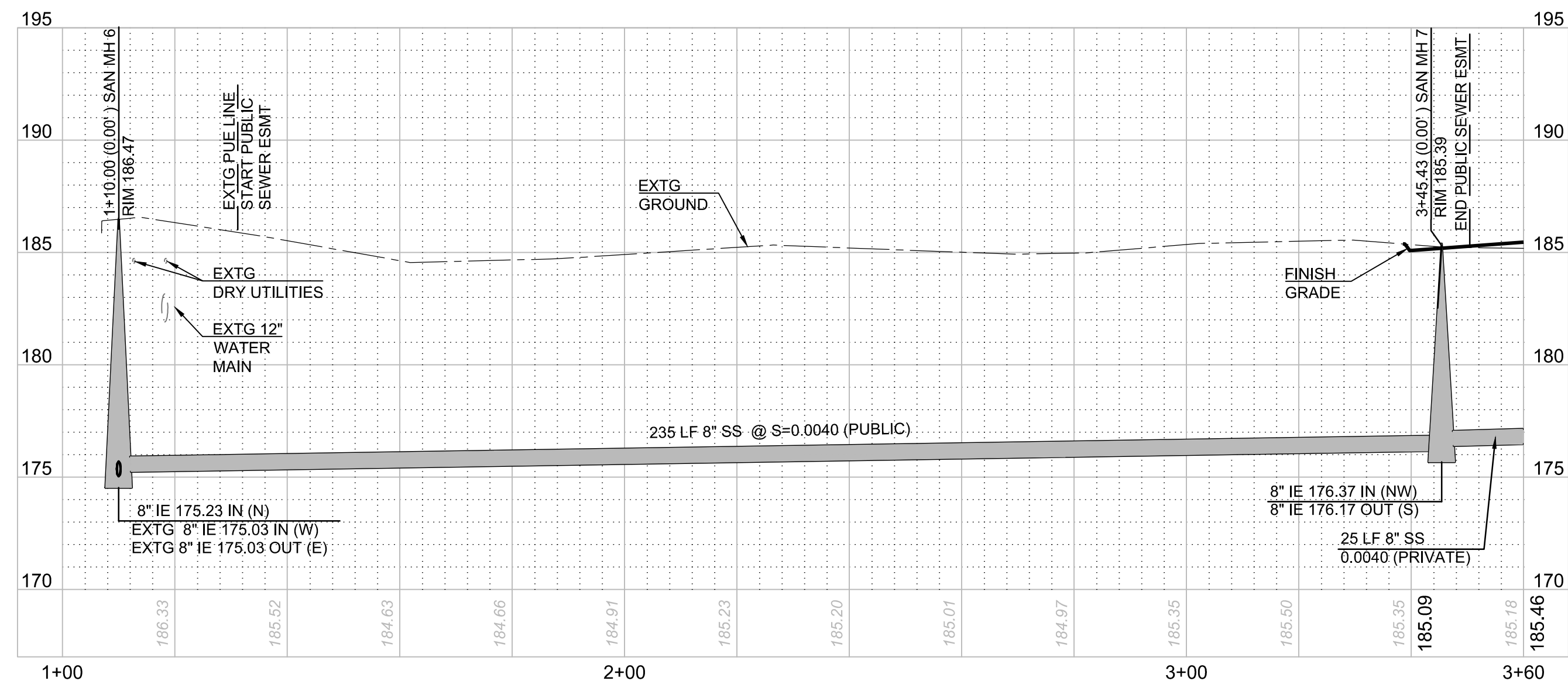
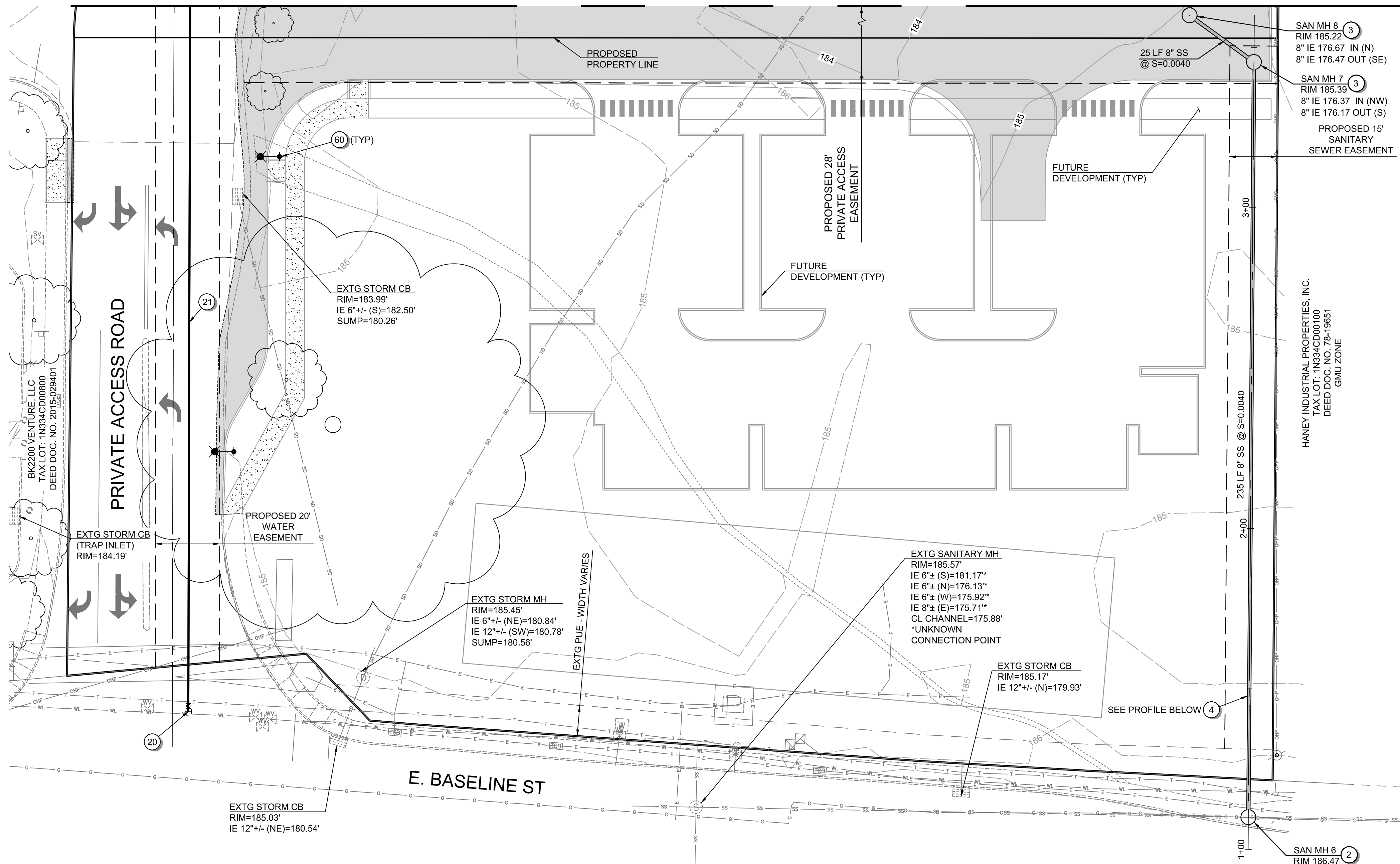
SHEET 32 OF 49

**PRELIMINARY**

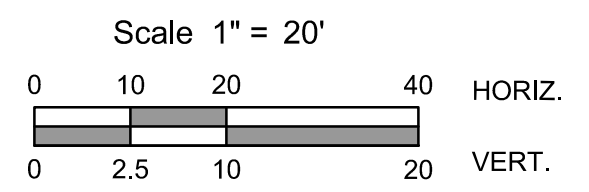
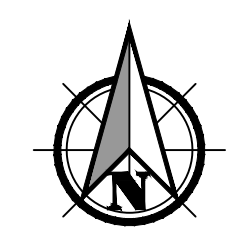
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MATCHLINE - SEE SHEET C406 FOR CONTINUATION



PUBLIC SANITARY MAIN



**GENERAL SHEET NOTES:**

- SEE SHEET C001 FOR ABBREVIATIONS AND MASTER LEGEND.
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**STORM SEWER KEYNOTES:**

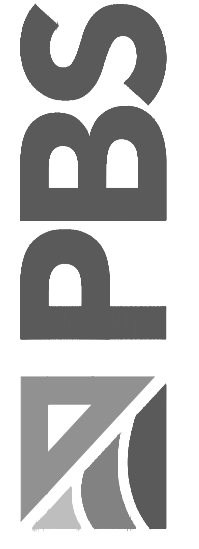
- CONNECT TO EXISTING STORM MAIN - INSTALL STORM MANHOLE.
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**MISCELLANEOUS KEYNOTES:**

- STREET LIGHTING.

**PRELIMINARY**

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UTILITY PLAN FOR:  
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SHEET **33** OF **49**

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Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.



**LANDSCAPE AREA CALCULATIONS**

	TOTAL
TOTAL SITE AREA (WITHOUT DAVIS ROW)	639,663 SF
LANDSCAPE AREA REQUIRED (15%)	95,950 SF
LANDSCAPE AREA PROPOSED	166,854 SF

**OPEN SPACE CALCULATIONS**

PARCEL	
TOTAL APARTMENT UNITS	346
REQUIRED: 150 SF OPEN SPACE x 330 RESIDENTIAL UNITS	49,500 SF
REQUIRED: 100 SF OPEN SPACE x 16 LIVE/WORK UNITS	1,600 SF
REQUIRED: TOTAL	51,100 SF
PROPOSED OPEN SPACE	88,997 SF

**CITY OF CORNELIUS LANDSCAPING GENERAL R.O.W NOTES:**

- BROADLEAF TREES PLANTED IN OTHER THAN SINGLE-FAMILY AND DUPLEX NEIGHBORHOODS SHALL BE A MINIMUM CALIPER SIZE OF 2".
- CONIFERS MUST BE A MINIMUM 5 FEET IN HEIGHT AT TIME OF PLANTING.
- TREES IN PARKWAY STRIPS SHALL BE INSTALLED WITH AN 18-INCH DEEP ROOT BARRIER.
- THE APPROPRIATE PLANTING METHODS FOR TREES ARE SHOWN IN CITY OF CORNELIUS DETAIL S-41.
- WATERING OF NEWLY PLANTED TREES IS REQUIRED. WATERING SHALL BE ACCOMPLISHED THROUGH USE OF A TEMPORARY IRRIGATION SYSTEM OR WITH INDIVIDUAL PORTABLE TREE WATERING DEVICES SUCH AS "GATOR BAGS."

**RIGHT-OF-WAY GROUNDCOVER LIST**

SYM	QTY	BOTANICAL NAME	COMMON NAME
	14,010 SF (.32 AC)	<i>Cotoneaster dammeri</i> 'Lowfast' <i>Cotoneaster procumbens</i> <i>Fragaria chiloensis</i> <i>Arctostaphylos uva-ursi</i> 'Massachusetts'	Lowfast Cotoneaster Cotoneaster 'Little Dipper' Beach Strawberry Massachusetts Kinnikinnick

**SEEDING LIST**

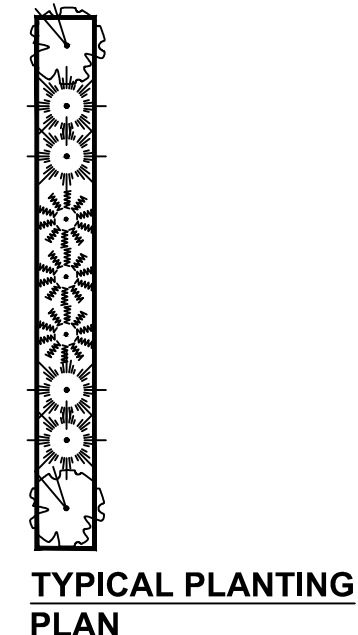
SYM	QTY	BOTANICAL NAME	COMMON NAME	% BY WEIGHT
	67,473 SF (1.55 AC)	<i>Lolium perenne</i> var <i>Express II</i> <i>Lolium perenne</i> var <i>Cutter II</i> 'Cutter' <i>Festuca rubra</i> var <i>Garnet</i> <i>Festuca rubra</i> spp. <i>fallax</i> var <i>Windward</i>	Express II Perennial Ryegrass Cutter II Perennial Ryegrass Garnet Creeping Red Fescue Windward Chewings Fescue	40% 40% 10% 10%

**PLANT LIST - TREES**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONTAINER CONDITION
	Dura-Heat River Birch <i>Betula nigra</i> 'BNMTF'	44	2" caliper, 10' min. height	B&B
	Emerald Sunshine Elm <i>Ulmus propinqua</i> 'JFS-BIERBACH'	20	2" caliper, 10' min. height	B&B
	Shademaster Honeylocust <i>Gleditsia triacanthos</i> 'Shademaster'	17	2" caliper, 10' min. height	B&B
	European Hornbeam <i>Carpinus betulus</i>	22	2" caliper, 10' min. height	B&B
	Red Rage Black Tupelo <i>Nyssa sylvatica</i> 'Haymanred'	27	2" caliper, 10' min. height	B&B
	Green Vase Japanese Zelkova <i>Zelkova serrata</i> 'Village Green'	27	2" caliper, 10' min. height	B&B
	Greenspire Little Leaf Linden <i>Tilia cordata</i> 'pni 6025'	14	2" caliper, 10' min. height	B&B
	Frontier Elm <i>Ulmus</i> 'Frontier'	16	2" caliper, 10' min. height	B&B
	Forest Green Oak <i>Quercus frainetto</i> 'Schmidt'	7	2" caliper, 10' min. height	B&B
	Redmond American Linden <i>Tilia americana</i> 'Redmond'	3	2" caliper, 10' min. height	B&B
	Gleditsia triacanthos 'Christie' Halka Honeylocust	13	2" caliper, 10' min. height	B&B
	Corinthian Linden <i>Tilia cordata</i> 'Corzam'	11	2" caliper, 10' min. height	B&B
	Sango Kaku Japanese Maple <i>Acer palmatum</i> 'Sango Kaku'	11	2" caliper, 10' min. height	B&B
	Columnar Ginkgo <i>Ginkgo biloba</i> 'Fastigiata'	16	2" caliper, 10' min. height	B&B
	Golden Aurea Deodar Cedar <i>Cedrus deodroa</i> 'Aurea'	3	2" caliper, 10' min. height	B&B
	Bakeri Blue Spruce <i>Picea pungens</i> 'Bakeri Blue'	6	2" caliper, 10' min. height	B&B

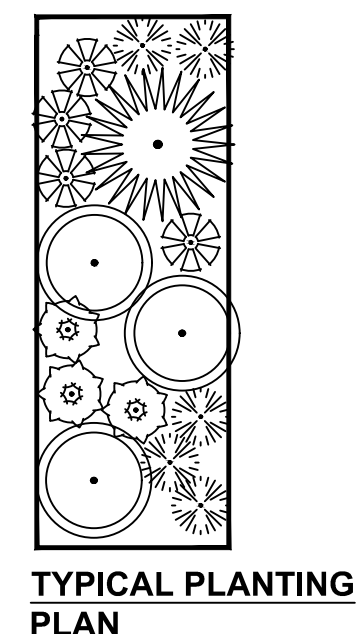
**BUILDING/BUFFER PLANT LIST - SHRUBS & GROUNDCOVER**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONDITION
	<i>Pennisetum alopecuroides</i> 'Red Head' Red Head Fountain Grass	---	12" min height, #1	Container
	<i>Arctostaphylos uva-ursi</i> 'Massachusetts' Kinnikinnick	---	12" min height, #1	Container
	<i>Azalea</i> x 'Karen' Karen Azalea	---	12" min height, #3	Container
	<i>Eunymous alatus</i> 'Compacta' Dwarf Winged Eunymous	---	18" min height, #5	Container
	<i>Hakonechloa macra</i> 'Aureola' Golden Japanese Forest Grass	---	6" min. height, #1	Container
	<i>Phormium tenax</i> 'Shiraz' Shiraz New Zealand Flax	---	12" min height, #1	Container
	<i>Ilex crenata</i> 'Shamrock' Shamrock Holly	---	12" min height, #3	Container
	<i>Ilex crenata</i> 'Sky Pencil' Sky Pencil Japanese Holly	---	3' min. height, #5	Container
	<i>Itea virginia</i> 'Little Dwarf' Little Dwarf Sweetspire	---	12" min height, #1	Container
	<i>Polystichum munitum</i> Western Sword Fern	---	6" min. height, #1	Container
	<i>Mahonia aquifolium</i> 'Compacta' Compact Oregon Grape	---	9" min. height, #2	Container
	<i>Sarcococca hook. digyna</i> 'Purple Stem' Purple Stem Sweet Box	---	12" min height, #3	Container
	<i>Escallonia x exoniensis</i> 'Fradesii' Pink Princess Escallonia	---	12" min height, #3	Container



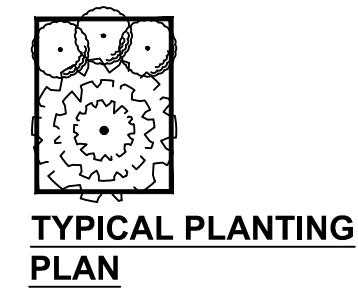
**PERIMETER BUFFER PLANT LIST - SHRUBS & GROUNDCOVER**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONDITION
	<i>Arctostaphylos uva-ursi</i> 'Massachusetts' Kinnikinnick	---	12" min height, #1	Container
	<i>Myrica California</i> Pacific Waxmyrtle	---	12" min height, #3	Container
	<i>Hakonechloa macra</i> 'Aureola' Golden Japanese Forest Grass	---	6" min. height, #1	Container
	<i>Phormium tenax</i> 'Shiraz' Shiraz New Zealand Flax	---	12" min height, #1	Container
	<i>Picea glauca</i> 'Conica' Dwarf Alberta Spruce	---	12" min height, #3	Container
	<i>Ilex crenata</i> 'Sky Pencil' Sky Pencil Japanese Holly	---	3' min. height, #5	Container
	<i>Polystichum munitum</i> Western Sword Fern	---	6" min. height, #1	Container
	<i>Mahonia aquifolium</i> 'Compacta' Compact Oregon Grape	---	9" min. height, #2	Container
	<i>Sarcococca hook. digyna</i> 'Purple Stem' Purple Stem Sweet Box	---	12" min height, #3	Container
	<i>Escallonia x exoniensis</i> 'Fradesii' Pink Princess Escallonia	---	12" min height, #3	Container
	<i>Camellia sasanqua</i> 'Mondel' Pink-a-Boo Camellia	---	12" min height, #3	Container
	<i>Laurus nobilis</i> 'MonRik' Little Ragu Sweet Bay	---	12" min height, #3	Container



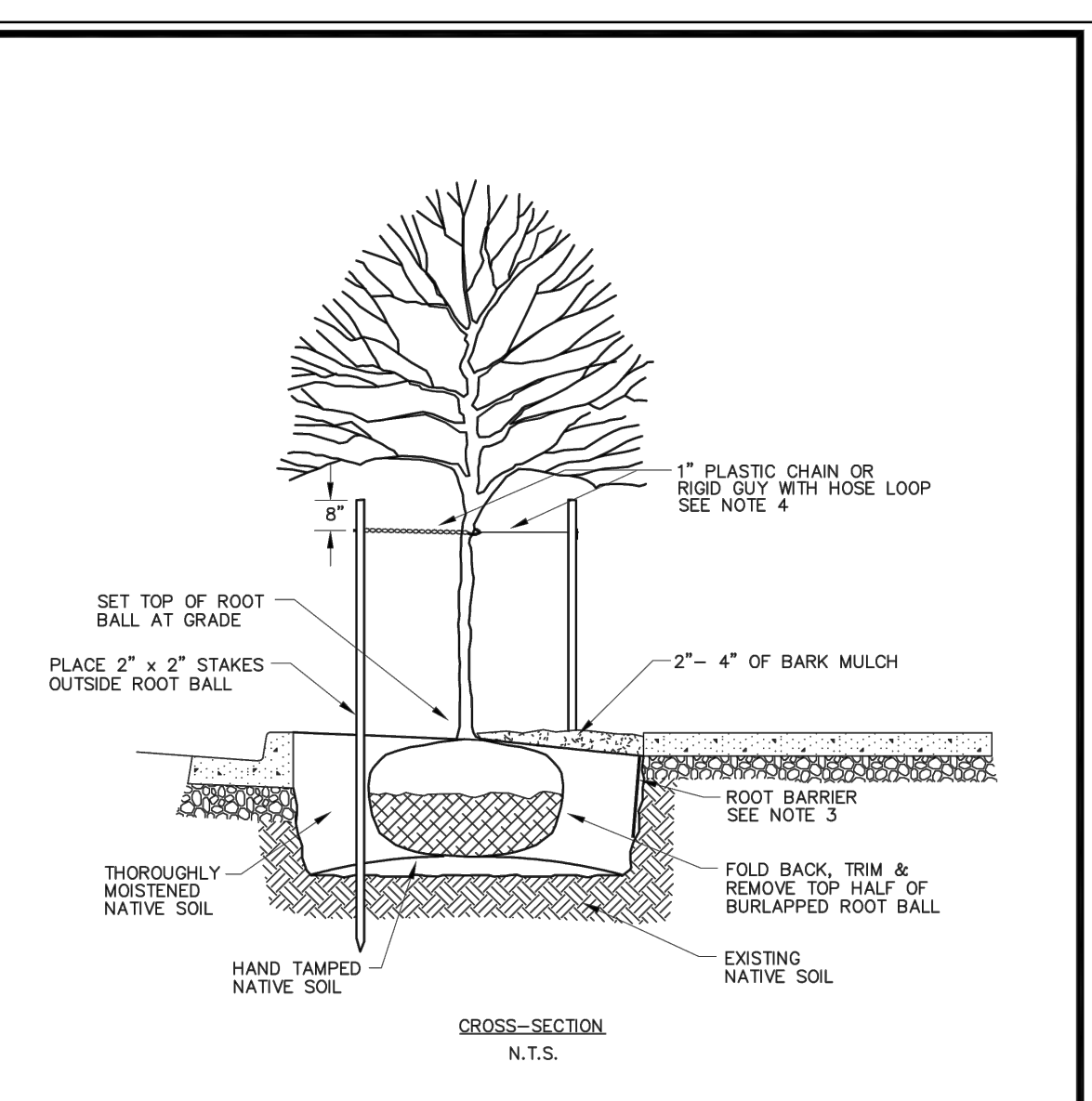
**PARKING LOT PLANT LIST - SHRUBS & GROUNDCOVER**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONDITION
	<i>Buxus sempervirens</i> 'Suffruticosa' Dwarf English Boxwood	---	12" min height, #1	Container
	<i>Arctostaphylos uva-ursi</i> 'Massachusetts' Kinnikinnick	---	12" min height, #1	Container
	<i>Eunymous alatus</i> 'Compacta' Dwarf Winged Eunymous	---	12" min height, #1	Container
	<i>Miscanthus sinensis</i> 'Little Miss' Little Miss Dwarf Maiden Grass	---	6" min. height, #1	Container
	<i>Rosmarinus officinalis</i> 'Huntington Carpet' Huntington Carpet Rosemary	---	12" min height, #1	Container
	<i>Phlox subulata</i> 'Candy Stripe' Candy Stripe Creeping Phlox	---	12" min height, #1	Container
	<i>Juniperus procumbens</i> 'Nana' Dwarf Japanese Garden Juniper	---	12" min height, #3	Container
	<i>Itea virginia</i> 'Little Dwarf' Little Dwarf Sweetspire	---	12" min height, #1	Container
	<i>Polystichum munitum</i> Western Sword Fern	---	12" min height, #1	Container
	<i>Mahonia aquifolium</i> 'Compacta' Compact Oregon Grape	---	9" min. height, #2	Container
	<i>Hemerocallis</i> x 'Monold' Starburst Double Gold Evergreen Daylily	---	12" min height, #3	Container
	<i>Escallonia</i> 'Compakta' Compact Escallonia	---	12" min height, #3	Container
	<i>Calluna Vulgaris</i> 'Selly' Selly Scotch Heather	---	12" min height, #3	Container
	<i>Festuca glauca</i> 'Elijah Blue' Elijah Blue Fescue	---	12" min height, #3	Container
	<i>Gaultheria procumbens</i> Redwood Creeping Wintergreen	---	12" min height, #1	Container



**STORM FACILITY AND ODOT BUFFER PLANT LIST**

SYMBOL	PLANT SPECIES NAME	QTY	SIZE	CONDITION
	<i>Prunus emarginata</i> Bitter cherry	000 @ 3' o.c.	2" Caliper #1	Container
	<i>Pysocarpus capitatus</i> Pacific ninebark	000 @ 3' o.c.	#1	Container
	<i>Cornus sericea</i> Red-osier dogwood	000 @ 3' o.c.	12" min height, #1	Container
	<i>Rosa pisocarpa</i> Clustered rose	000 @ 3' o.c.	18" min height, #1	Container
	<i>Ribes sanguineum</i> Red flowering currant	000 @ 3' o.c.	6" min. height, #1	Container
	<i>Juncus patens</i> Spreading rush	000 @ 3' o.c.	12" min height, #1	Container
	<i>Scirpus microcarpus</i> Small-fruited bulrush	000 @ 3' o.c.	12" min height, #1	Container
	<i>Carex obnupta</i> Slough sedge plugs	000 @ 3' o.c.	3' min. height, #1	Container
	<i>Agrostis oregonensis</i> Oregon bentgrass	000 @ 3' o.c.	12" min height, #1	Container
	NW NATIVE WILDFLOWER MIX	000 @ 3' o.c.	6" min. height, #1	Container

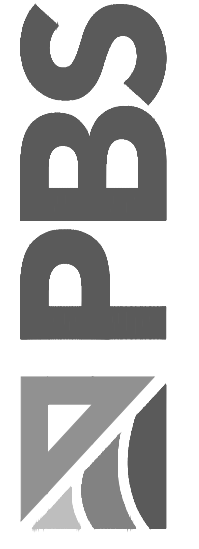


- NOTES:
- ADJUST PLANTING LOCATIONS SO THE TREE CROWN OR ROOT BALL DOES NOT CONFLICT WITH ABOVE OR BELOW-GROUND UTILITIES.
  - DO NOT UNDERMINE CURB OR SIDEWALK WHEN EXCAVATING.
  - AN 18 INCH DEEP ROOT BARRIER SHALL BE REQUIRED WHEN A TREE IS PLANTED IN A PARKWAY STRIP.
  - PROVIDE A LOOP IN CHAIN LOCK OR GUY HOSE LARGE ENOUGH TO ALLOW FOR TRUNK GROWTH.
  - TREE STAKES ARE TO BE REMOVED AT THE END OF THE WARRANTY PERIOD UNLESS THE CITY ENGINEER DETERMINES THE STAKES SHALL REMAIN IN PLACE.
  - AT A MINIMUM, TREES SHALL BE IRRIGATED FOR TWO YEARS, AFTER PLANTING.

	STANDARD SIDEWALK TREETWELL	STREETS
		S - 41
		10/17/19

**PRELIMINARY**

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PLANTING LEGEND, DETAILS & NOTES FOR:  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below. Call before you dig.

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REBECCA J WAHLSTROM  
OREGON  
11-30-2022  
LANDSCAPE ARCHITECT

DESIGNED: OAG  
CHECKED: RJW  
MAY 20, 2022  
74217.000

SHEET ID  
**L101**

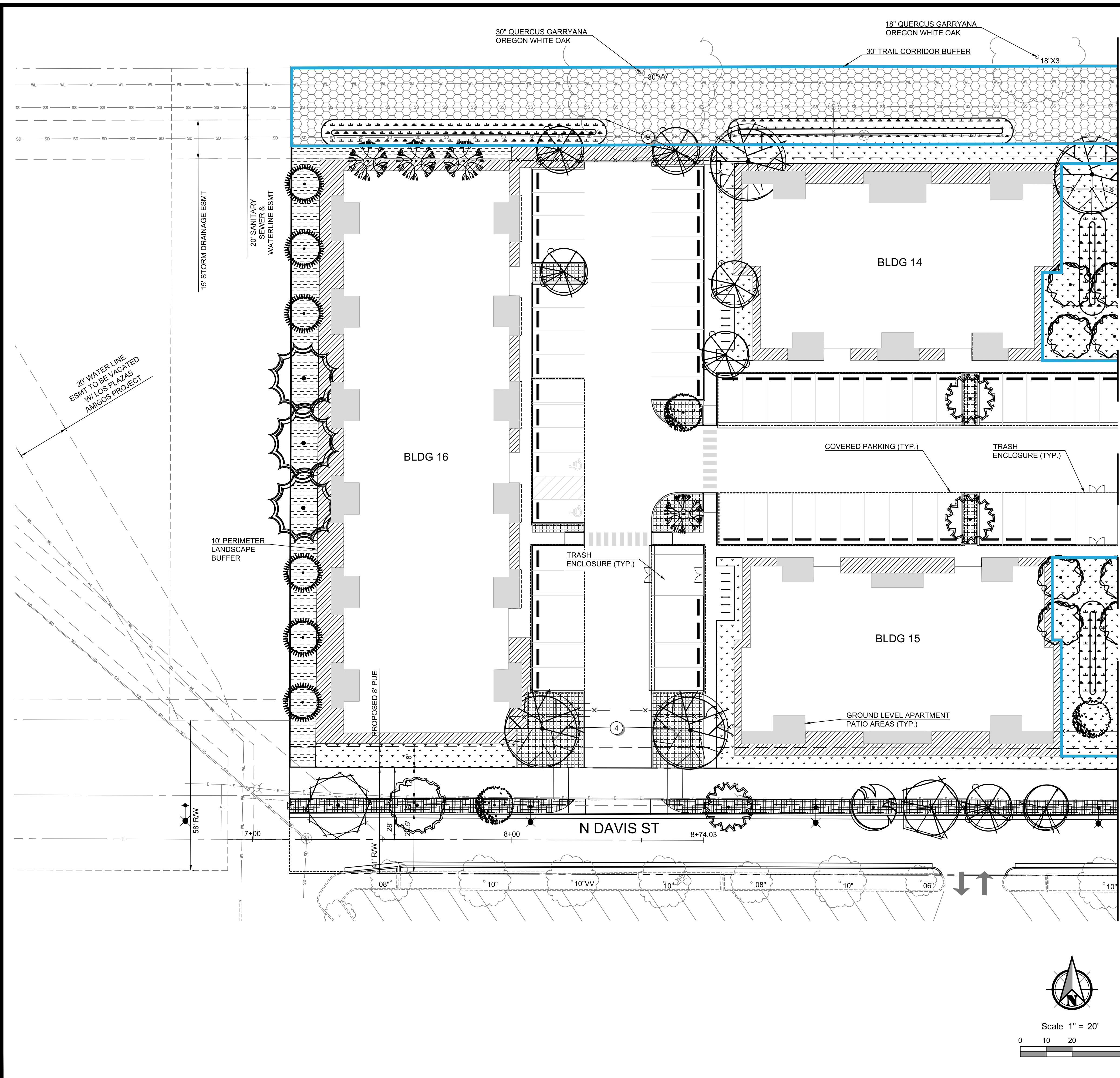
SHEET 28 OF 37

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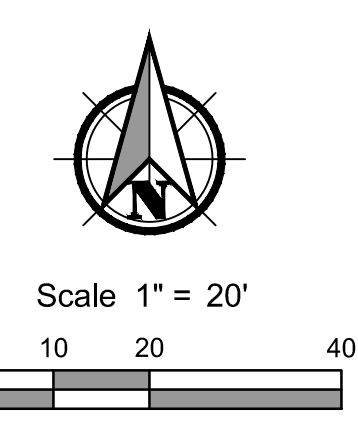
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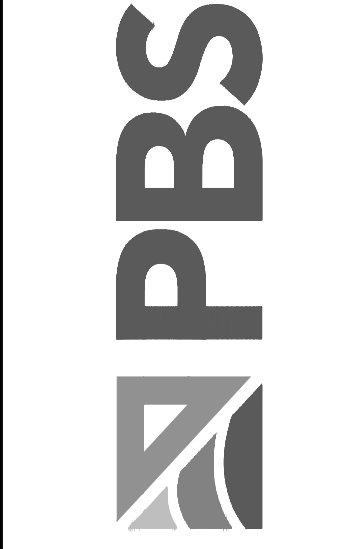
MATCHLINE - SEE SHEET L103 FOR CONTINUATION



- GENERAL SHEET NOTES:**
- SEE SHEET C003 FOR PROJECT GENERAL NOTES.
  - FINISHED GRADES ADJACENT TO BUILDING IN SOFTSCAPE AREAS INCLUDE ROOM FOR FINAL LANDSCAPE LAYERS SUCH AS TOP SOIL OR MULCH. ONCE FINAL LAYERS HAVE BEEN INSTALLED THE AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING.
  - HATCHING DEPICTS PLANTING GROUPS DEFINED ON THE PLANT LEGEND. PLANTING PLAN WILL BE DETAILED DURING FINAL ENGINEERING.
  - BLUE OUTLINE AROUND LANDSCAPE AREAS DENOTE AREAS COUNTED AS OPEN SPACE.

- LANDSCAPE PLAN DETAIL KEYNOTES:**
- OUTDOOR GATHERING AREA FURNISHINGS AND MATERIALS WILL RESPOND TO MATERIALS USED ON THE BUILDING AND BE COHESIVE THROUGHOUT THE SITE.
  - DOG PARK AREA WILL INCLUDE: AN 8X8 ENTRY AREA, 42\"/>

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**PLANTING PLAN FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



REGISTERED  
 682  
 PRELIMINARY  
 REBECCA J WAHLSTROM  
 OREGON  
 11-30-2022  
 LANDSCAPE ARCHITECT

DESIGNED:  
 OAG  
 CHECKED:  
 RJW  
 MAY 20, 2022  
 74217.000

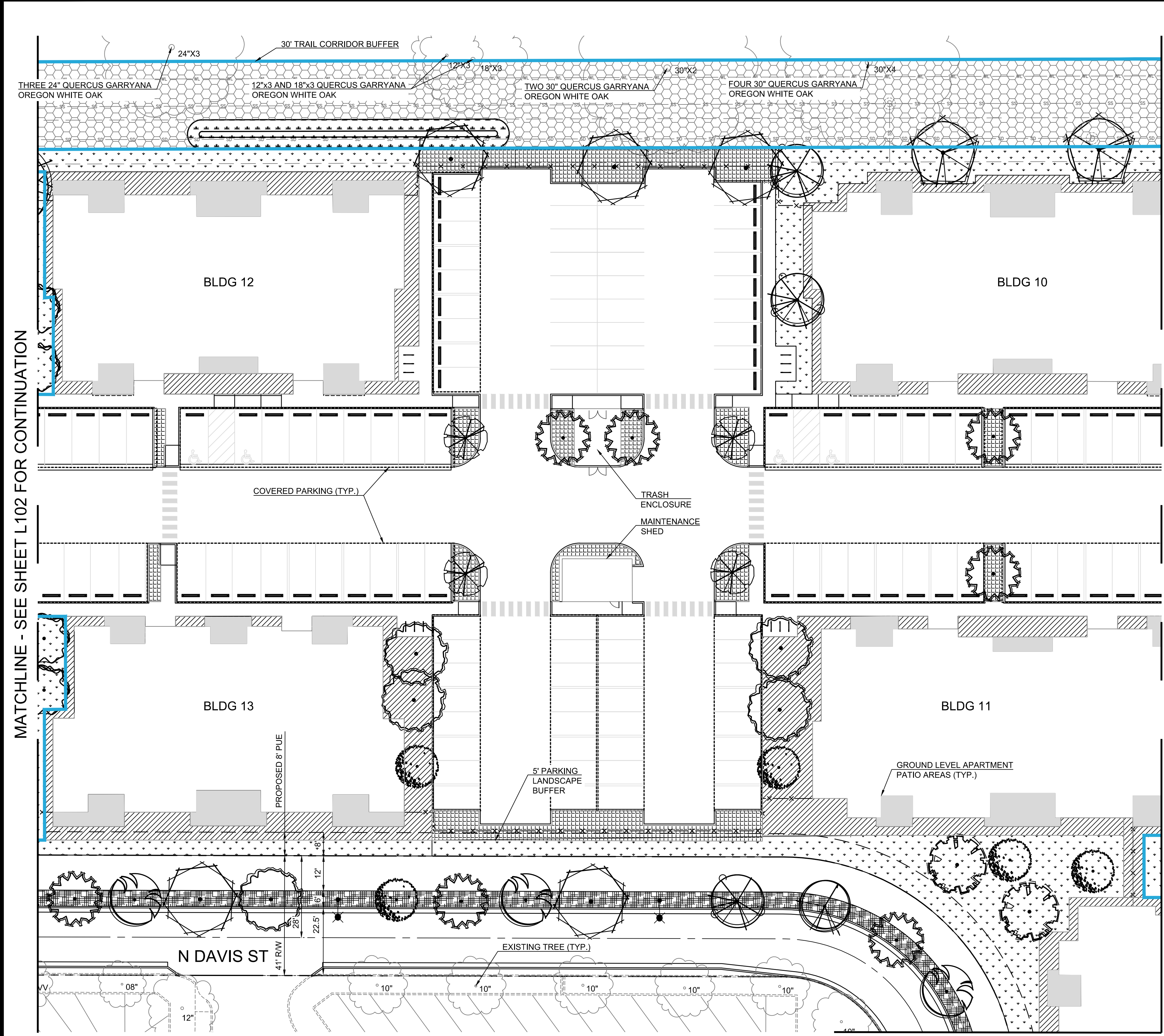
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 SHEET 29 OF 37

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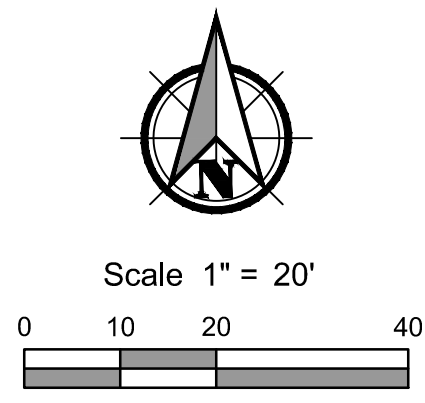
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MATCHLINE - SEE SHEET L102 FOR CONTINUATION

MATCHLINE - SEE SHEET L104 FOR CONTINUATION

MATCHLINE - SEE SHEET L105 FOR CONTINUATION



**GENERAL SHEET NOTES:**

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PLANTING PLAN FOR:

**CORNELIUS MULTIFAMILY LAND PARTITION**

A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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 LANDSCAPE ARCHITECT  
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 CHECKED:  
 RJW  
 MAY 20, 2022  
 74217.000

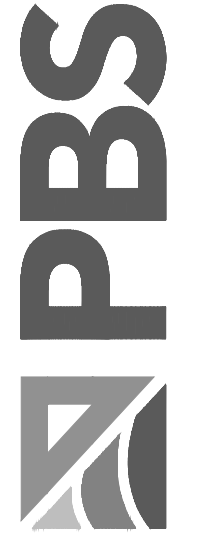
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SHEET 30 OF 37

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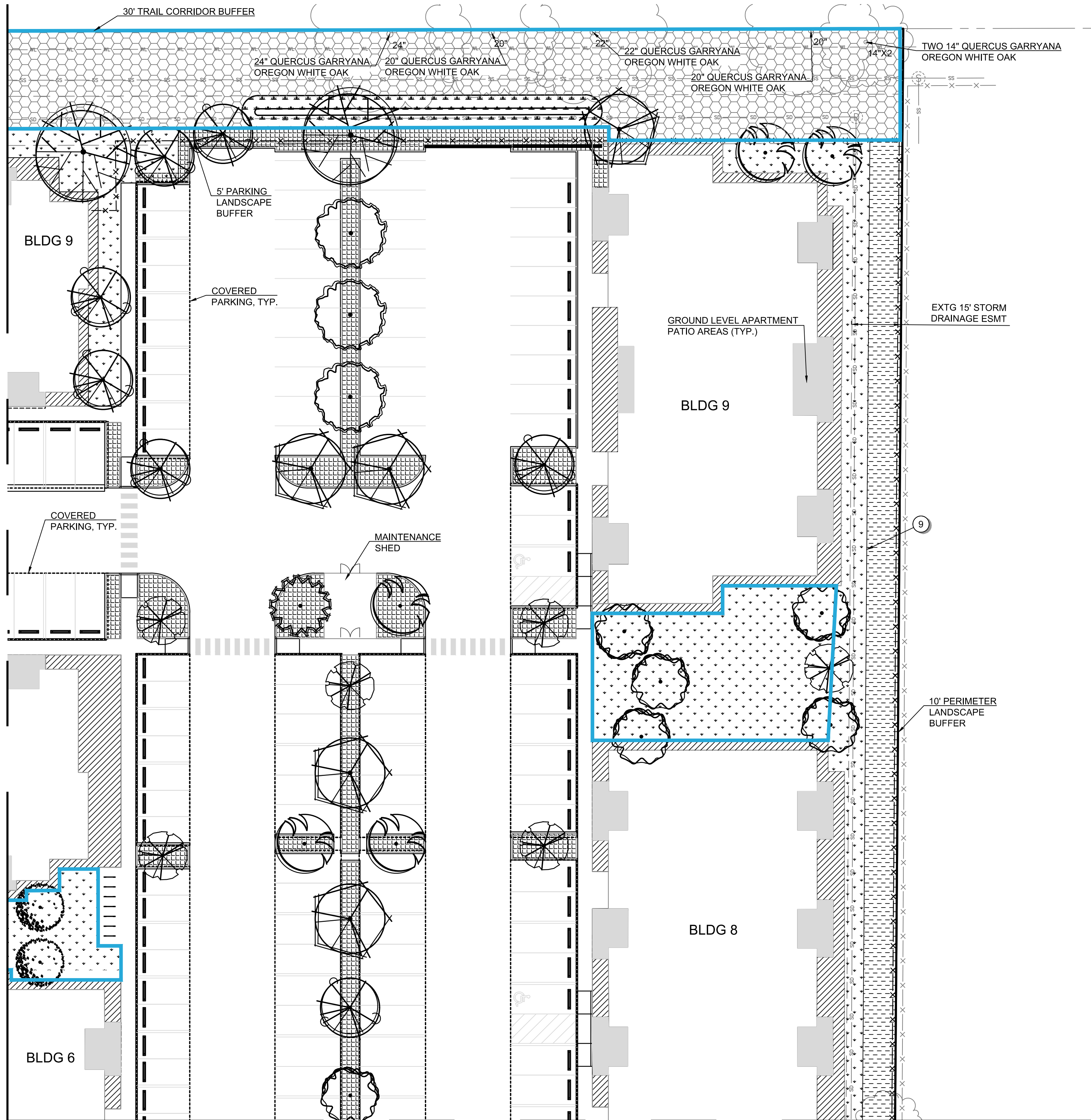
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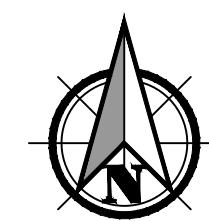


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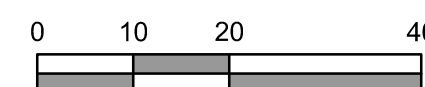
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MATCHLINE - SEE SHEET L105 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C003 FOR PROJECT GENERAL NOTES.
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**PLANTING PLAN FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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 OREGON  
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 MAY 20, 2022  
 74217.000

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**L104**

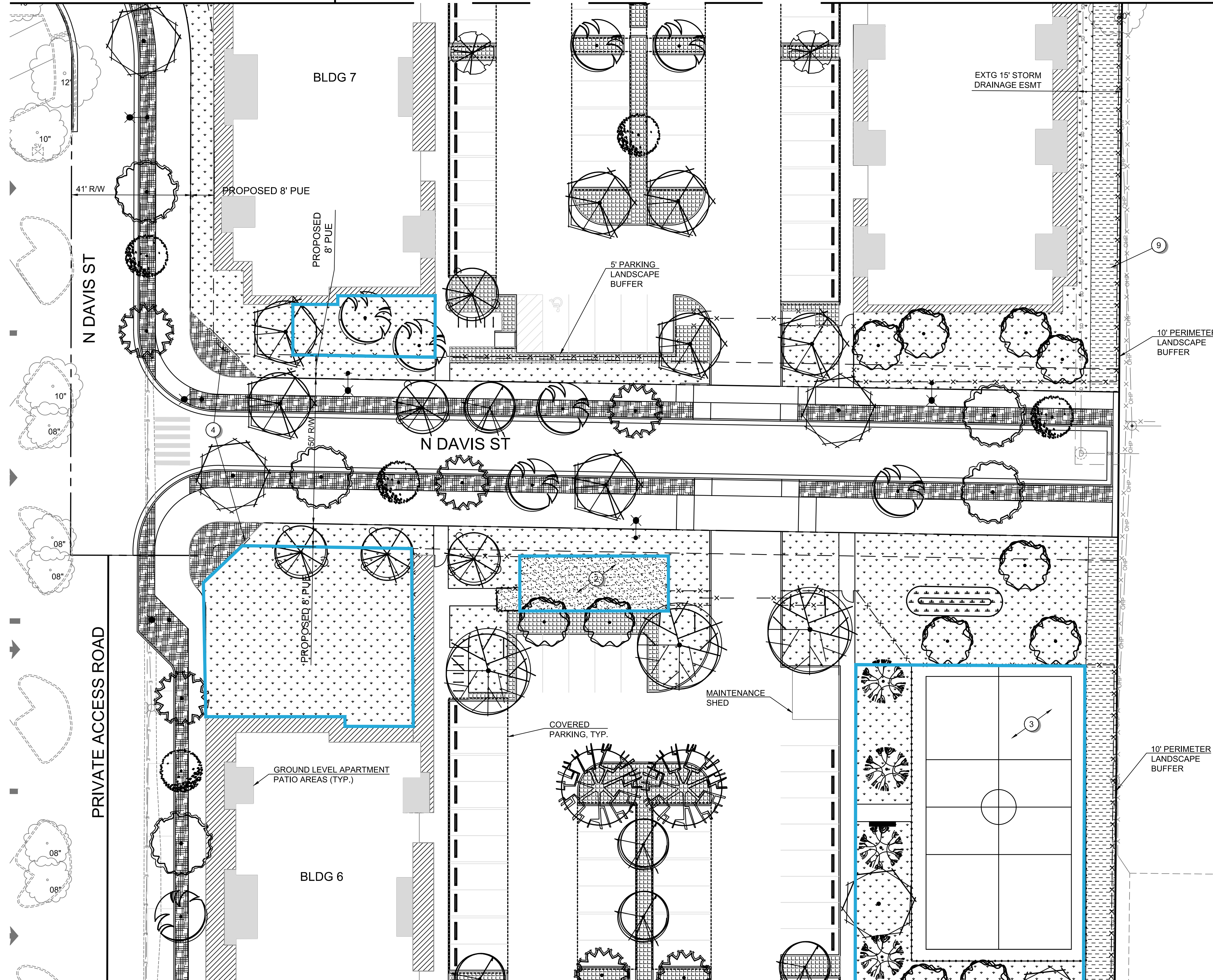
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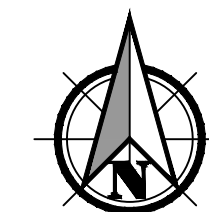


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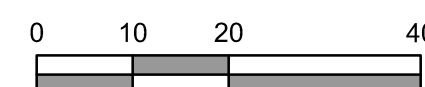
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MATCHLINE - SEE SHEET L106 FOR CONTINUATION



Scale 1" = 20'



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**PLANTING PLAN FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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 OREGON  
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RBPW  
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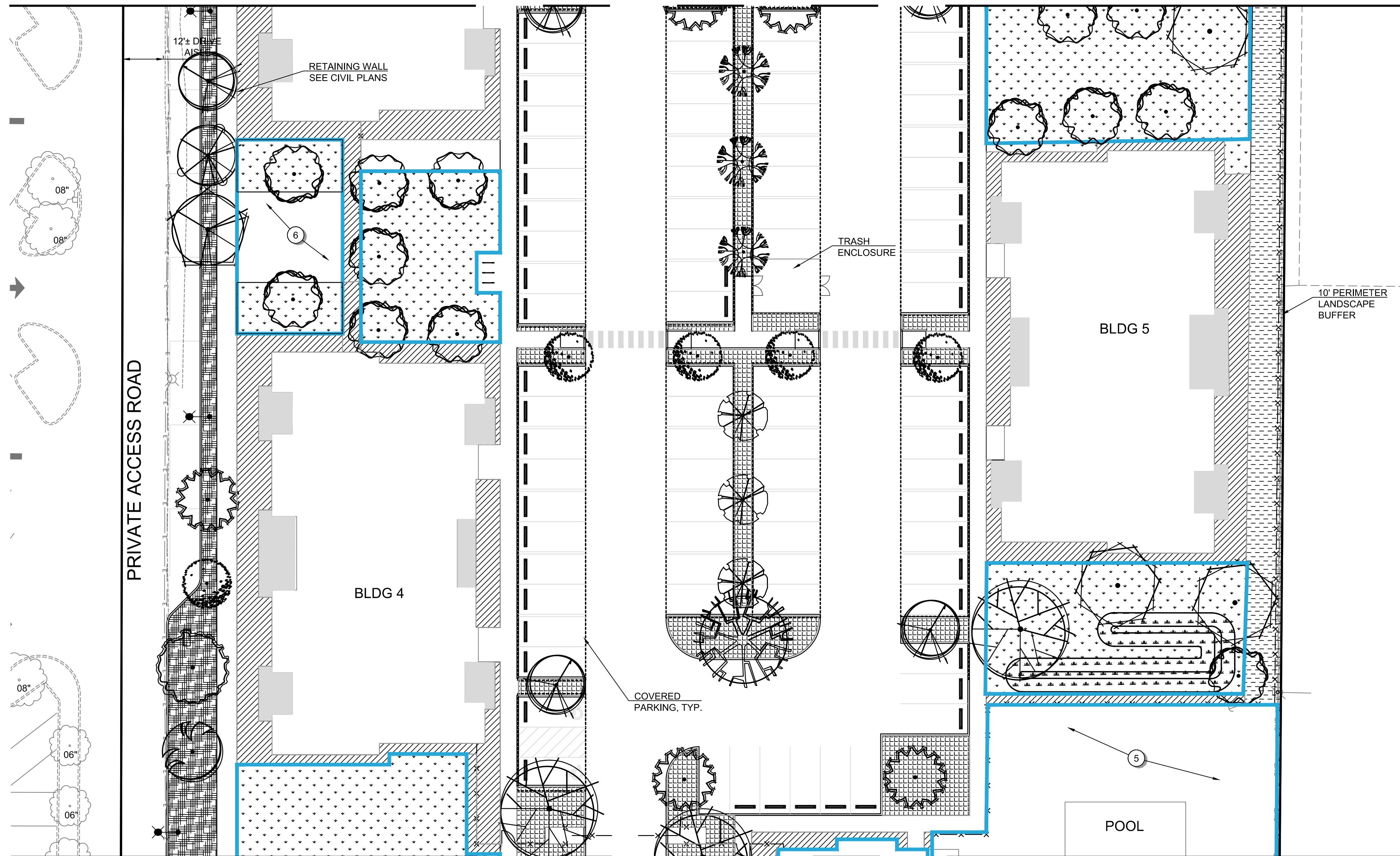
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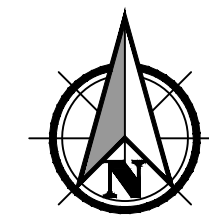
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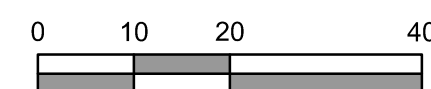
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MATCHLINE - SEE SHEET L107 FOR CONTINUATION



Scale 1" = 20'



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**PLANTING PLAN FOR:**  
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 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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 CHECKED:  
 BRPW  
 MAY 20, 2022  
 74217.000

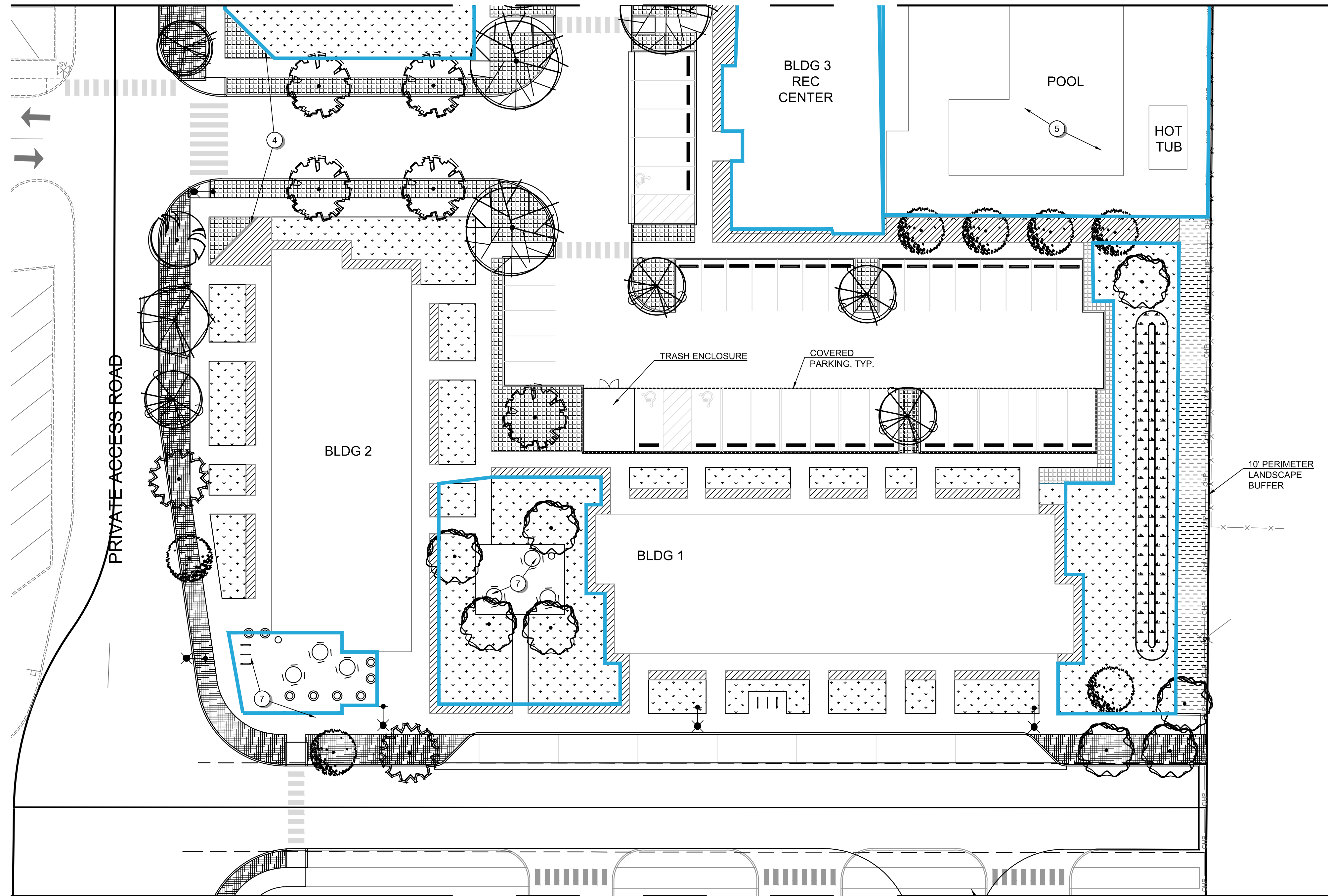
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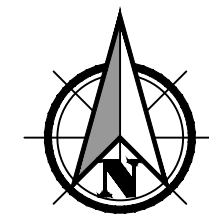


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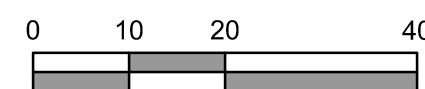


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DEVELOPMENT PHASE BOUNDARY, TYP.



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- ② DOG PARK AREA WILL INCLUDE: AN 8X8 ENTRY AREA, 42" HIGH CHAIN LINK FENCE, ENGINEERED WOOD CHIPS OR DECOMPOSED GRANITE TO A 6" DEPTH, TRASH CAN, TWO SIX-FOOT BENCHES. PROVIDE AREA DRAINAGE AND HOSE BIB.
- ③ SPORT COURT WILL BE 94' x 50' COURT WITH BASKETBALL HOOPS AT EITHER ENDS AND RETRACTABLE TENNIS NET AT MID-COURT. A GATED 10-FOOT HIGH CHAIN-LINK FENCE SURROUNDS THE SPORT COURT THAT IS A STANDARD PAINTED CONCRETE SURFACE. ONE 6-FOOT BENCH AT THE ENTRANCE OF THE COURT.
- ④ MONUMENT SIGNS, LIGHTING AND PLANTING TO BE PERMITTED AND DESIGNED AT A LATER DATE. LOCATE SIGNS OUT OF PUE AND VISION TRIANGLES.
- ⑤ SEE ARCHITECTURAL PLANS FOR OUTDOOR RECREATIONAL CENTER AREA.
- ⑥ MEMORIAL AREA.
- ⑦ PLAZA SEATING AREA WITH PLANTERS, TRASH RECEPTACLE, TABLES AND CHAIRS.
- ⑧ 30'-WIDE BUFFER AREA ADJACENT TO THE ODOT RAILS/TRAILS CONTAINS MATURE OREGON WHITE OAKS. FOLLOW ARBORIST RECOMMENDATIONS REGARDING PRUNING, CLEARING OF SHRUBBERY AND/OR GRADING NEAR THE DRIPLINE OF THE TREES.
- ⑨ NO TREES SHALL BE PLANTED WITHIN THE EXISTING STORM DRAINAGE EASEMENTS ON THE NORTH AND EAST.

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**PLANTING PLAN FOR:**  
**CORNELIUS MULTIFAMILY LAND PARTITION**  
 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



Know what's below.  
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REGISTERED  
 682  
 PRELIMINARY  
 REBECCA J WAHLSTROM  
 OREGON  
 11-30-2022  
 LANDSCAPE ARCHITECT

DESIGNED:  
 OAG  
 CHECKED:  
 BRPW  
 MAY 20, 2022  
 74217.000

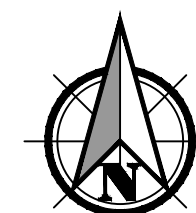
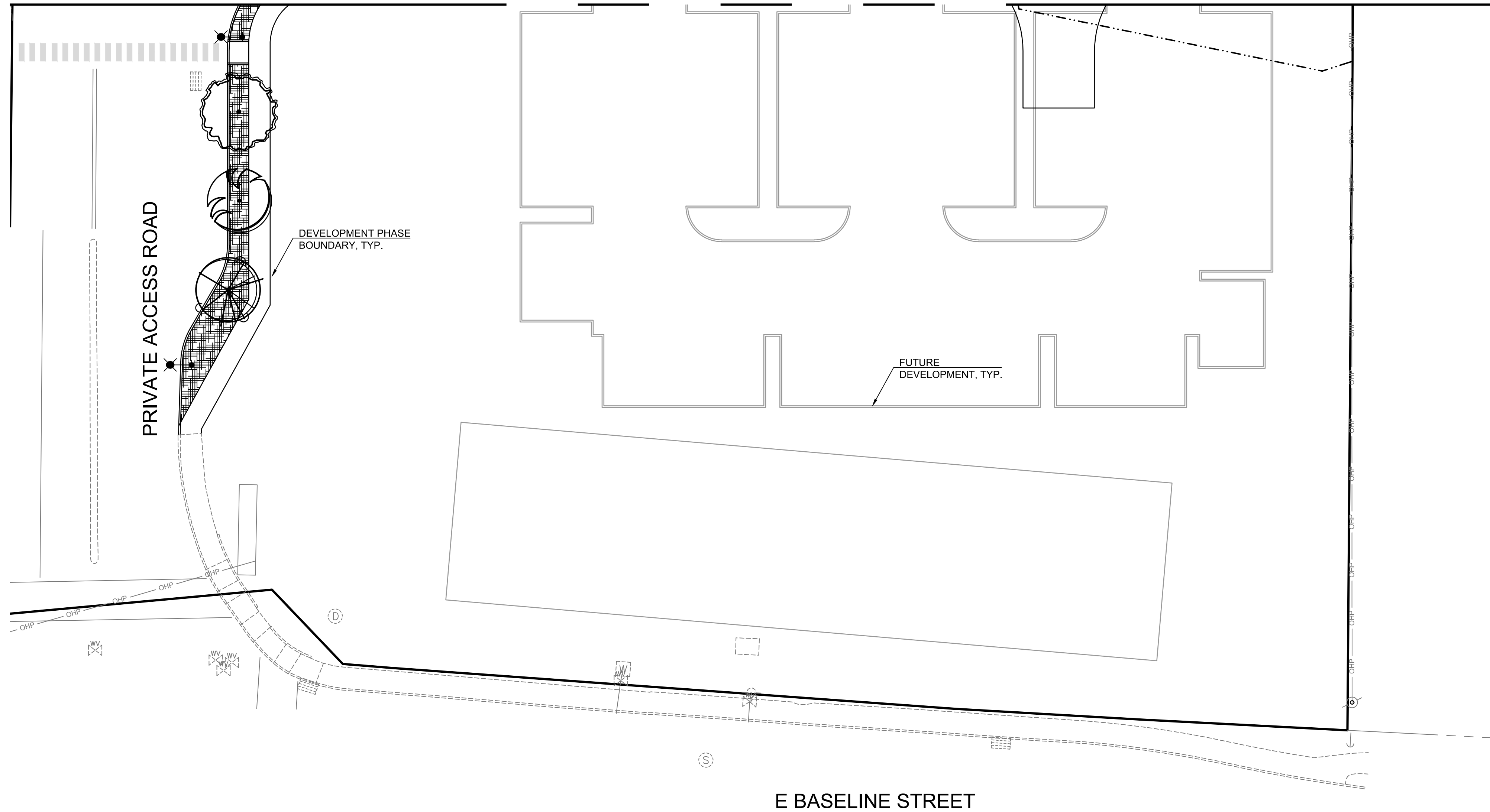
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SHEET 34 OF 37

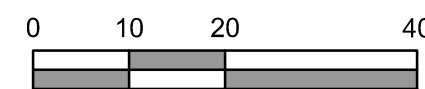
**PRELIMINARY**



MATCHLINE - SEE SHEET L107 FOR CONTINUATION



Scale 1" = 20'



**GENERAL SHEET NOTES:**

1. SEE SHEET C003 FOR PROJECT GENERAL NOTES.
2. FINISHED GRADES ADJACENT TO BUILDING IN SOFTSCAPE AREAS INCLUDE ROOM FOR FINAL LANDSCAPE LAYERS SUCH AS TOP SOIL OR MULCH. ONCE FINAL LAYERS HAVE BEEN INSTALLED THE AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING.
3. HATCHING DEPICTS PLANTING GROUPS DEFINED ON THE PLANT LEGEND. PLANTING PLAN WILL BE DETAILED DURING FINAL ENGINEERING.
4. BLUE OUTLINE AROUND LANDSCAPE AREAS DENOTE AREAS COUNTED AS OPEN SPACE.

**LANDSCAPE PLAN DETAIL KEYNOTES:**

- ① OUTDOOR GATHERING AREA FURNISHINGS AND MATERIALS WILL RESPOND TO MATERIALS USED ON THE BUILDING AND BE COHESIVE THROUGHOUT THE SITE.
- ② DOG PARK AREA WILL INCLUDE: AN 8X8 ENTRY AREA, 42" HIGH CHAIN LINK FENCE, ENGINEERED WOOD CHIPS OR DECOMPOSED GRANITE TO A 6" DEPTH, TRASH CAN, TWO SIX-FOOT BENCHES. PROVIDE AREA DRAINAGE AND HOSE BIB.
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 A SITE LOCATED IN THE CITY OF CORNELIUS, OREGON



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CHECKED:  
RJPW

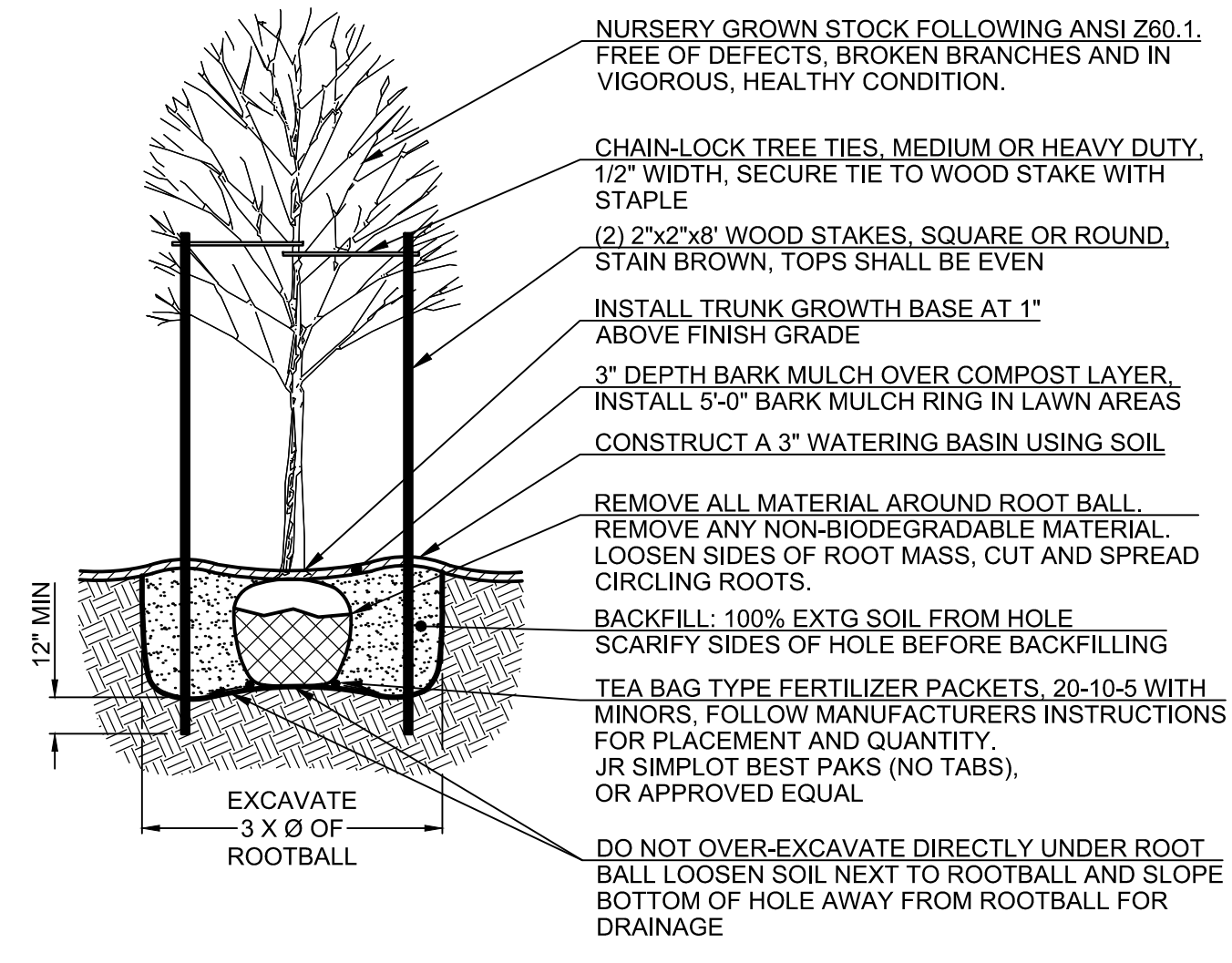
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**L108**

SHEET **35** OF **37**

**PRELIMINARY**

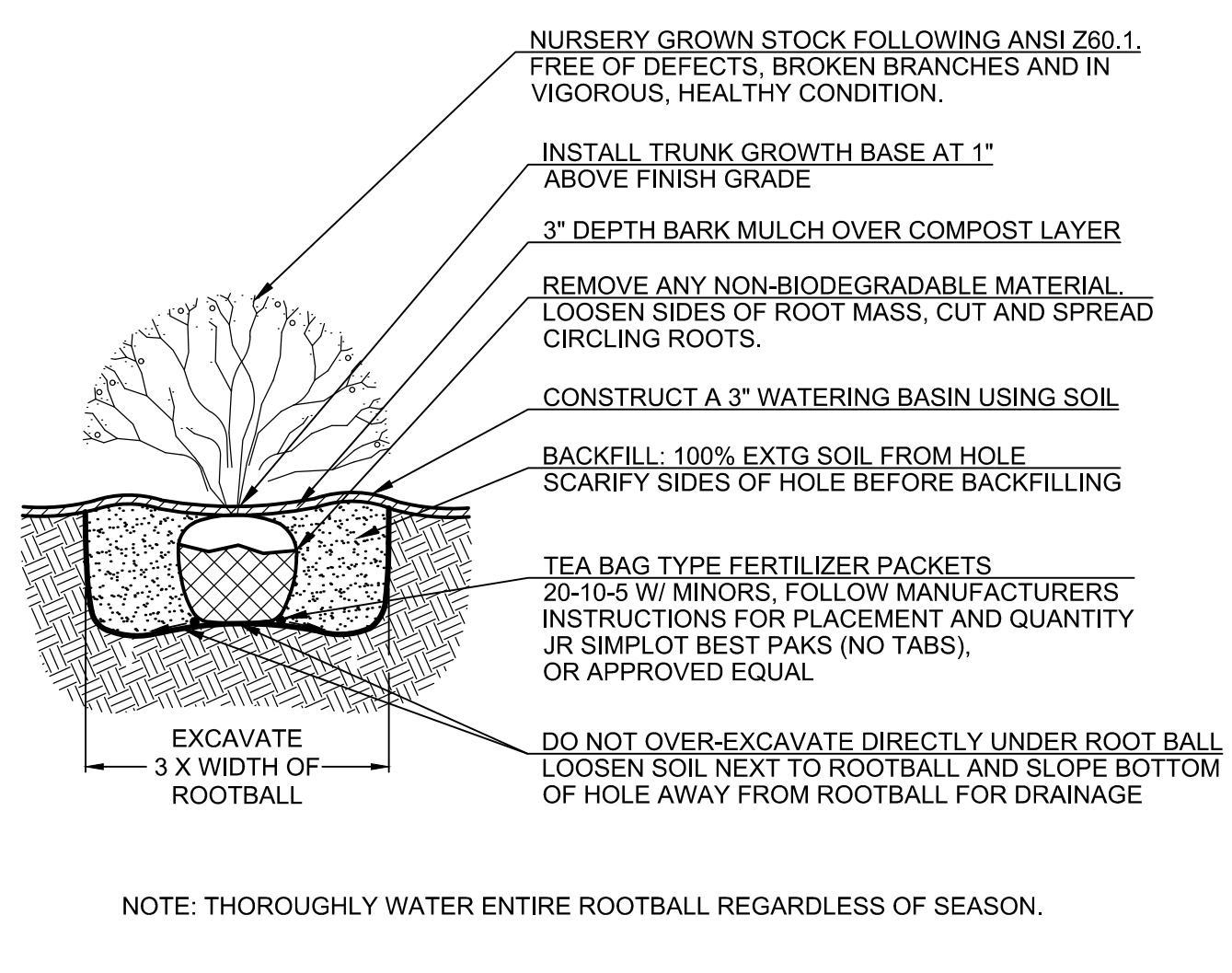




NOTE: THOROUGHLY WATER ROOTBALL REGARDLESS OF SEASON

**Broadleaf Tree Planting Detail - Staked**

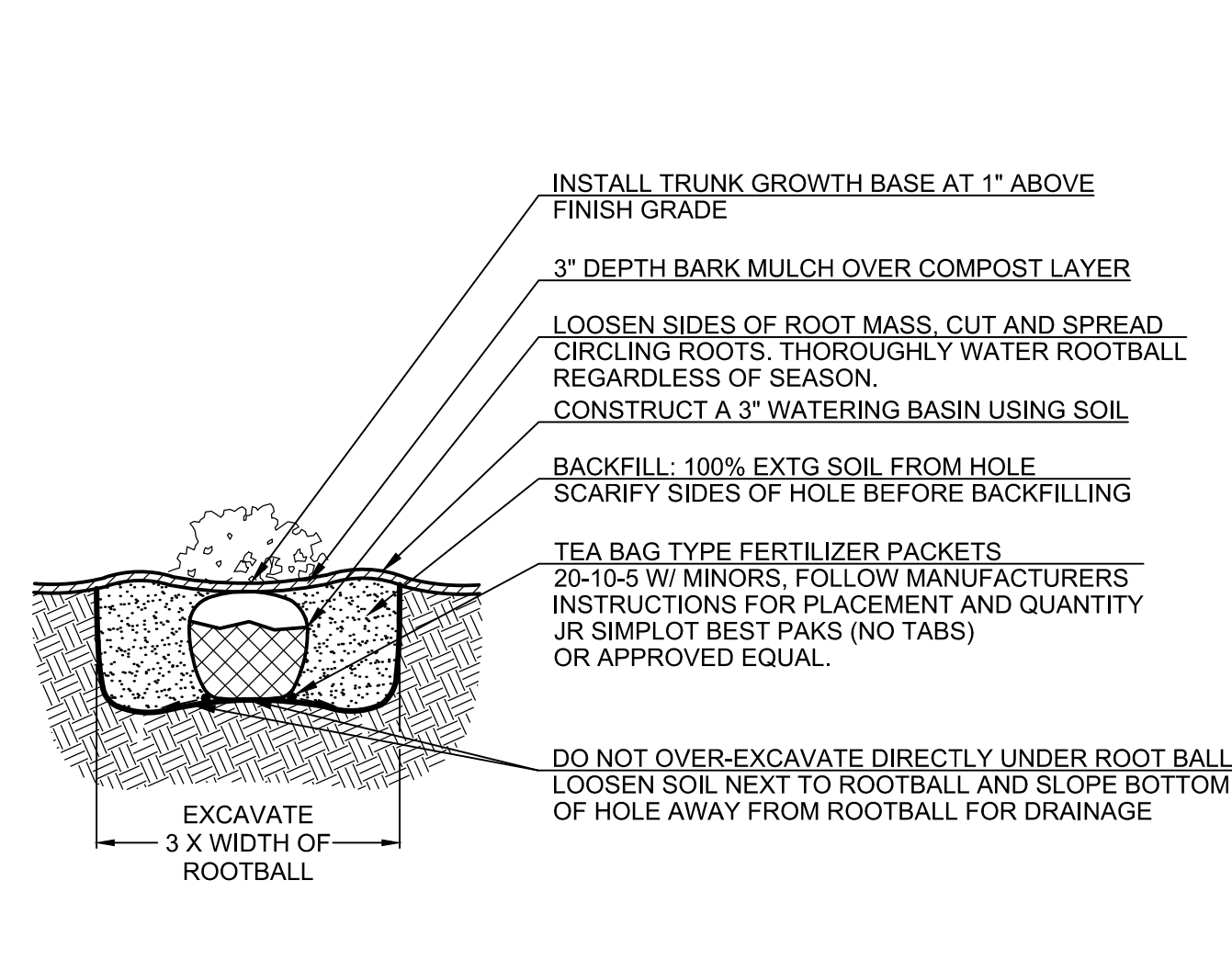
NOT TO SCALE



NOTE: THOROUGHLY WATER ENTIRE ROOTBALL REGARDLESS OF SEASON.

**Shrub Container Planting Detail**

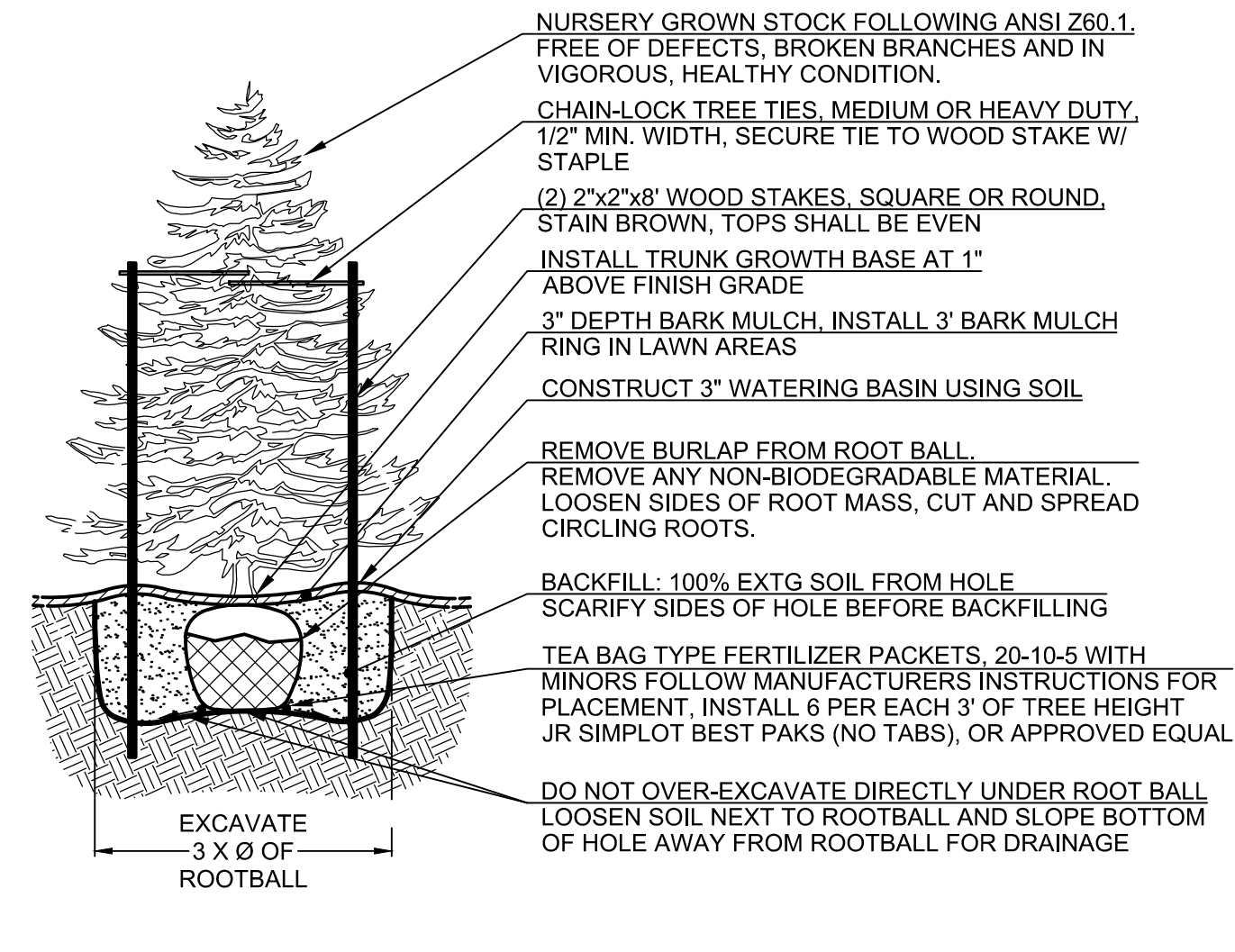
NOT TO SCALE



NOTE: THOROUGHLY WATER ROOTBALL REGARDLESS OF SEASON

**Groundcover Planting Detail**

NOT TO SCALE



NOTE: THOROUGHLY WATER ROOTBALL REGARDLESS OF SEASON

**Coniferous Tree Planting Detail - Staked**

NOT TO SCALE

**UB 18-2 Specifications**

Specified root barriers are a mechanical barrier or root deflector to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

**A. Materials**

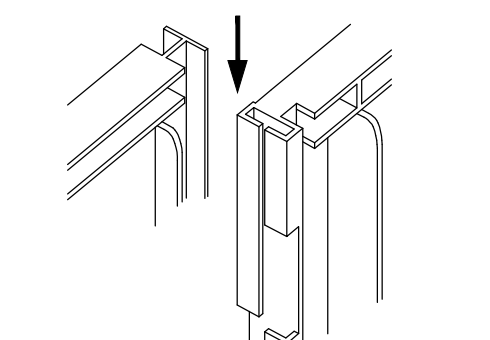
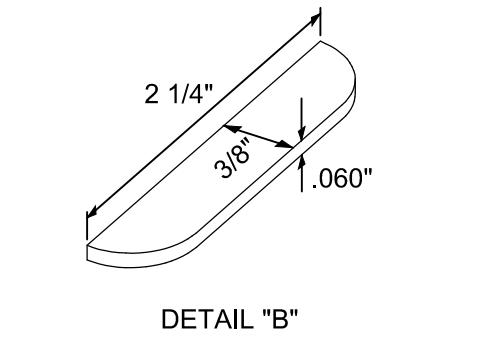
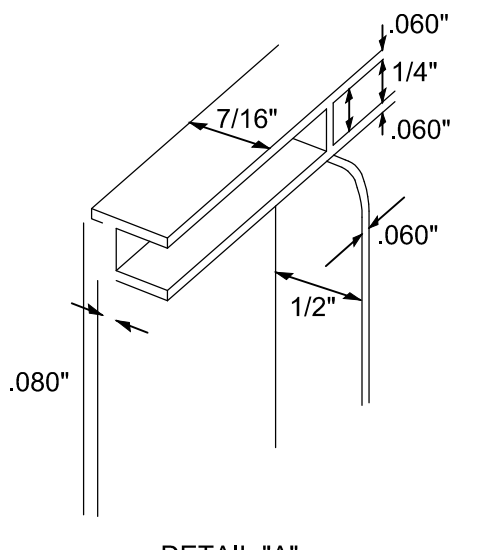
The tree root barriers shall be produce #UB 18-2 as manufactured by Deep Root Partners, L.P. or approved equal. The barrier shall be recyclable, black, injection molded panels of .075" wall thickness in modules 24" long by 18" deep; manufactured with a minimum 75% reprocessed polypropylene plastic with added ultraviolet inhibitors.

Root barrier shall be comprised of 24" (609 mm) panels. Each panel shall have no less than four (4) Molded Integral Vertical Root Directing Ribs of a minimum 0.060" thickness, protruding 1/2" at 90° from interior of the barrier panel, spaced 6" apart. (See Details A & D).

Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.060" thickness, 3/8" (9.53 mm) wide and 1/4" apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).

Root barrier shall have a minimum of nine (9) Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.060" thickness in the shape of a segment of a circle, the 2-1/4" chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (See Details B & D).

An integrated zipper joining system providing for instant assembly by sliding one panel into another (Detail "C").



**2. The basic properties of the material shall be:**

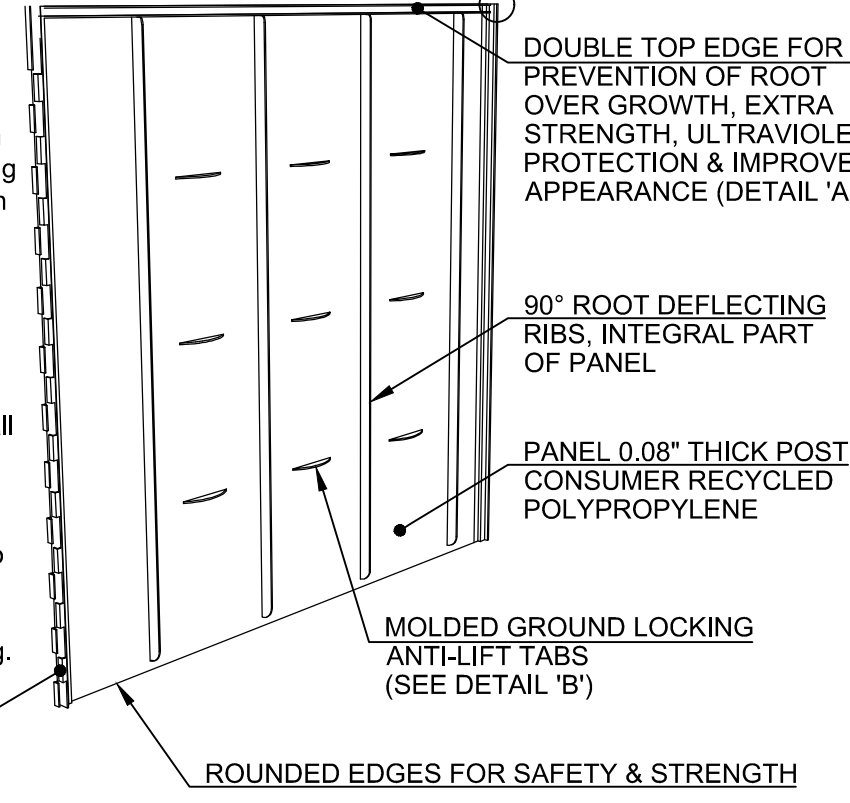
Test	ASTM Test Method	Typical Value Polypropylene
Tensile strength @ yield - Wall	D638	2,354 PSI
Tensile strength @ yield - Hinge	D638	2,354 PSI
Yield Elongation - Wall	D638	7.44%
Yield Elongation - Hinge	D638	7.01%
Flexural Modulus	D790B	119,625 PSI
Notched Izod Impact - Wall	D256A	3.84 (ft-lbs)
Rockwell Hard. r. scale - Wall	D785A	84.4

**B. Construction and Installation**

**1. The contractor shall install the tree root barriers with the number of panels and in the manner shown on the plans. The vertical root deflecting ribs shall be 1/2" above grade. Each of the required number of panels shall be connected to form a circle around the rootball or joined in a linear fashion and placed along the adjacent hardscape.**

**2. Excavation and soil preparation shall conform to the plans.**

**3. The tree root barrier shall be backfilled on the outside with 3/4" to 1-1/2" gravel or crushed rock as shown on the plans. No gravel backfill is required for linear planting.**



**18" Root Barrier**

NOT TO SCALE

**Linear Style Planting with Root Barriers**

Determine the number of panels to be used.

A. Dig the trench to the depth based upon the particular barrier.

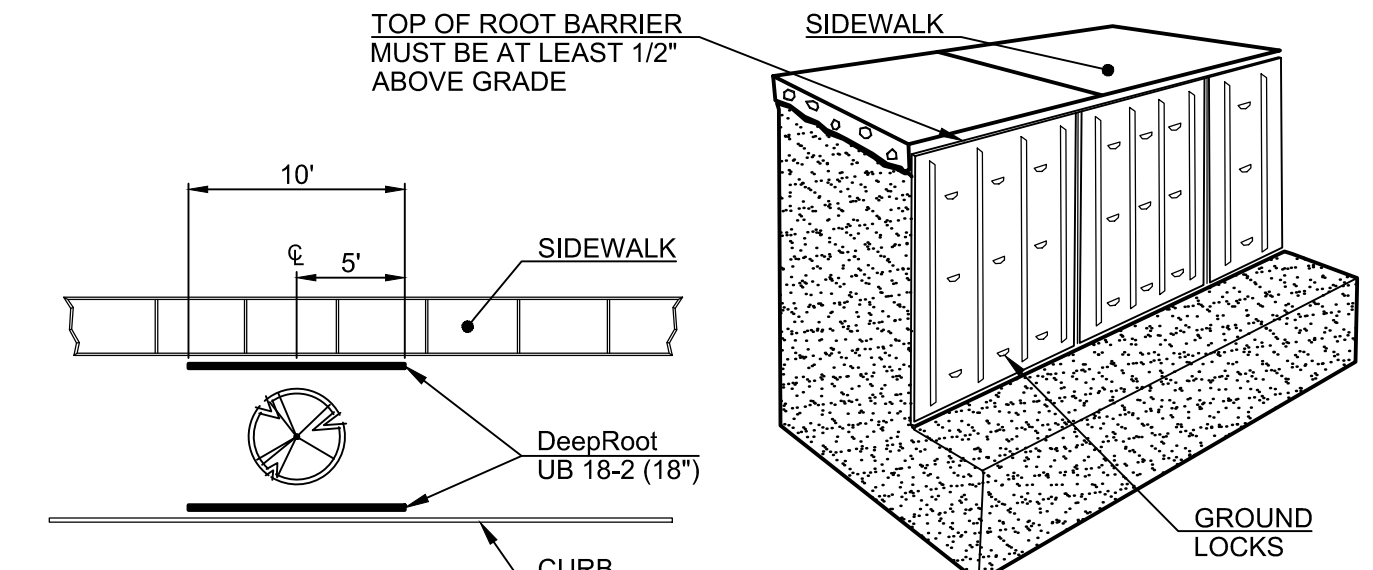
B. Next place the barrier in the trench with the vertical ribs facing toward the tree and align in a straight fashion. It is helpful to place the barrier against the hardscape. Use the hardscape as a guide to backfill against the barrier to promote a clean, smooth fit to the hardscape. Be sure to keep the barrier's double top edge at least 1/2" above grade to ensure roots do not grow over the top.

C. Plant the tree(s). The linear style offers a more expansive root growth area, however, adverse soil and drainage conditions may exist in the actual planting area.

Take steps to ensure healthy growth of the tree at planting. Consult with a local Arborist for planting tips and recommendations.

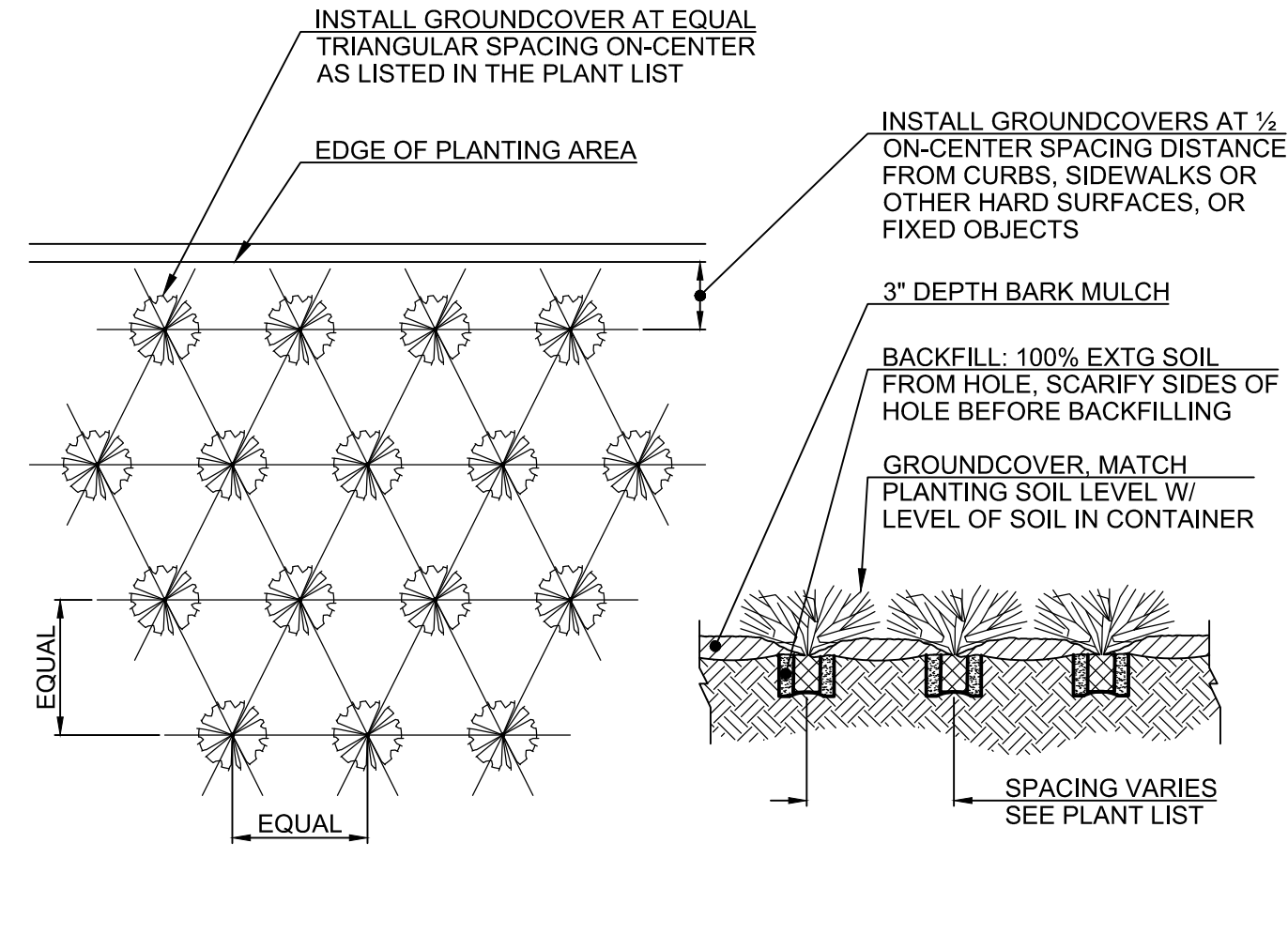
Install root barriers at all trees when the tree is within 8' of hardscape on any side.

Trees do require care and nurturing after planting. Consult with your local supplier for proper care procedures for the species you are planting. The planting instructions given here are by no means a comprehensive guide. Rather they are general guide lines to planting with Root Barriers and a survey of current planting methods. Conditions will vary however, and it is recommended that an Arborist be consulted before planting.



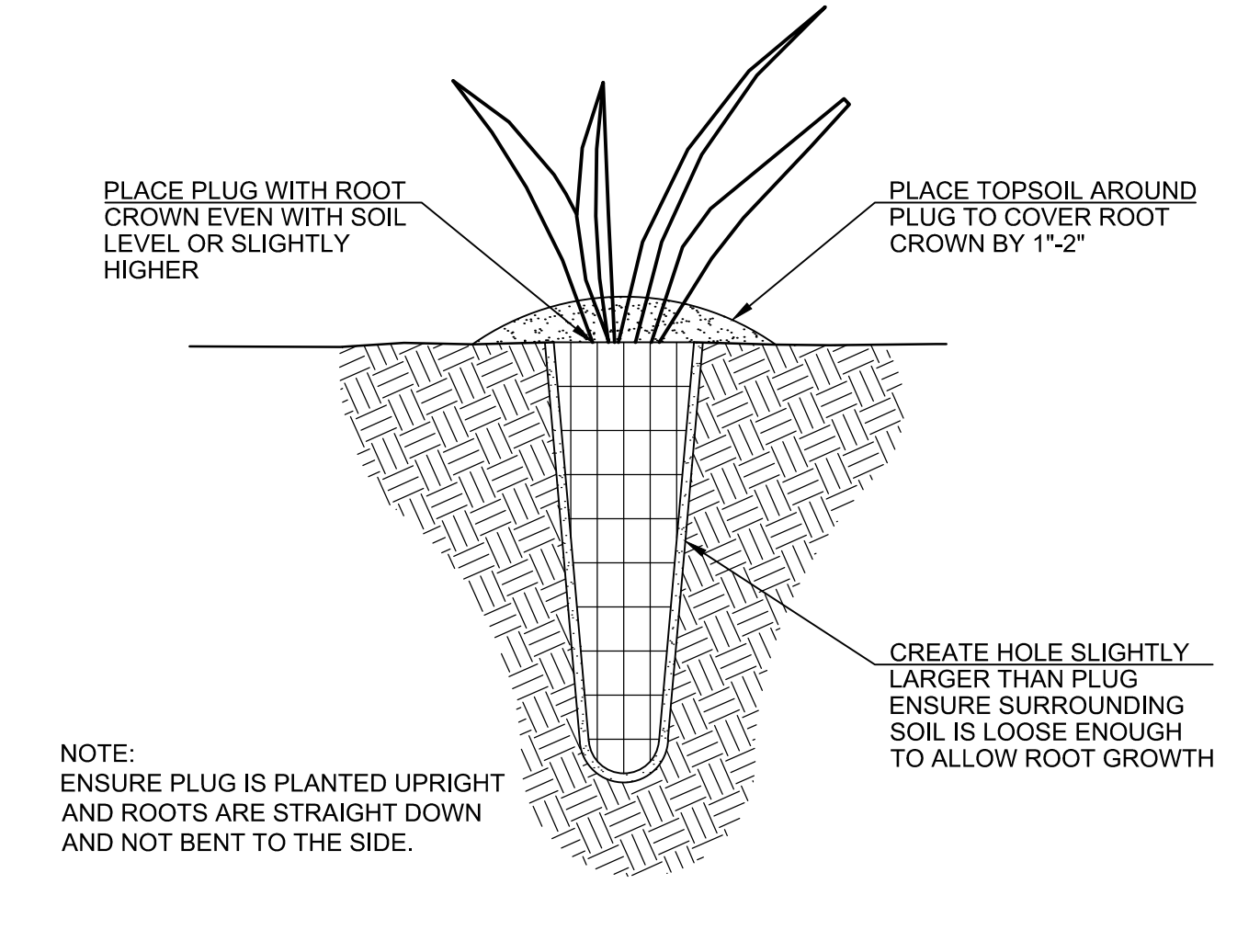
**Linear Root Barrier Installation**

NOT TO SCALE



**Planting Spacing Detail**

NOT TO SCALE



**Plug Planting Detail**

NOT TO SCALE

**TREE PLANTING—CONTAINER/ BURLAPPED**

1" ABOVE FINISHED GRADE

MULCH NO CLOSER THAN 1" FROM TRUNK

3" WATERING BERM

3"-4" COMPOSTED MULCH

ROOTBALL

LOOSEN AND MIX ORIGINAL SOIL WITH SHOVEL

SUBGRADE

3 X DIA OF ROOTBALL

NOTE: IF TREE IS CONTAINER GROWN STOCK, BREAK ROOT BALL APART BEFORE PLACING IN PLANTING HOLE. IF PLANT IS ROOT BOUND MAKE A VERTICAL CUT THROUGH THE LOWER 1/4 OF THE SOIL MASS, PULL OUT AND STRAIGHTEN LARGE, CIRCLING ROOTS.

CleanWater Services

**CONSTRUCTION**

- Water Quality Swale shall be over-excavated and filled to final grade with 12-inch amended topsoil. Topsoil amendments shall be garden compost, not conventional fertilizer amendments.
- A biodegradable Erosion Control Matting shall be placed over the topsoil throughout the swale cross section, fabric shall be held in place in accordance with the manufacturer's installation requirements. Anchor spacing shall be based on 3 fps flow over the fabric.
  - Treatment area - high-density jute matting (Geojute Plus or other approved equal)
  - All other areas - low-density jute matting (Ecojute or other approved equal)
- 2.5-3 inches of 2"-3" river run rock shall be placed over the matting evenly throughout the length and width of the swale.
- Plant materials shall be placed in accordance with the plan and plant table as shown on approved plans.
- The water quality swale treatment area plantings can be deemed "substantially complete" once active green growth has occurred to an average growth of 3" and plant density is an average of approx. 6 plants (minimum 1-inch plugs or equivalent) per square foot.
- The facility shall be deemed acceptable to begin the maintenance period when plant growth and density matches the engineer's design as shown on the approved plans and all other requirements have been met. The engineer must certify the facility to be functional, in accordance with the approved plan design to begin the two-year maintenance period.

**MAINTENANCE**

- The permittee is responsible for the maintenance of this facility for a minimum of two years following construction and acceptance of this facility per Chapter 2.
- Irrigation is to be provided per separate irrigation plan as approved.
 

Note: Irrigation needs are to be met using a temporary irrigation system with a timer during the dry season. Systems should be winterized during the wet season to assure longevity and guard against damage from freezing temperatures. Water source shall be as shown on the approved plans.
- Engineer or Owners Representative is to visit and evaluate the site a minimum of twice annually (Spring and Fall). The landscaping shall be evaluated and replanted as necessary to ensure a minimum of 80% survival rate of the required vegetation and 90% aerial coverage. Non-native, invasive plant species shall be removed when occupying more than 20% of the site.
- The facility shall be re-excavated and planted if situation greater than 3 inches in depth occurs within the two-year maintenance period.

WATER QUALITY SWALE CONSTRUCTION & MAINTENANCE NOTES

CleanWater Services

APPROVED MATTING

12" MIN. TOPSOIL

SWALE BOTTOM 2' MIN.

1' MIN.

5' MAX. SLOPE

AREA	MINIMUM WIDTH	VEGETATION	EROSION CONTROL	APPROVED BY
FREEBOARD AREA	2'-0"	COCONUTS OR GEOTEUTE PLUS+	SEE NOTE #5	DISTRICT OR CITY
TREATMENT AREA	2'-0" - 3' DEEP	RIVER ROCK 2" - 3"	SEE NOTE #5	DISTRICT OR CITY
FREEBOARD AREA	MINIMUM WIDTH	COCONUTS OR GEOTEUTE PLUS+	SEE NOTE #5	DISTRICT OR CITY
SWALE AREA	MINIMUM WIDTH	COCONUTS OR GEOTEUTE PLUS+	SEE NOTE #5	DISTRICT OR CITY

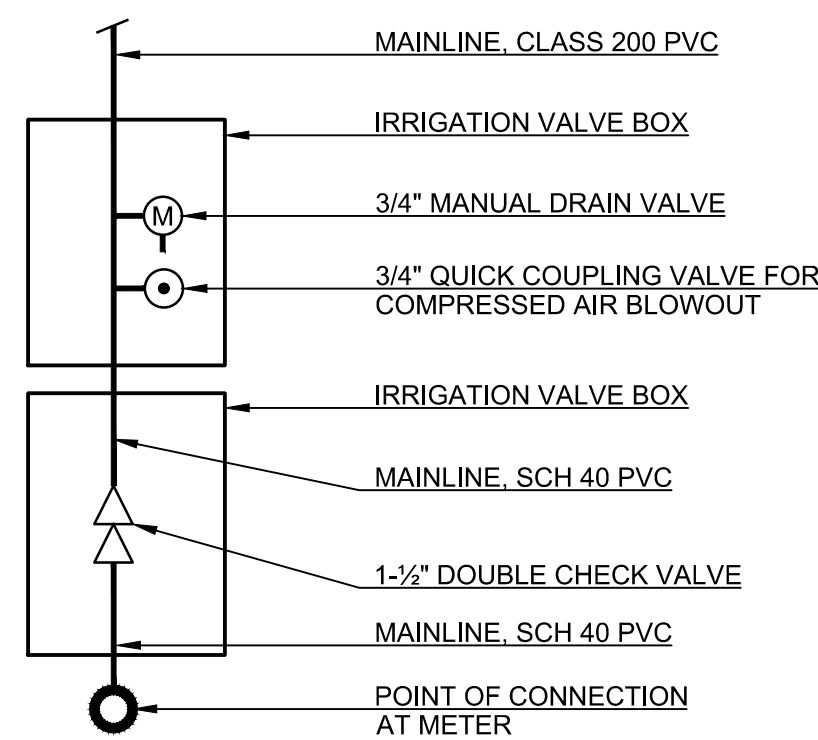
NOTES: 1. PERMITTEE TO PROVIDE A ONE DESIGN & CONSTRUCTION STANDARD FOR LANDSCAPING REQUIREMENTS INCLUDING TREE PLACEMENT, TOPSOIL AND PLANTING SPECIFICATIONS. 2. ALL MATTING - GEOTEUTE PLUS IN TREATMENT AREA, EROSION CONTROL FOR ALL OTHER AREAS, OR SIMILAR. 3. 12-INCHES OF TOPSOIL SHALL BE PLACED THROUGHOUT THE WATER QUALITY TRACT. 4. 12-INCHES OF TOPSOIL SHALL BE PLACED THROUGHOUT THE WATER QUALITY TRACT. 5. EROSION CONTROL MATTING SHALL BE APPLIED AT A RATE OF 1500 / ACRE.

WATER QUALITY SWALE

CleanWater Services

**PRELIMINARY**

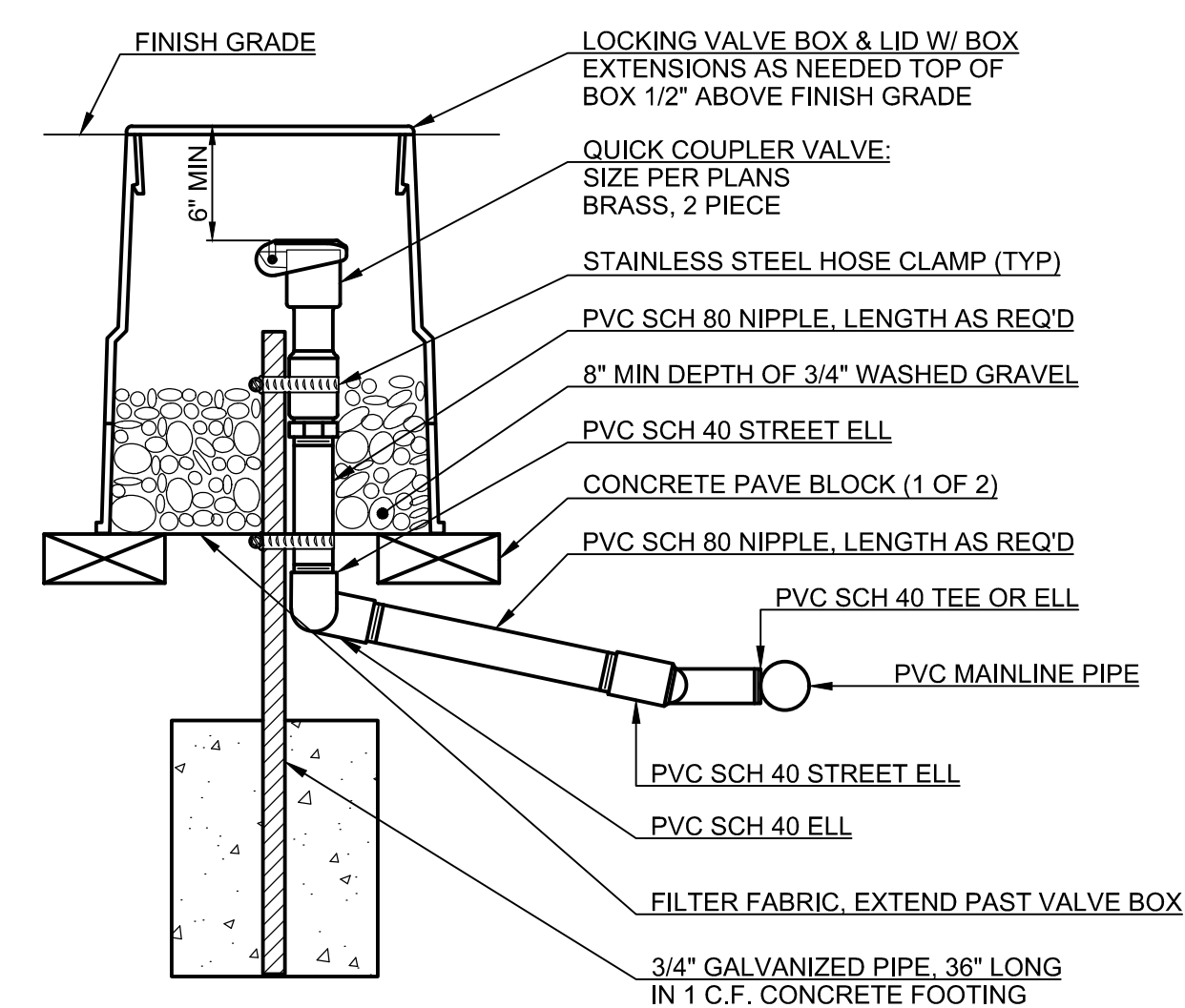




NOTES:  
 1. DOUBLE CHECK VALVE MUST BE ON THE WASHINGTON STATE APPROVED LIST.  
 2. INSTALLATION AND COMPONENTS SHALL FOLLOW JURISDICTION'S STANDARD PLANS.

**Point of Connection**

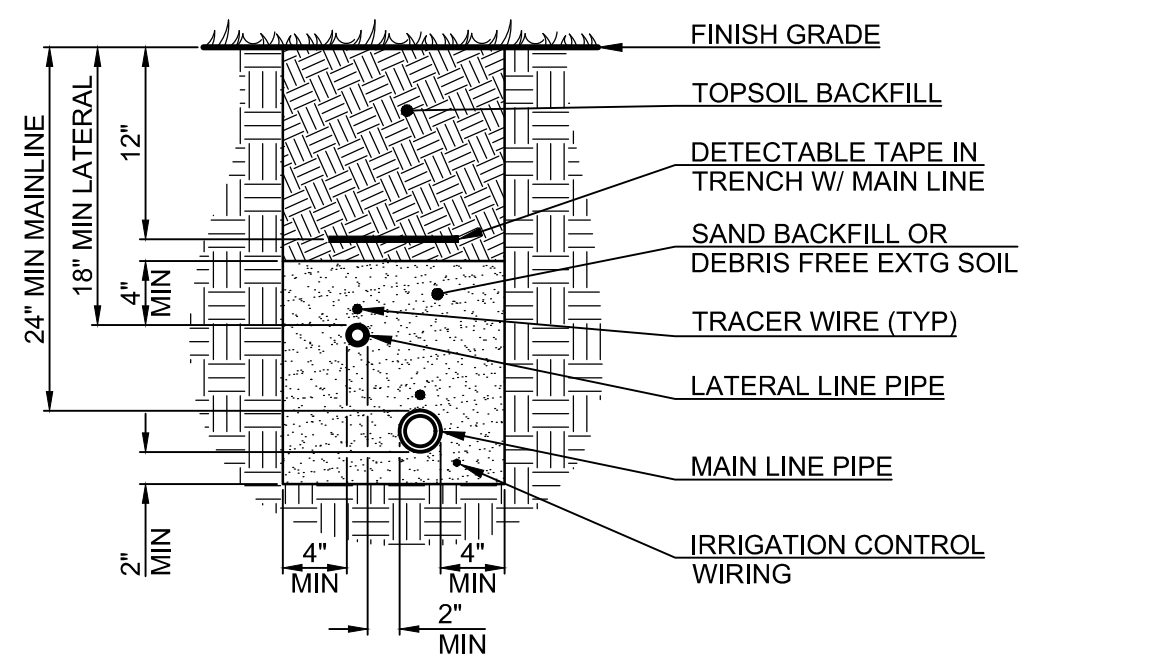
NOT TO SCALE



NOTE: FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE

**Quick Coupling Valve**

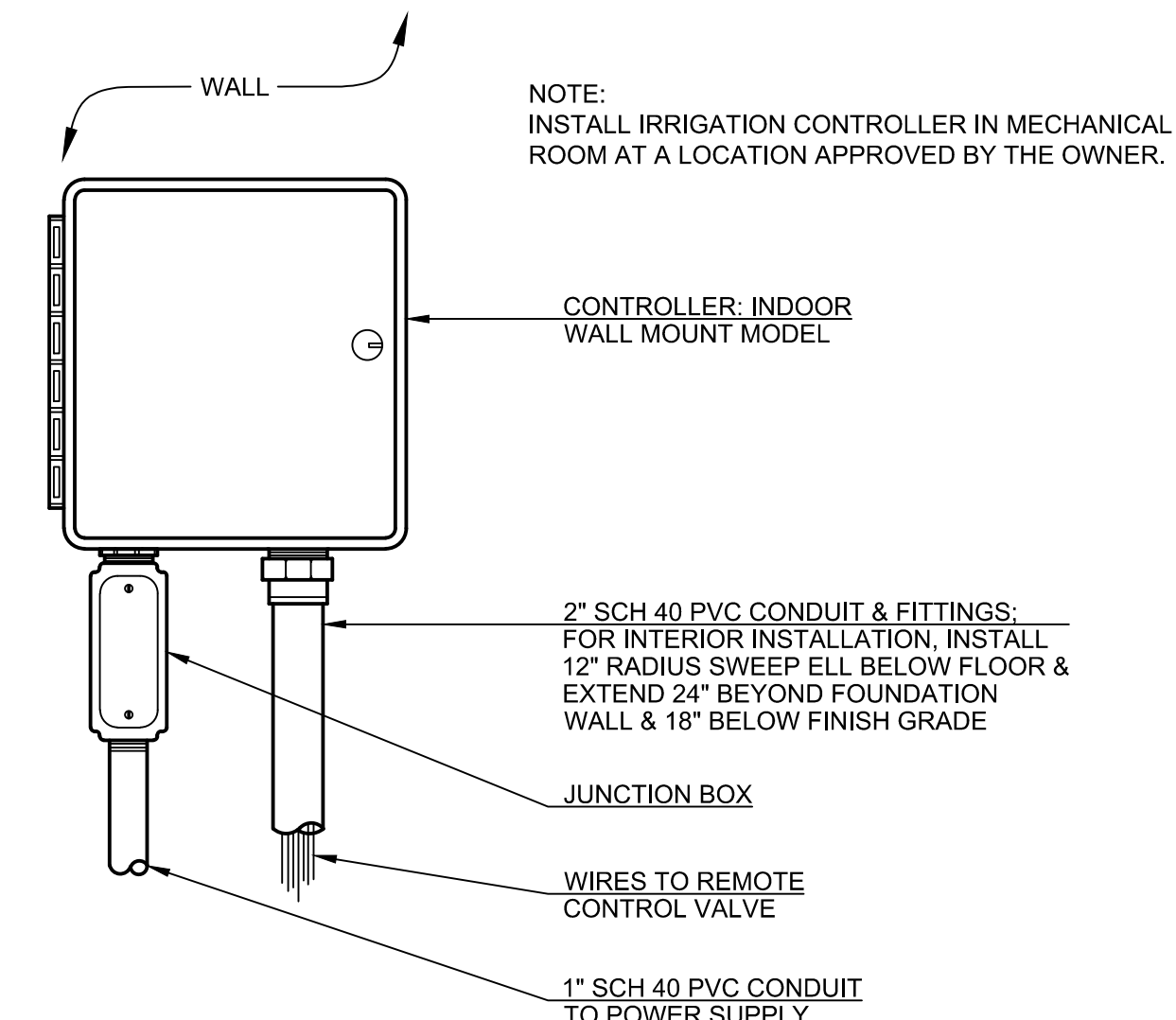
NOT TO SCALE



NOTES:  
 1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH 40 PIPE.  
 2. FOR PIPE AND WIRE BURIAL DEPTHS SEE SPECIFICATIONS.  
 3. PROVIDE 48" COIL OF TRACER WIRE IN EACH VALVE BOX.

**Trench Detail**

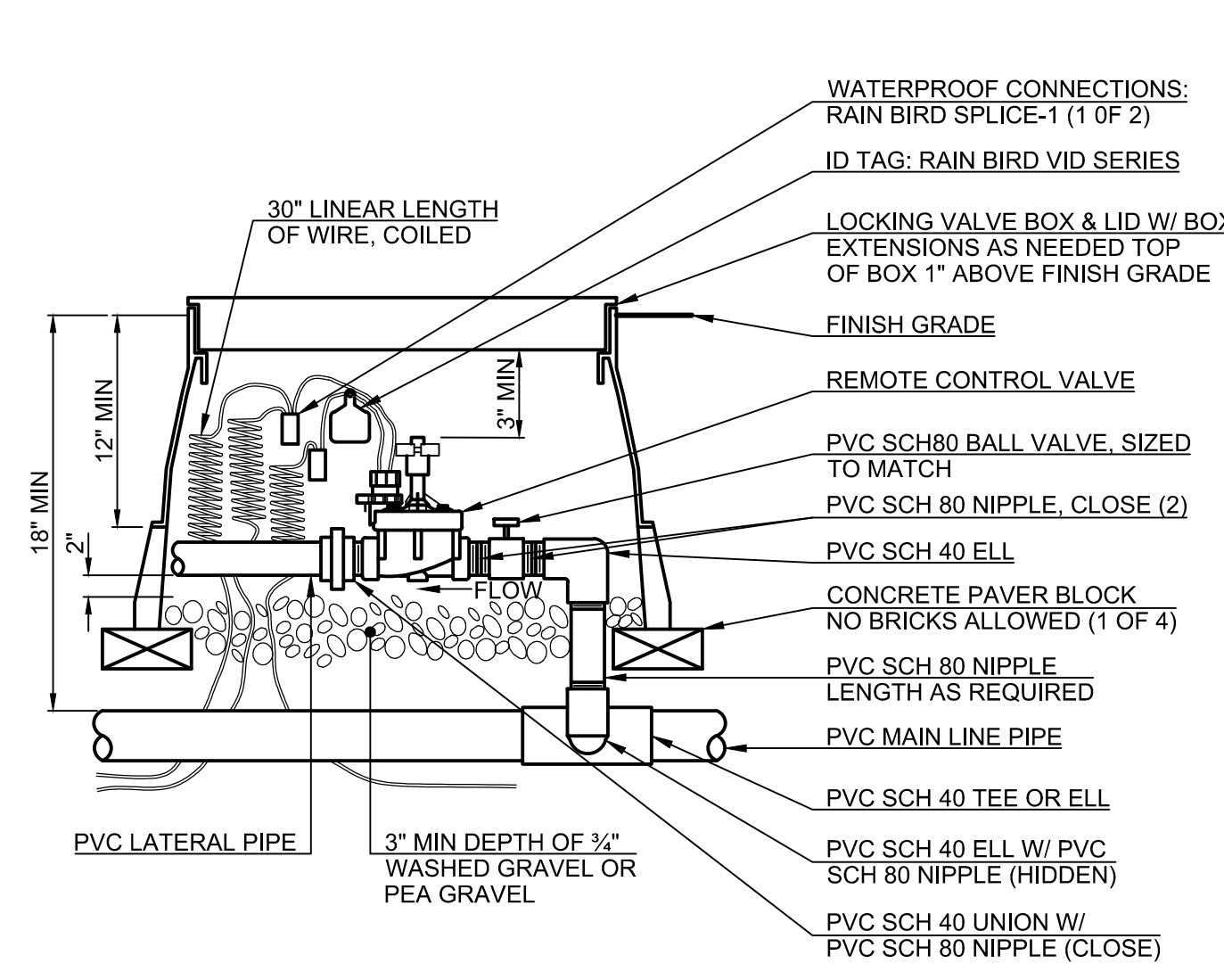
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NOTE:  
 INSTALL IRRIGATION CONTROLLER IN MECHANICAL ROOM AT A LOCATION APPROVED BY THE OWNER.

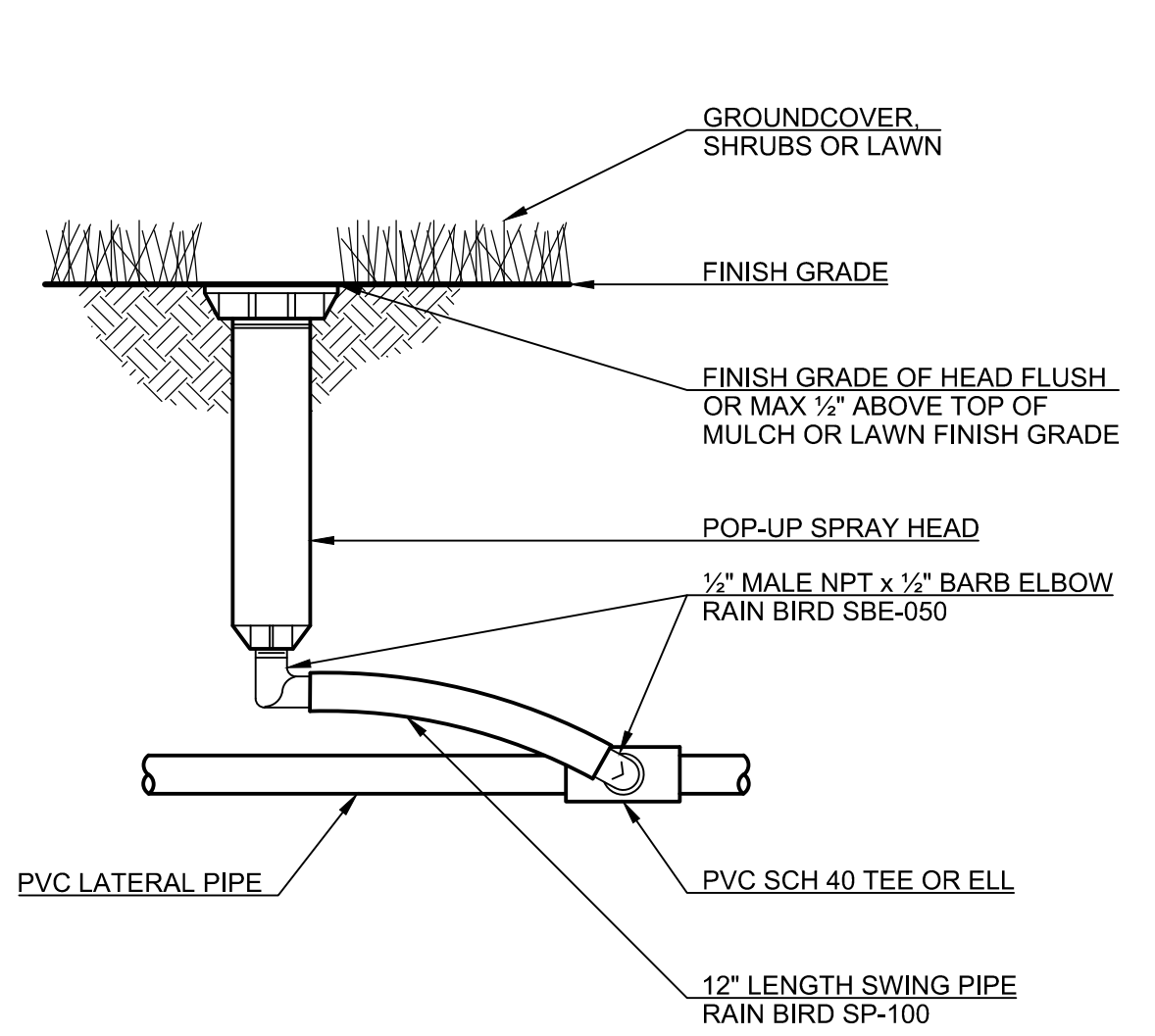
**Controller**

NOT TO SCALE



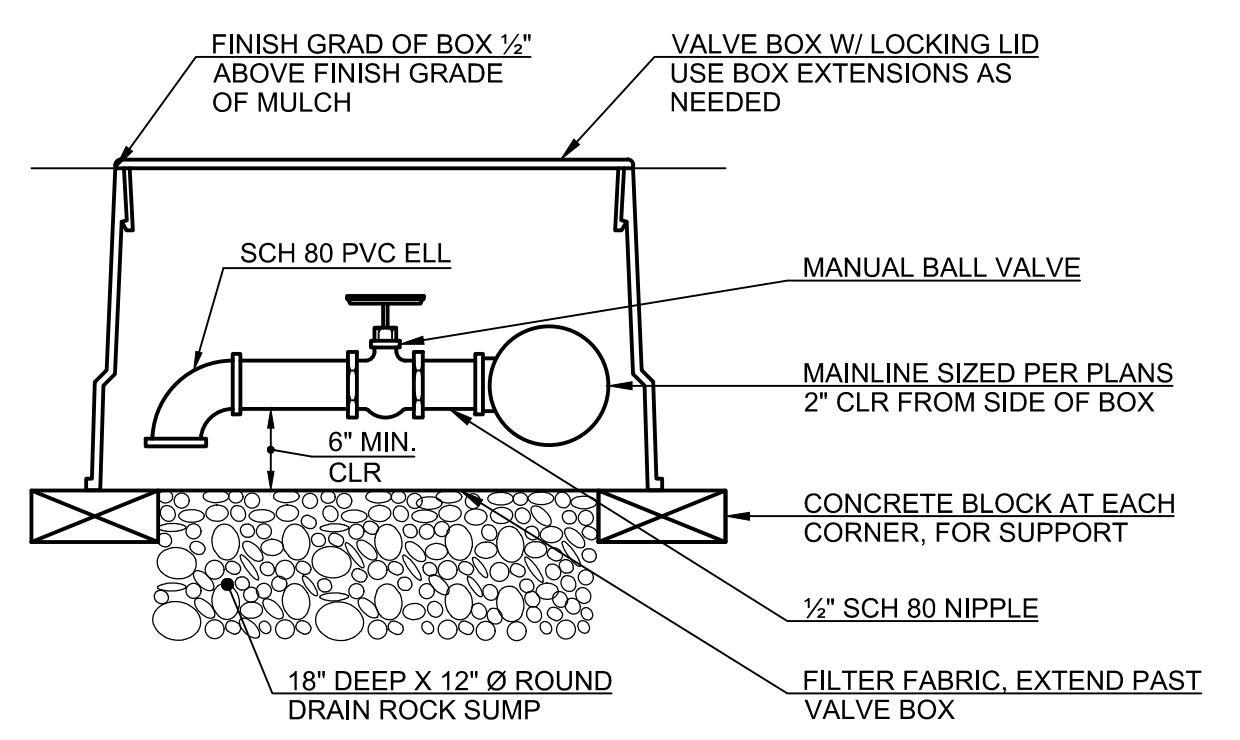
**Remote Control Valve**

NOT TO SCALE



**Pop-up Spray Head w/ Swing Pipe**

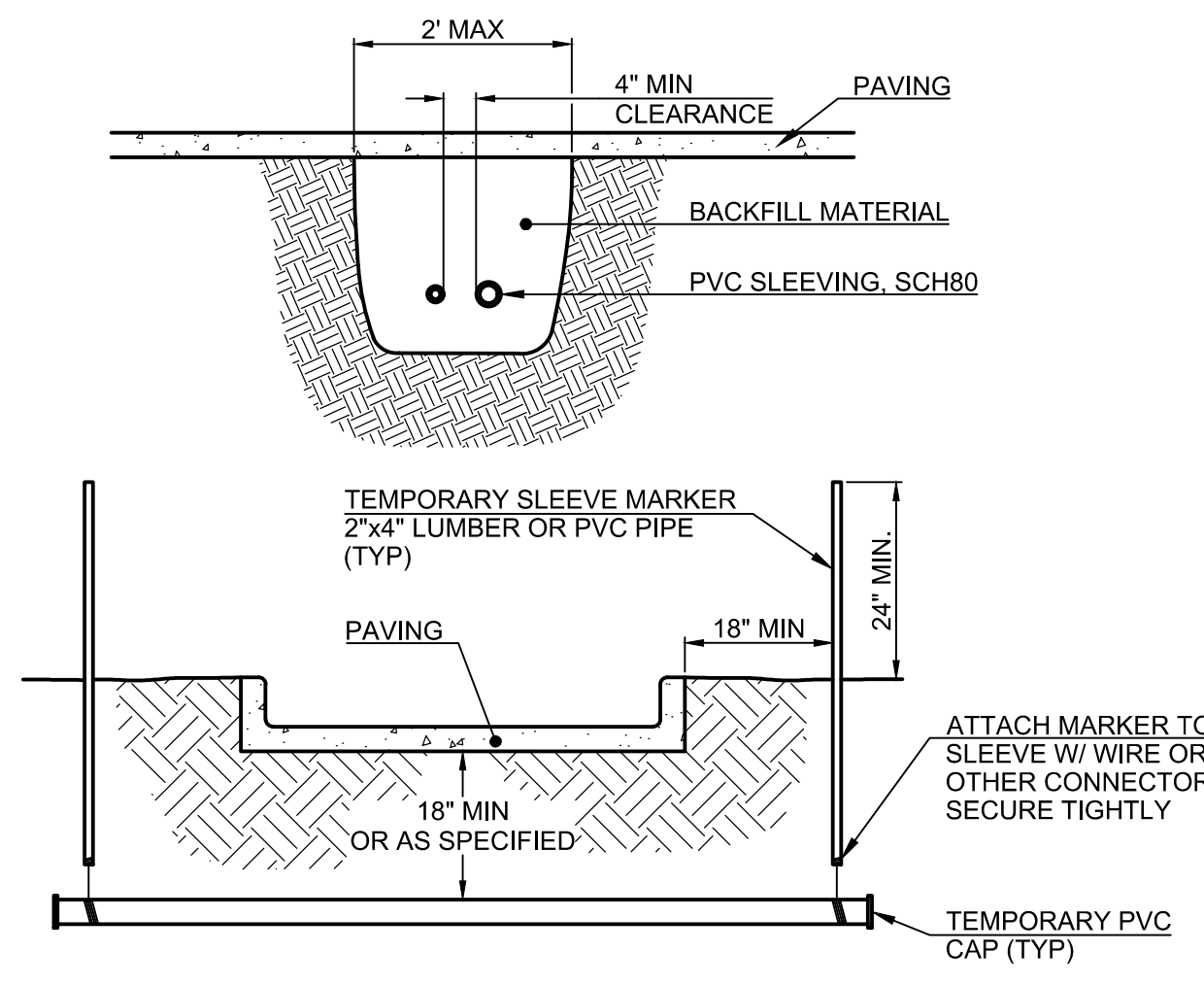
NOT TO SCALE



NOTES:  
 LOCATE VALVE AT POINT OF CONNECTION AND LOWEST POINTS ALONG MAINLINE PIPE AND AS SHOWN IN THE PLANS.

**Manual Drain Valve**

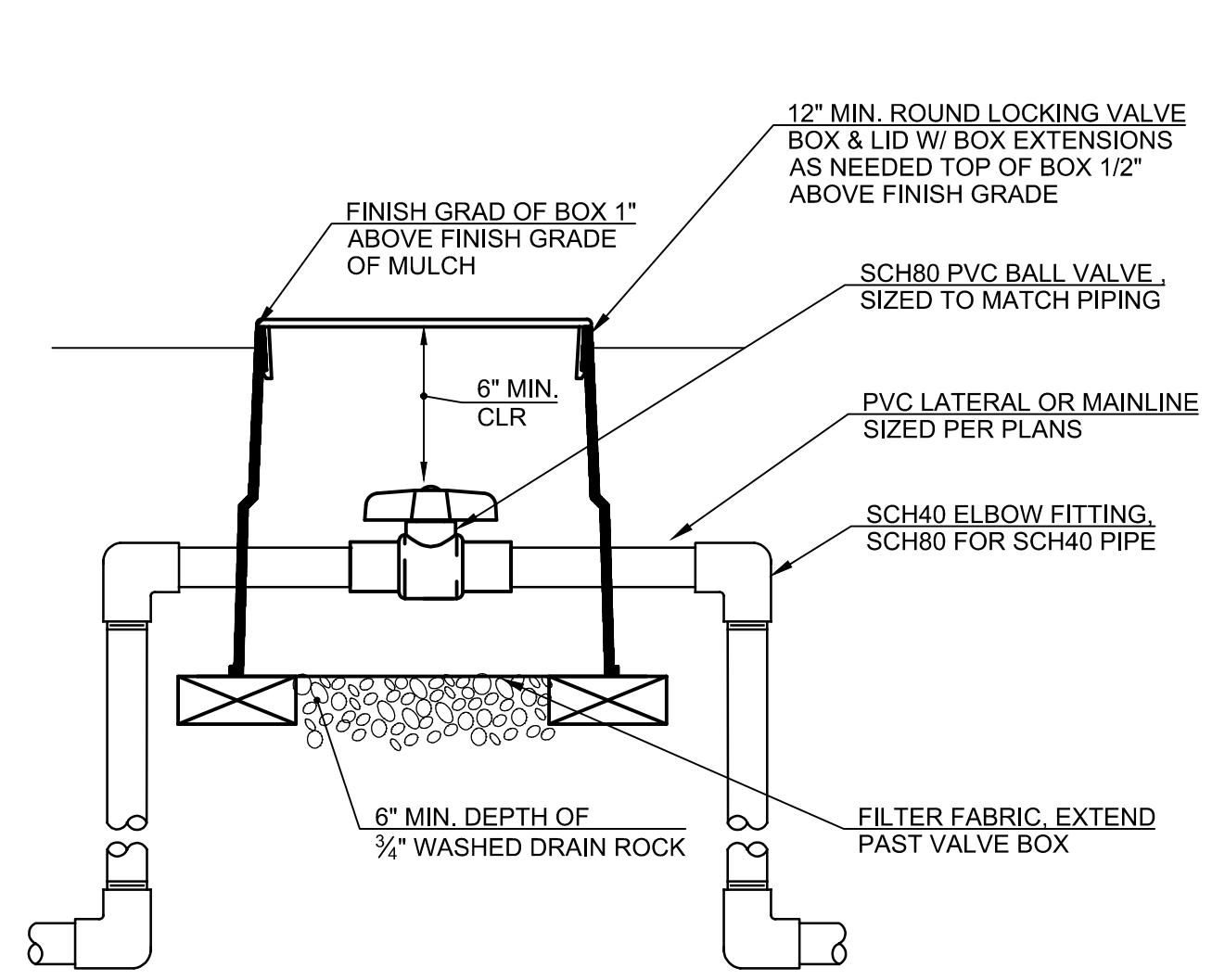
NOT TO SCALE



NOTES:  
 1. ALL PVC IRRIGATION SLEEVES TO BE SCHEDULE 40 PVC PIPE.  
 2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.  
 3. MECHANICALLY TAMP TO 95% PROCTOR.

**Sleeving**

NOT TO SCALE



**Ball Valve**

NOT TO SCALE

**IRRIGATION DESIGN BUILD NOTES:**  
 CONTRACTOR SHALL PROVIDE IRRIGATION THROUGH DESIGN BUILD BY AN AUTOMATIC UNDERGROUND SYSTEM CAPABLE OF PROVIDING ADEQUATE WATER TO PLANTING THROUGHOUT THE YEAR.

CONTRACTOR SHALL SUBMIT THE FOLLOWING DATA TO THE LANDSCAPE ARCHITECT PRIOR TO START OF WORK:

- CONTRACTOR SHALL SUBMIT ALL PRODUCTS TO BE INSTALLED IN THIS SYSTEM. PRODUCT DATA SHALL INCLUDE THE MANUFACTURER'S NAME, CATALOG NUMBER, TECHNICAL DATA, AND MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION. ALL IRRIGATION COMPONENTS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO START OF INSTALLATION.
- CONTRACTOR SHALL SUBMIT AN IRRIGATION PLAN THAT SHOWS ALL IRRIGATION SYSTEM PIPING INCLUDING LAYOUT, LOCATION, TYPE, SIZE, CAPACITIES, AND FLOW CHARACTERISTICS OF IRRIGATION SYSTEM COMPONENTS; INCLUDE WATER METERS, BACKFLOW PREVENTORS, CONTROLLER, VALVES, PIPING, DRAIN VALVES, SPRINKLERS AND DEVICES, ACCESSORIES AND WIRING.
- CONTRACTOR SHALL TEST THE EXISTING WATER PRESSURE AT POINT OF CONNECTIONS AND SUBMIT THE FINDINGS.

**IRRIGATION DESIGN/BUILD INSTALLATION NOTES:**

- LOCATE AND VERIFY ALL UTILITY LINES PRIOR TO EXCAVATION OR CONSTRUCTION. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ALL DAMAGES CAUSED AS A RESULT OF THEIR WORK.
- PIPING SHALL SHARE COMMON TRENCH WHEREVER POSSIBLE.
- IRRIGATION SLEEVES ARE SHOWN AT APPROXIMATE LOCATIONS. ALL PIPING AND CONTROL WIRING PROPOSED UNDER PAVEMENT SHALL BE INSTALLED IN 4" SCH80 PVC SLEEVING. ONE BALL VALVE SHALL BE INSTALLED EACH UPSTREAM AND DOWNSTREAM OF THE MAINLINE PIPING OF THE SLEEVE.
- LOCATE VALVES AT EDGE WITHIN PLANTING BEDS FOR EASE OF ACCESS AND MAINTENANCE WHEREVER POSSIBLE. PLANTING AND GRASS AREAS SHALL BE DESIGNED ON SEPARATE ZONES UNLESS OTHERWISE LABELED.
- ALL IRRIGATION HEADS SHALL BE LOCATED 3" OF EDGE OF PAVEMENT AND 12" POP-UP UNLESS OTHERWISE NOTED.
- ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND PROPERLY ADJUSTED TO PROVIDE ADEQUATE COVERAGE AND MINIMIZATION OF OVER SPRAY ONTO SIDEWALKS, BUILDINGS, PARKING AREAS, ETC.
- PLANTING AREAS SHALL BE SUPPLIED AT MINIMUM HEAD TO HEAD COVERAGE, GRASS AREAS SHALL BE SUPPLIED AT TRIPLE HEAD TO HEAD COVERAGE UNLESS NOTED OTHERWISE.
- LOCATE CONTROLLER AS APPROVED BY OWNER OR OWNER'S REPRESENTATIVE. COORDINATE POWER CONNECTIONS FOR CONTROLLER LOCATIONS. PROGRAM WATERING SCHEDULE TO ALLOW 1 INCH OF WATER PER WEEK DURING MONTHS OF APRIL TO SEPTEMBER.
- DURING THE MAINTENANCE OF THE PROJECT, ENSURE PROPER WINTERIZATION, INCLUDING DRAINAGE OF ALL PIPES BY COMPRESSED AIR AND SPRING START-UP INCLUDING ANY REQUIRED CERTIFICATIONS BY STATE.
- FOLLOWING COMPLETION OF INSTALLATION, THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE OWNER:

SUBMIT THREE SETS OF ALL KEYS, TOOLS, OR OTHER SPECIAL ITEMS TO ADJUST, MAINTAIN, GAIN ACCESS TO, OR OTHERWISE OPERATE THE SYSTEM TO THE OWNER.

SUBMIT AN AS-BUILT DRAWING SHOWING THE LOCATION OF ALL IRRIGATION COMPONENTS TO THE OWNER AND LANDSCAPE ARCHITECT.

**PRELIMINARY**

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 SHEET 37 OF 37

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