

Exhibit “A”

Community Development
Located at 1300 S. Kodiak Circle, Cornelius, Oregon 97113
www.ci.cornelius.or.us

OFFICIAL USE ONLY		
Date Received: <u>2/18/22</u>	Date Complete: <u>4/8/22</u>	↓ File Number ↓
Application Fee: <u>\$3,314.00</u>	Receipt Number: <u>414801</u>	<u>DR-17-22</u>

APPLICATION TYPE

Type I – administrative review without public notice

- | | | |
|--------------------------------------------------------------|-------------------------------------------------|------------------------------------------------|
| <input type="checkbox"/> Design Review I | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Administrative Relief |
| <input type="checkbox"/> Land Partition—Final Plat | <input type="checkbox"/> Subdivision—Final Plat | |
| <input type="checkbox"/> Other <i>please describe:</i> _____ | | |

Type II – administrative review with public notice

- | | | |
|--------------------------------------------------------------|----------------------------------------------------------|-------------------------------------------------------|
| <input type="checkbox"/> Design Review II | <input type="checkbox"/> Land Partition—Preliminary Plat | <input type="checkbox"/> Subdivision—Preliminary Plat |
| <input type="checkbox"/> Other <i>please describe:</i> _____ | | |

Type III – public hearing(s) required with public notice

- | | | |
|--------------------------------------------------------------|-------------------------------------------------|-------------------------------------------------------|
| <input checked="" type="checkbox"/> Design Review III | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Planned Unit Development |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Zone Map Amendment | <input type="checkbox"/> Zone Text Amendment |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> ROW/Easement Vacation | <input type="checkbox"/> Subdivision—Preliminary Plat |
| <input type="checkbox"/> Other <i>please describe:</i> _____ | | |

APPLICANT INFORMATION

Name: Greta Holmstrom / Ardor Consulting Signature: [Signature]
 Mail Address: 3296 NE 13th Pl, Hillsboro OR 97124
 Phone: 360-721-5745 Fax: _____ E-mail: gholmstrom@yahoo.com

PROPERTY OWNER INFORMATION

Name: Hybrid Heating Signature: [Signature]
 Mail Address: 230 W Baseline, Cornelius, OR 97113
 Phone: 503 357 5663 Fax: _____ E-mail: Kevin@hybridhc.com

SUBJECT SITE INFORMATION

Property Address: 230 Baseline Rd
 Map & Tax Lot Number(s): 1N333CC02900
 Current Zoning: C2 Highway Comm. Total Size of Site: 0.46 acres
 Existing Use: Appliance Repair
 Proposed Use: expansion of existing industrial service

Revised April 2017

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Written Narrative Requirements

- A. **Checklist.** Please provide one completed copy of this six-page checklist.
- B. **Description of proposal.** Please describe what changes are proposed to the site, structure, landscaping, parking, and land use. Provide findings verifying that the intended use is allowed by the City's *Development Code* (Chapter 18).
- C. **Approval criteria findings:** Please provide findings verifying that the proposal meets the Code's requirements found in *Section 18.100*, Land Use & Zoning Site Design Review, Development Requirements & Standards of the applicable zone, and the off-street parking and loading requirements of *Section 18.145.*, in addition, provide findings for any other applicable Code requirements. Specify conformance or proposed variance request from those requirements.
- D. **Technical and design standards.** Please provide findings specifically addressing each criteria found in *Section 18.100.040* of the City's *Development Code* (Chapter 18).
- E. **Proposed Operations:** Please provide the hours of operation, total number of employees, and maximum number of employees per shift.
- F. **Additional Requirements:** Please be advised that special studies, investigations and reports may be required to ensure that the proposal does not adversely affect the surrounding community, and does not create hazardous conditions for persons or improvements on the site. These studies may include investigations and reports on noise attenuation, air quality, traffic control, soil conditions, flooding of waters and storm water run-off, natural resources, tree preservation, and other concerns.

Written Narrative Requirements (cont.)

✓

G. Site Analysis Information:

- 1. Existing building area: 1600 sq. ft.
Proposed building addition or subtraction: 4240 sq. ft.
- 2. Existing building height: 215' ft.
Proposed building height: 220' ft.
- 3. Existing parking area: 200 sq. ft.
Existing number of parking spaces: 2 # sp.
Proposed parking addition or subtraction: 6 sq. ft.
Proposed number of parking spaces: 8 # sp.
Proposed use: industrial service
Parking requirement: 6
- 4. Existing landscaped area: 20,000 sq. ft.
Percentage of site: 50 %
Proposed landscape addition or subtraction: 4,401 sq. ft.
Percentage of site: 22 %

✓

H. Neighborhood Review Meeting: information required (*Dev. Code Section 18.10.030.*). (Only required for Type III Reviews)

✓
✓
✓
N/A
N/A

- 1. A copy of the notice sent to surrounding property owners.
- 2. A copy of the mailing list used to send out meeting notices.
- 3. An affidavit of mailing notice.
- 4. Representative copies of written materials and plans presented at the Neighborhood Review Meeting. No attendees
- 5. Notes of the meeting, including the meeting date, time, and location, the names and addresses of those who attended, and oral and written comments received. No attendees

✓

I. Other Requirements: Please provide documentation that the requirements from other agencies and/or jurisdictions for your proposal have been permitted OR submit your schedule for application and approval of the required permits. If applicable, include a copy of a signed Sensitive Area Pre-Screening Letter from the City Engineer. Based upon the findings of the Sensitive Area Pre-Screening Letter, a **Clean Water Services Service Provider Letter may be required.**

N/A

J. Temporary Construction Office. Please provide information on the site plan showing the location and state the duration of the temporary construction office.

DESIGN REVIEW TYPE II & III

Plan Requirements

All plans, except architectural elevations, shall be presented at a minimum of 1" = 20' engineering scale and on a maximum sheet size of 24" x 36." Please also include one 'unbound' set that is 8 1/2" x 11" in size. Each of the following plans and drawings shall be submitted on separate sheets. Architectural elevations may be presented at an architectural scale. Please include all of the following information.

- ✓ A. **Existing Conditions Plan:**
- ✓ 1. North arrow, scale and date of plan.
 - ✓ 2. Vicinity map.
 - ✓ 3. The entire lot(s), including area and property lines dimensioned.
 - ✓ 4. Points of existing access, interior streets, driveways, and parking areas.
 - ✓ 5. Location of all existing buildings and structures.
 - ✓ 6. Existing right-of-way and improvements.
 - ✓ 7. Dimension from centerline to edge of existing right-of-way.
 - ✓ 8. Existing topographical information, showing 2 ft. contours.
 - ✓ 9. Surrounding development and conditions within 100 ft. of the property; such as zoning, land uses, buildings, driveways, and trees.
 - ✓ 10. Location of existing public and private utilities, easements, and 100-year floodplain.
 - N/A 11. Sensitive areas, as defined by the Clean Water Services standards.
 - N/A 12. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*
 - N/A 13. Existing trees larger than 6" in dbh (diameter at breast height), including genus, species and size. Dbh is measured at 54" above grade.
- ✓ B. **Dimensioned Site Plan:**
- ✓ 1. North arrow, scale and date of plan.
 - ✓ 2. The entire lot(s), including area, property lines dimensioned and labeled "front," "side," and "rear."
 - ✓ 3. Proposed points of access, interior streets, driveways, and parking areas.
 - ✓ 4. Proposed location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot-lots.
 - ✓ 5. Proposed right-of-way, dedications and improvements.
 - ✓ 6. Dimension from centerline to edge of proposed right-of-way.
 - ✓ 7. Dimensions of all improvements, including setbacks, parking spaces, driveways, and distance between buildings.
 - ✓ 8. Location of storm water quality/detention facilities.
 - ✓ 9. Boundaries of development phases, if applicable.
 - ✓ 10. Sensitive areas, as defined by the Clean Water Services standards.

N/A

11. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*

✓

C.

Grading Plan:

✓

1. North arrow, scale and date of plan.

✓

2. The entire lot(s).

✓

3. Points of access, interior streets, driveways, and parking areas.

✓

4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot-lots.

✓

5. Proposed rights-of-way, dedications and improvements.

✓

6. Dimension from centerline to edge of proposed right-of-way.

✓

7. Existing and proposed topographical information, showing 2 ft. contours and appropriate spot elevations for features such as walls, retaining walls (top and bottom elevations), catch basins, stairs, sidewalks, and parking areas.

✓

8. Location of 100-year flood plain.

N/A

9. Location of storm water quality/detention facilities.

N/A

10. Boundaries of development phases, if applicable.

N/A

11. Natural Resource Areas, Significant trees, and Historic trees, if applicable.

✓

12. Sensitive areas, as defined by the Clean Water Services standards.

✓

13. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*

✓

D.

Utility Plan:

✓

1. North arrow, scale and date of plan.

✓

2. The entire lot(s).

✓

3. Points of access, interior streets, driveways, and parking areas.

✓

4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.

✓

5. Proposed right-of-way, dedications and improvements.

✓

6. Proposed topographical information, showing 2 ft. contours.

N/A

7. Location of 100-year flood plain.

N/A

8. Location of existing and proposed public and private utilities, easements, surface water drainage patterns, and storm water quality/detention facilities.

N/A

9. Boundaries of development phases, if applicable.

N/A

10. Sensitive areas, as defined by the Clean Water Services standards.

N/A

11. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*

- ✓
 _____ E. **Landscape Plan:**
- ✓
 _____ 1. North arrow, scale and date of plan.
 - ✓
 _____ 2. The entire lot(s).
 - ✓
 _____ 3. Points of access, interior streets, driveways, and parking areas.
 - ✓
 _____ 4. Location of buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, and tot lots.
 - ✓
 _____ 5. Proposed right-of-way, dedications and improvements.
 - ✓
 _____ 6. Boundaries of development phases, if applicable.
 - N/A
 W/A
 _____ 7. Sensitive areas, as defined by the Clean Water Services standards.
 - N/A
 _____ 8. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock out-croppings, and streams. *Wetlands must be professionally delineated.*
 - ✓
 _____ 9. Existing trees, larger than 6" dbh, proposed to be saved. Include genus, species, and size.
 - ✓
 _____ 10. The location and design of proposed landscaped areas, indicating all plant materials, including genus, species, common name, plant sizes, and spacing.
 - ✓
 _____ 11. List of plant materials, including genus, species, common name, size, quantity, spacing and condition.
 - ✓
 _____ 12. Other pertinent landscape features, including walls, retaining walls, berms, fences, and fountains.
 - ✓
 _____ 13. A note on the plan indicating that an irrigation system will be installed to maintain the landscape materials.

- N/A
 _____ F. **Lighting Plan:**
- _____ 1. Location of all exterior lighting, including those mounted on poles, walls, bollards and the ground.
 - _____ 2. Type, style, height, and the number of fixtures per light.
 - _____ 3. Wattage per fixture and lamp type, such as sodium, mercury, and halide.
 - _____ 4. 8 ½" x 11" manufacturer's illustrations and specifications (cut sheets) of all proposed lighting poles and fixtures.
 - _____ 5. For all exterior lighting, indicate the area and pattern of illumination measured at ½-foot candlepower.

✓
 _____ G. **Architectural Renderings and Elevations, or both:** Please provide information that identifies the general character of the buildings and structures; indicate dimensions, materials, colors, and textures proposed for any structures. This includes buildings, retaining walls, refuse storage facilities, play structures, and fences

✓
 _____ H. **Materials Board:** Please provide one 8½" x 11" or 8½" x 14" Materials Board with examples of all building materials, colors, and textures of exterior surfaces.

I have provided the items required in this six-page submittal checklist. I understand that any missing information, omissions or both may deem my project incomplete, which may lengthen the time to process the request.


Signature

2/18/22
Date

Greta Holms trom
Print Name

360-721-5745
Telephone Number



HYBRID HEATING - COMPLETENESS REVIEW RESPONSE

April 5, 2022

RE: Completeness Review Response for Hybrid Heating Site Design Review

The following is a response to the comments received for the Hybrid Heating Site Design Review application.

1. Provide a signed affidavit of mailing for the neighborhood meeting notice.

RESPONSE: A signed affidavit is now included in the application materials.

2. Include in narrative form, details addressing CMC 18.155, Solar Access for New Development.

RESPONSE: Solar access is now addressed in the narrative.

3. Provide a detailed Landscaping Plan.

RESPONSE: Landscaping is now shown on the architectural site plan.

4. Provide a detailed Lighting Plan.

RESPONSE: Lighting is now shown on the architectural site plan.

5. Provide a detail of the proposed trash enclosure with its dimensions.

RESPONSE: The trash enclosure detail is now shown on sheet C7.2.

6. Provide a materials board/color board for the proposed building.

RESPONSE: Materials and colors are now shown on the architectural elevations.

7. Provide bicycle parking, along with a detail, per CMC 18.175 of the Parking Code.

RESPONSE: Bicycle parking is now shown on the Civil site plan, and a detail is included on Sheet C7.2.

8. Address CMC 18.45.040 & 18.45.050 from the Highway Commercial, C-2 standards.

RESPONSE: The requested standards are now addressed in the narrative.

9. Demonstrate that the required Clear Vision Zone will be met per CMC 18.150.070., on the site plan.

RESPONSE: The Clear Vision Zone is now shown on the Civil site plan.

10. Provide a general floor plan for the new building.

RESPONSE: The floor plan is now provided in the architectural plans.

11. Provide 11 additional copies of the complete application packet, one electronic copy and one copy unbound at 8 1/2"x11".

RESPONSE: Additional copies are provided as requested.

Please let me know if you need any additional information or have questions.

Thanks!

Greta Holmstrom

Ardor Consulting, LLC

Hybrid Heating

Design Review



Supporting Materials

Signed Land Use Application

Narrative

Clean Water Services Provider Letter

Neighborhood Meeting Materials

Plan Set

Stormwater Analysis

Project Overview

The applicant, Hybrid Heating, seeks to expand their existing appliance repair / service facility by adding a second building. The applicant also plans to improve the access within the site, including adding parking spaces.

The site is located in the C2 Highway Commercial zone. Surrounding properties are similarly zoned. The site has already been occupied by Hybrid Heating for some time. As such, there are existing frontage improvements, landscaping and utility services available. Improvements to these facilities are shown on the attached plans.

As shown in the following response to approval criteria, all design standards of the City are met.

Approval Criteria

DESIGN REVIEW

18.45.020 Uses Permitted Outright. In a C-2 zone, the following uses shall be permitted outright; provided, that all operations are conducted within an enclosed structure:

RESPONSE: Hybrid Heating is proposing to expand their existing appliance repair business – listed as permitted use (G).

18.45.040 Development requirements.

- A. Lot Size. In a C-2 zone there is no minimum lot size.*
- B. Setback requirements. In a C-2 zone the following setbacks shall meet the base standard; however, the review authority may require a greater or lesser setback based on the design review criteria:*
 - 1. The front yard shall be 10 feet, except that:*
 - a. Parking shall be allowed within five feet of the front property line.*
 - b. For all properties abutting the south side of Baseline Road, there shall be a front yard setback equal to five percent of the average lot depth, but not less than four feet.*

RESPONSE: A five foot setback to the parking along Baseline is proposed as allowed in (a) above. The property does not abut the south side of Baseline, therefore (b) does not apply.

- 2. No side yard shall be required except five feet when abutting a residential use or zone, and when a side yard abuts a public street the setback shall be the same as the front yard.*

RESPONSE: The property is surrounded by commercial zoning, but a residential use abuts the eastern property line. A five foot side yard setback is proposed.

3. *No rear yard is required, except five feet when abutting a residential use or zone, and when a side yard abuts a public street the setback shall be the same as the front yard.*

RESPONSE: The rear yard abuts commercially zoned property, therefore no setback is required.

- C. *Height of Building. No building shall exceed a height of 35 feet, unless approved by the planning commission.*

RESPONSE: The building is less than 25 feet in height, therefore it meets this standard.

18.45.050 Performance Standards.

In a C-2 zone no land or structure shall be used or occupied unless there is continuing compliance with the following standards:

- A. *Design Review Approval. All design review requirements and conditions of approval, including all prior attached conditions shall be satisfied.*

RESPONSE: Design review criteria are addressed in this narrative.

- B. *Environmental Standards. All uses shall comply with required air, land, and water quality standards set forth by all state, federal and local jurisdictions.*

RESPONSE: The proposal will comply with all environmental standards.

- C. *Heat and Glare.*

1. *Except of exterior lighting, operations producing heat or glare shall be conducted entirely within an enclosed structure, such that glare is not visible from a public street or adjacent property.*
2. *Exterior lighting shall be designed such that glare is directed away from public streets or adjacent properties.*

RESPONSE: No heat or glare is anticipated from this development. Exterior lighting will be wall-mounted and placed / selected to not provide glare on adjacent properties or streets. Details of the lighting fixtures are located on the architectural site plan.

D. Insects and Rodents. Materials including wastes shall be managed and stored and grounds shall be maintained in a manner that will not attract or aid the propagation of insects or rodents or create a health hazard.

RESPONSE: Insects and rodents are not anticipated to be attracted to the proposed development.

E. Outside Storage. Outside storage shall be appropriately screened consistent with CMC 18.45.060(F).

RESPONSE: Screening requirements are addressed in the design review criteria.

18.45.060 Development Standards. In a C-2 zone now new use or occupation of land or a structure or a new structure and no change of use of land or a structure shall be permitted unless there is continuing compliance with the following standards:

A. Landscape Plan.

- (1) For all uses in a C-2 zone, the first five feet of lineal street frontage on the subject site shall be landscaped prior to occupancy, in accordance with the approved site plan and standards set forth herein.*
- (2) When at maturity, at least 80 percent of the proposed landscape area shall be covered by plant material, lawn, and trees. The remaining area may be covered by non-vegetative ground cover.*
- (3) Street Trees. Street trees shall be required and shall be selected from the approved public works street tree list. The total number of trees shall be determined by dividing the total linear footage of the site, which abuts the public street, by 30 feet. The location of the trees shall be determined through design review, and the trees shall be installed in accordance with Chapter 5 of the adopted public works standards.*
- (4) Installation of required landscaping may be deferred up to six months; provided, that the owner posts with the city a cash deposit or irrevocable letter of credit assigned to the city for an amount equal to 150 percent of the estimated cost of the landscaping materials and installation by a qualified contractor.*

RESPONSE: Five feet of landscape area is provided along the project frontage as required. Landscape materials, including street trees, will be installed as required.

B. Vehicular Access, Internal Circulation and Clear Vision Areas

- (1) Where possible, vehicular access to commercial developments shall be from abutting arterial or collector streets, and shall be shared with adjacent properties to minimize multiple curb cuts. Access to individual lots from T.V.*

- Highway shall be approved by ODOT with secondary access from adjacent collectors or minor local streets.*
- (2) The minimum public street width for commercial development shall comply with Chapter 5 of the adopted public works standards.*
 - (3) Internal Access. All internal roadways and drives shall be paved and maintained by the owner in accordance with city standards. No entrance or exit shall be located closer than 100 feet to any intersection of a public street unless there is no reasonable alternative. They shall have the following minimum unobstructed pavement width;*
 - a. Two-way traffic: 24'*
 - b. One-way traffic: 15'*
 - (4) Internal sidewalks and pathways shall be provided to ensure safe and convenient pedestrian circulation throughout the development.*
 - (5) Clear vision areas shall be provided at all roadway and driveway intersections in accordance with the vision clearance standards set forth in CMC 18.150.070.*

RESPONSE: The existing Hybrid Heating business is accessed from Baseline Street (TV Highway). This access will be maintained and improved to meet Code standards. Two-way traffic will be allowed into the site to access the parking and building areas. Therefore, a 24' internal access is proposed. Convenient pedestrian circulation is provided into the site via proposed internal sidewalks. Since Baseline is one-way, a clear vision triangle is shown on the west side of the driveway on the proposed site plan.

C. Access Streets – Sidewalks – Drainage

- (1) All streets shall be designed in accordance with Chapter 5 of the adopted public works standards.*
- (2) All driveways for new construction shall have a minimum pavement width of 12 feet and shall not be more than 35 feet in width at the curb, unless specifically approved by the review body to meet unusual requirements of a particular use. Each driveway shall have a concrete curb apron designed to comply with public works standards.*
- (3) Cul-de-sacs...*
- (4) Sidewalks and improvements.*
 - a. For all new construction, curbs, gutters and a minimum six-foot-wide sidewalk, with eight feet at a bus stop, shall be provided along the entire lot frontage and shall meet ADA accessibility standards.*
- (5) Storm drainage shall be managed through a system of underground drainage lines and catch basins, which convey storm water off the site to a public system and shall comply with Clean Water Services standards for water quality and quantity.*

RESPONSE: The existing driveway for the Hybrid Heating facility will be utilized and improved for this expansion. All improvements will meet City Code standards, in addition to complying with CWS stormwater standards.

D. Lighting Street. Streets and walkways shall be lighted during the hours of darkness in accordance with public works standards.

RESPONSE: No new lighting is proposed.

E. Mailboxes. Except for in-fill partitioning, clustered mailboxes shall be provided consistent with the locational criteria set by the Post Master. They shall be of uniform style.

RESPONSE: The existing business has mail service, and intends to continue this service.

F. Screening.

(1) Sight-obscuring screening shall be provided for all garbage and trash collection areas, and for any approved outdoor storage, or parking lots abutting a residential development.

(2) The reviewing body may require nonsight-obscuring screening and/or fencing for parking lots abutting property lines, front yards abutting a public street, or other yards abutting a residential development.

RESPONSE: The site is surrounded by the C-2 Highway Commercial Zone. Existing commercial development also surrounds the site. One pre-existing non-conforming residence is located to the east. Landscaping will be provided as screening for this residence. The proposed trash enclosure will be screened with sight obscuring fencing as shown in the detail on Sheet C7.2.

G. Parking and Loading Space.

(1) Off-street Parking. Parking shall be provided as set forth in Chapter 18.145 CMC.

(2) Paving and Design. Off-street parking and maneuvering areas shall be paved with asphalt or concrete and designed in accordance with the standards of the off-street parking regulations of this title.

(3) Parking lot landscaping. There shall be a five-foot landscaped buffer at the perimeter or all parking areas. Parking lots shall be designed and landscaped so as to break up large parking areas with landscaped islands, at a minimum of every 10 spaces.

RESPONSE: The proposed parking area will be designed to City standards. A 5' landscape buffer is provided along the perimeter of the site.

18.100.040 Approval Criteria. In addition to the other requirements of the zoning code and other city ordinances, a project submitted for design review shall comply with the standards and criteria in subsections (A) and (B) of this section; all applications for a sign permit subject to the provisions of the sign code, Chapter 18.175 CMC, inclusive, shall comply with the regulations of the committee adopted under the provisions of Division III of this title and other applicable provisions of Cornelius Municipal Code.

A. Technical Standards. When applicable, required off-site improvements shall be based on proportional analysis.

(1) Facilities and Services. The public and private facilities and services provided by the development are adequate to the location, size, design, and timing of construction in order to serve the residents or establishments to be accommodated and meet city standards and the policies and requirements of the comprehensive plan. The service provider is presumed correct in the evidence which they submit.

RESPONSE: The site is developed with the existing Hybrid Heating commercial use. This expansion will continue to be served by existing public facilities.

(2) Traffic Generation. Based on anticipated vehicular and pedestrian traffic generation and the standards and policies of the comprehensive plan, adequate right-of-way and improvements to streets, pedestrian ways, bikeways, transitways and other ways are provided by the development in order to promote safety, reduce congestion, conserve energy and resources, and encourage transit use, bicycling and walking. Consideration shall be given to the need for constructing, widening and/or improving, to the standards of the comprehensive plan and this code, public streets, bicycle, pedestrian, and other ways in the area of the proposed development impacted by the proposed development. This shall include, but not be limited to, improvements to the right-of-way, such as installation of lighting, signalization, turn lanes, median and parking strips, traffic islands, paving, curbs and gutters, sidewalks, bikeways, transit facilities, street drainage facilities, traffic calming devices, and other facilities needed because of anticipated vehicular, transit, bicycle, and pedestrian traffic generation. Access and street design shall comply with the standards identified in Chapter [18.143](#) CMC, Transportation Facilities, and Chapter 5 of the adopted public works standards. Street trees shall be installed to the

standards identified in Chapter 5 of the adopted public works standards. In lieu of actual construction of off-site improvements, the committee may accept written waivers of remonstrance to the formation of local improvement districts for the purpose of providing the needed off-site improvements or cash payment to the city in an amount equal to the estimated cost of said off-site improvements;

RESPONSE: The proposed expansion will serve the existing business. No expansion of employees or vehicle trips is anticipated.

- (3) *Dedication. Adequate dedication or reservation of real property for public use, as well as easements and right of entry for construction, maintenance and future expansion of public facilities and services, shall be required to protect the public from any potentially deleterious effects resulting from the proposed use to fulfill the need for additional, improved services, whether on or off site, created by the proposed use, and to effect the implementation of the standards and policies of the comprehensive plan;*

RESPONSE: The applicant proposes frontage improvements along Baseline.

- (4) *Internal Circulation. There is a safe and efficient circulation pattern within the boundaries of the site. Consideration shall include the layout of the site with respect to the location, number, design and dimensions of vehicular, transit, and pedestrian access, exits, drives, walkways, bikeways, transit stops and facilities, building location and entrances, emergency equipment ways and other related on-site or off-site facilities so that there are adequate off-street parking and loading/unloading facilities provided in a safe, well designed and efficient manner. Consideration shall include the layout of parking, storage of all types of vehicles and trailers, shared parking lots and common driveways, garbage collection and storage points, as well as the surfacing, lighting, screening, landscaping, concealing and other treatment of the same. Developments shall provide a safe and reasonably direct pedestrian connection from the main entrance to the public right-of-way and/or the pedestrian system or both. The*

pedestrian connection shall be reasonably free of hazards from automobile traffic, so as to help encourage pedestrian and bicycle travel;

RESPONSE: The site is accessed via an existing driveway on Baseline. This will be improved to continue serving the site. Parking, pedestrian access, a dedicated area for garbage collection, and landscaped areas are all shown on the site plan.

- (5) *Maintenance of Private Facilities. Adequate means are provided to ensure continued maintenance and necessary normal replacement of private common facilities and areas, drainage ditches, streets and other ways, structures, recreation facilities, landscaping, fill and excavation areas, screening and fencing, ground cover, garbage storage areas and other facilities not subject to periodic maintenance by the city or other public agency. Materials, including wastes, shall be stored and managed, and grounds shall be maintained in a manner that will not attract or aid in the propagation of insects or rodents or cause a health hazard;*

RESPONSE: The owner, Hybrid Heating, will continue to provide maintenance of private facilities onsite that serve their business.

- (6) *Public Facilities. The structures and public facilities and services serving the site are designed and constructed in accordance with adopted codes and/or city standards at a level which will provide adequate fire protection and protection from crime and accident, as well as protection from hazardous conditions due to inadequate, substandard or ill-designed development;*

RESPONSE: The existing business is served by public services. Improvements to the access drive will enhance service entrances to the site when needed.

- (7) *Security. Adequate facilities shall be provided to prevent unauthorized entries to the property, facilitate the response of emergency personnel, and optimize fire protection for the building and its occupants. Adequate facilities may include, but not be limited to, the*

use of lighted house numbers and a project directory for multi-family projects of three or more units;

RESPONSE: The existing facility is accessible to emergency personnel, and will continue to be.

- (8) *Grading. The grading and contouring of the site takes place and site surface drainage and on-site storage of surface waters facilities are constructed so there is no adverse effect on neighboring properties, public rights-of-way or the public storm drainage system and that said site development work will take place in accordance with the city site development code;*

RESPONSE: The site is flat. Minimal grading will occur to install the building, access and parking improvements and utilities.

- (9) *Utilities. Prior to the development of a site, utilities shall be extended to serve the site or financially secured for extension to serve the site. Connection to city utilities shall be required prior to final inspection and occupancy. Electric, telephone, and other utility services to new development shall be located underground. New utilities for redeveloped parcels shall be located underground from the right-of-way to the redeveloped parcels;*

RESPONSE: A utility plan is provided with this submittal. The existing business is served by public utilities.

- (10) *Accessibility. Access and facilities for physically handicapped people are incorporated into the site and building design with particular attention to providing continuous, uninterrupted access routes;*

RESPONSE: Access to ADA standards is proposed on the attached site plan.

- (11) *Bicycle Lanes and Sidewalks. Where street improvements on arterials and collectors are required as a condition of development approval, they shall include bicycle lanes or off-street multi-modal*

pathways, and sidewalks constructed in accordance with city standards.

RESPONSE: Frontage improvements to Baseline are proposed that will include sidewalks.

B. Design Standards

(1) Relation of Building to Site. The proposed structures shall be related harmoniously to the terrain and to existing buildings which have a visual relationship to the proposed structure. Building height, bulk, lot area, coverage, setbacks, and scale should be particularly considered with regard to achieving compatible relationships. Screening, except in the industrial zone, exposed storage areas, utility buildings, machinery, service and truck loading areas, solid waste disposal cans, containers and other structures, and other accessory uses and structures, shall be adequately set back and screened. If a building is constructed, enlarged or altered to meet Type II thresholds and is located within 500 feet of a bus/transit stop, a main entrance door shall be placed on the street side of the bus/transit line and located as close as structurally possible to the bus/transit stop in compliance with this title;

RESPONSE: The existing building along Baseline that has served the Hybrid Heating business will be retained. The new proposed building will be located to the north, behind this existing structure. The streetscape will not change. Improvements will be made to the existing access and to the existing informal parking area in compliance with the City code.

(2) Trees and Vegetation. The development has been designed to, where possible, incorporate and preserve existing trees or vegetation of significant size and species. Consideration shall be given to whether habitat, survival of the tree species, and aesthetics can best be achieved by preserving groves or areas of trees as opposed to only individual trees;

RESPONSE: The site is flat and mostly vegetated with grass. One existing tree will be removed for the building placement.

- (3) *Historic Structures. Consideration is given to the effect of the proposed development on historic buildings or features both on the site and within the immediate area;*

RESPONSE: Not applicable.

- (4) *Grading and contouring of the site shall take place with particular attention to minimizing the possible adverse effect of grading and contouring on the natural vegetation and physical appearance of the site;*

RESPONSE: The site is relatively flat. No significant grading will occur other than to construct the building, access, parking areas and utilities. As previously mentioned, the view of the site from the street will not change as the existing building will be retained.

- (5) *Landscaping. The quality, location, size, and structural and aesthetic design of walls, fences, berms, traffic islands, median areas, hedges, screen planting and landscape areas are such that they serve their intended purposes and have no adverse effect on existing or contemplated abutting land uses;*

RESPONSE: A five foot perimeter landscape area along the street and adjacent property lines will be provided.

- (6) *Lighting. Adequate exterior lighting shall be provided to promote public safety, and shall be designed to avoid unnecessary glare upon other properties;*

RESPONSE: No additional lighting is proposed.

- (7) *Solar Access. In determining the appropriate relation of the building or structure to the site, the committee shall require that the building or structure be located on the site in a location and direction that will maintain, where feasible, solar access for adjacent properties and buildings or structures within the site.*

RESPONSE: Development of this commercially zoned property with a single-story building will not have a significant impact on solar access for adjacent properties.

18.145.030 Required off-street parking spaces.

- A. *Off-street parking shall be provided based on the primary use of the site according to the following standards and regardless of the zone in which the land use is located.*

*Industrial Service = 0.8 parking spaces per 1,000 square feet
0.1 bicycle parking spaces per 1,000 square feet*

RESPONSE: The proposed expansion of an existing appliance repair facility does not have an exact parking requirement in the Code. The facility does not offer retail or serve customers onsite. It serves remote customers at their individual location. The closest parking requirement is “Industrial Repair” as listed above. The required number of parking spaces would be 6, based on a total of 5,840 square feet between the existing and proposed buildings. The applicant is proposing 8 parking spaces. All parking spaces and associated improvements will be designed in accordance with the requirements outlined in code section 18.145.050 – 18.145.090.

One bicycle parking space is also required. This will be located between the existing and proposed building, as shown on the engineering site plan, and detailed on Sheet C7.2.

18.155.040 Access to sunshine

The elements of the development plan (e.g., buildings, circulation, open spaces and landscaping) shall be located and designed, to the maximum extent feasible, to protect access to sunshine for planned solar energy systems or for solar-oriented rooftop surfaces that can support a solar collector or collectors capable of providing for the anticipated hot water needs of the buildings in the project between the hours of 9:00 am and 3:00pm PST, on December 21st.

RESPONSE: The orientation of the proposed buildings would allow for the conversion to solar technology in the future.

18.155.050 Shading

- A. The physical elements of the development plan shall be, to the maximum extent feasible, located and designed so as not to cast a shadow onto

structures on adjacent property greater than the shadow which would be cast by a 25-foot hypothetical wall located along the property lines of the project between the hours of 9:00am and 3:00pm , PST, on December 21st.

- B. The impact of trees shall be evaluated on an individual basis considering the potential adverse impacts that the shading could create for the adjacent properties in terms of blocking sunlight in indoor living areas, outdoor activity areas, gardens, and similar spaces benefiting from access to sunlight.

RESPONSE: The proposed building is less than 25' in height, therefore, it complies with the shading standard for physical development elements. Proposed landscaping is clustered around existing and proposed development onsite, and is not anticipated to have negative impacts to solar access for surrounding properties.

Conclusion

The proposed development meets or exceeds all review criteria established by City of Cornelius. Therefore, approval of the application is requested.

AFFIDAVIT OF MAILING

State of Oregon)
) ss
County of Washington)

I, Greta Holmstrom, being first duly sworn, depose and say:

That I served upon the following named persons a mailed letter
Copy of which is marked Exhibit _____, attached hereto and by this reference incorporated herein,
by mailing to them a true and correct copy thereof on the 18 day of January, 22.
I further certify that said copies were then placed in a sealed envelope addressed as follows:

See Exhibit _____ attached hereto and by the reference incorporated herein,

Said envelope(s) were then placed in the United States Post Office at Cornelius, Oregon, with postage thereon fully prepaid.

Signed: _____



January 18, 2022

RE: Neighborhood Meeting – Hybrid Heating Site Improvements

Dear Neighbor:

I am writing this letter on behalf of Hybrid Heating who owns and operates the heating and cooling system repair dispatch facility at 230 West Baseline Street.

The owners of the facility would like to add additional warehouse space to the north of the existing building.

The City requires a Type III Design Review application to approve this request. The City's approval process includes a requirement for a neighborhood meeting to inform and gather feedback from surrounding property owners.

Therefore, you are cordially invited to attend a meeting to be held remotely via Zoom:

February 8, 2022 at 6pm

<https://us05web.zoom.us/j/84382480976?pwd=ckRXcEE4K0pCVjZ6MVpDZkYwMkhDUT09>

Meeting ID: 843 8248 0976

Passcode: 7PfXg5

Please note that this will be an informational meeting only and is not intended to take the place of a public hearing. You will have an opportunity to present testimony when an application is submitted to the City for review.

If you would like to learn more about this project, please plan to attend the neighborhood meeting. I look forward to seeing you. Please feel free to contact me at 360-721-5745 or gholmstrom@yahoo.com if you have questions about this meeting or the proposed project.

Sincerely,
Ardor Consulting, LLC

Greta Holmstrom, LEED-AP
Planner

Enclosure:
Location Map / Site Plan

Preliminary Drainage Report

for

Hybrid Heating

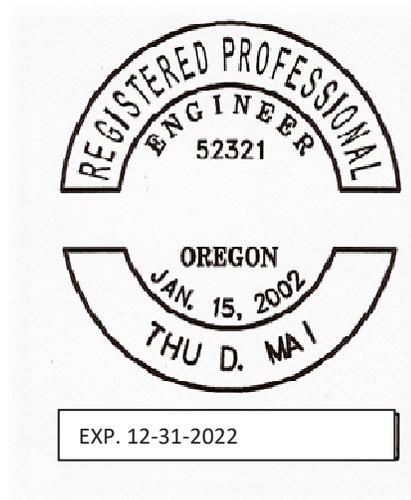
Cornelius, Oregon

Prepared for:

Hybrid Heating
230 Baseline Road
Cornelius, OR 97113

Prepared By:

Mai Civil Engineering, PC
5290 NW 164th Ave.
Portland, Oregon 97229



December 6, 2021
Project No: KWV001
Case File No.

Walmart
PO Box 8042
Bentonville, AR 72712

Shipman Living Trust
PO Box 1588
Rockaway Beach, OR 97136

KB Land Development
875 Country Club Road
Eugene, OR 97401

F. Davis Properties LLC
6950 NW Kansas City Rd
Forest Grove, OR 97116

Russell Resources LLC
PO Box 367
Cornelius, OR 97113

AJS Enterprises LLC
17104 SW Green Heron Drive
Sherwood, OR 97140

HBH Equity LLC
5420 NW Sewell Rd
Hillsboro, OR 97124

Richard Tilden Revocable Trust
PO Box 25404
Portland, OR 97298

City of Cornelius
Attn: Tim Franz
1355 N Barlow St
Cornelius, OR 97113

PROJECT DESCRIPTION

The proposed redevelopment commercial project is located west of the address 230 Baseline Road in Cornelius, Oregon (See Figure 1 for Vicinity Map). The site can also be located on tax map 1N333CC (tax lot number 2900).

EXISTING CONDITIONS

Currently, the site has is a house and asphalt parking lot area. The north half of the project is covered with grasses. See Figure 2 for the existing conditions.

PROPOSED DRAINAGE

The proposed and existing storm sewer systems are shown in Figure 3. Stormwater on the developed site will be managed as follows:

- Runoff from the buildings, private parking lot, and driveway will be treated in a stormfilter catchbasin (See Figure 3).
- The proposed storm sewer system will be connected to the existing public storm sewer main located on the north side of Baseline Road.

HYDROLOGIC ANALYSIS

Hydrologic analyses for the site have been completed following the Type 1A (SCS) method. The Santa Barbara Urban Hydrograph computer program enables the user to develop runoff hydrographs. Analysis calculations, supporting information, and computer output are contained in Appendix A.

Impervious and Pervious Surface Areas

The pervious and impervious areas used for the analyses are summarized in Table 1 and Table 2 below. The areas were determined using existing conditions and a final site design of the proposed pervious and impervious surfaces. A map showing the proposed development is contained in Appendix B.

Curve Numbers

Curve numbers used for the analyses are based on characterization of the site's soils as primarily Type C soil. The curve numbers represent values appropriate for wet antecedent moisture conditions, which is typical of the wet-weather conditions for the area.

Time of Concentration

The time of concentration used for the analyses is summarized in Table 1 and Table 2. The post-development time of concentration takes into consideration of the on-site area that contributes to the peak discharges for the site. Calculations and the flow path are presented in Appendix A and figure 2, respectively.

Table 1. Basins A and B Impervious and Pervious Areas

Area Description	Pre-Development Basin A		Post Development Basin B	
	Area (sf)	CN	Area (sf)	CN
Pervious Surface	9,017	74	4,243	86
Impervious Surface	10,868	98	15,642	98
Time of Concentration	5 minutes		5 minutes	

Table 2. Basin C Impervious and Pervious Areas

Area Description	Post Development Basin C		
	Area (ac)	CN	
Pervious Surface	14.8	86	
Impervious Surface	34.6	98	
Time of Concentration	30.3 minutes		

Peak Discharges

Peak discharge rates for the prescribed rainfall events for pre-developed and post-developed site conditions are summarized in the following tables. The rainfall depths are 24-hour rainfall depths used for the Washington County area (per Cleanwater Services). Computer model output is contained in Appendix A.

Table 3. Peak Runoff Rates for Basins A and B

Storm Event	Rainfall (inches)	Peak Runoff Rate (cfs)	
		Pre-Developed Basin A	Post Developed Basin B
25-yr	3.9	0.30	0.40

Table 4. Peak Runoff Rate for Basin C

Storm Event	Rainfall (inches)	Peak Runoff Rate (cfs)	
			Post Developed Basin C
25-yr	3.9		35.89

HYDROMODIFICATION

The project’s additional impervious area of 4,774 and is qualified to pay a fee in lieu by meeting CWS R&O 19-22, Section 4.03.7.a.5.A to Section 4.03.7.a.5.D. The fee to be paid to the City of Cornelius is \$4,774.

WATER QUANTITY

As shown in Table 3, the pre-development and post-development flows for the proposed site are 0.3 cfs and 0.4 cfs, respectively. The increase in flow rate is a low flow rate of 0.1 cfs and therefore a detention system is not being proposed. The flow rate of 35.9 cfs for the downstream system analysis is shown in Table 4. The 70% impervious area and 30% pervious area multipliers were used to apply to the overall 49.8-acre area.

WATER QUALITY

Stormwater from the roof, parking lot, and private driveway areas will be treated in the proposed storm-filter catchbasin for water-quality treatment.

DOWNSTREAM ANALYSIS

The additional flow from the proposed development and the flow from the tributary basins are 0.1 cfs and 35.89 cfs, respectively. See Figure 4 for the tributary basin area and flow path. The additional flow from the proposed development is 0.28 % and is less than 10% of the total tributary drainage flow. Following CWS R&O 19-22 (Section 2.04.2.m.3.C), a visual investigation was performed downstream to the ¼-mile point and found no observable impacts to structures (see Appendix B for calculations).

MAINTENANCE

The storm-filter catchbasin shall be maintained per manufacture requirements. The rest of the storm sewer system including the roof gutters shall be inspected after a rain event. Sediment shall be removed to prevent pipes and roof gutters from plugging.

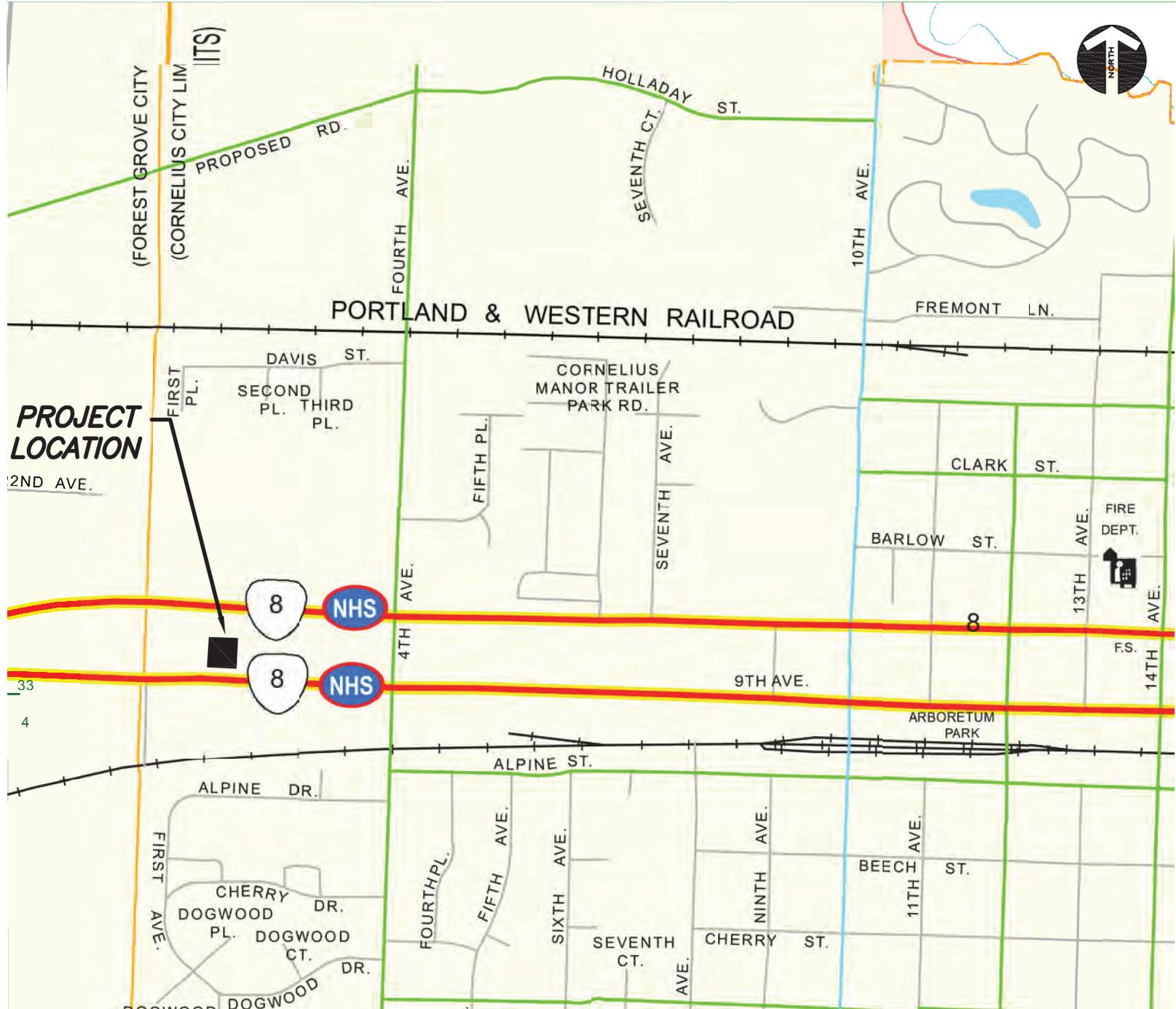


FIGURE 1: VICINITY MAP

SCALE: NTS

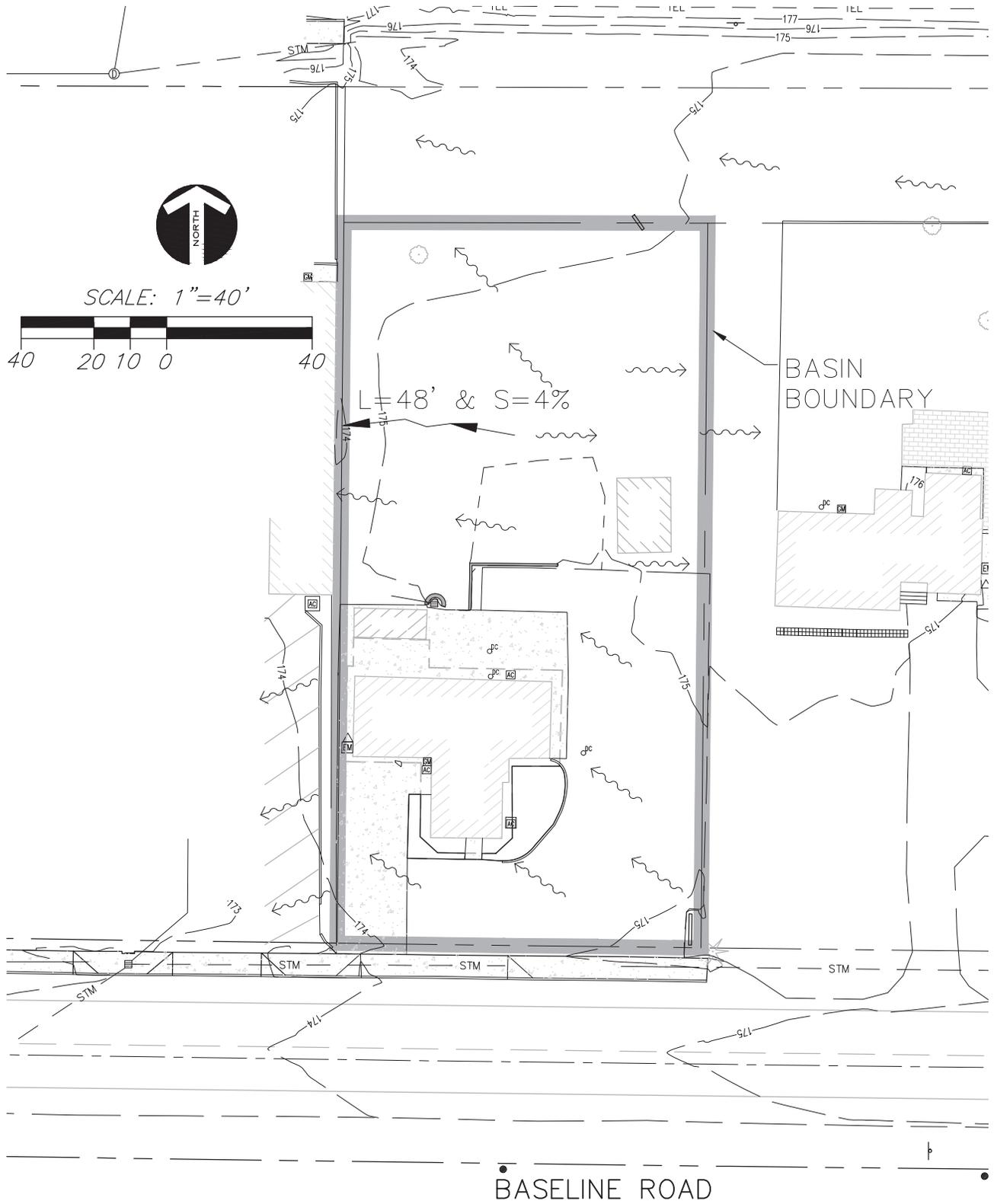


FIGURE 2: PRE DEVELOPMENT BASIN

SCALE: 1" = 40'

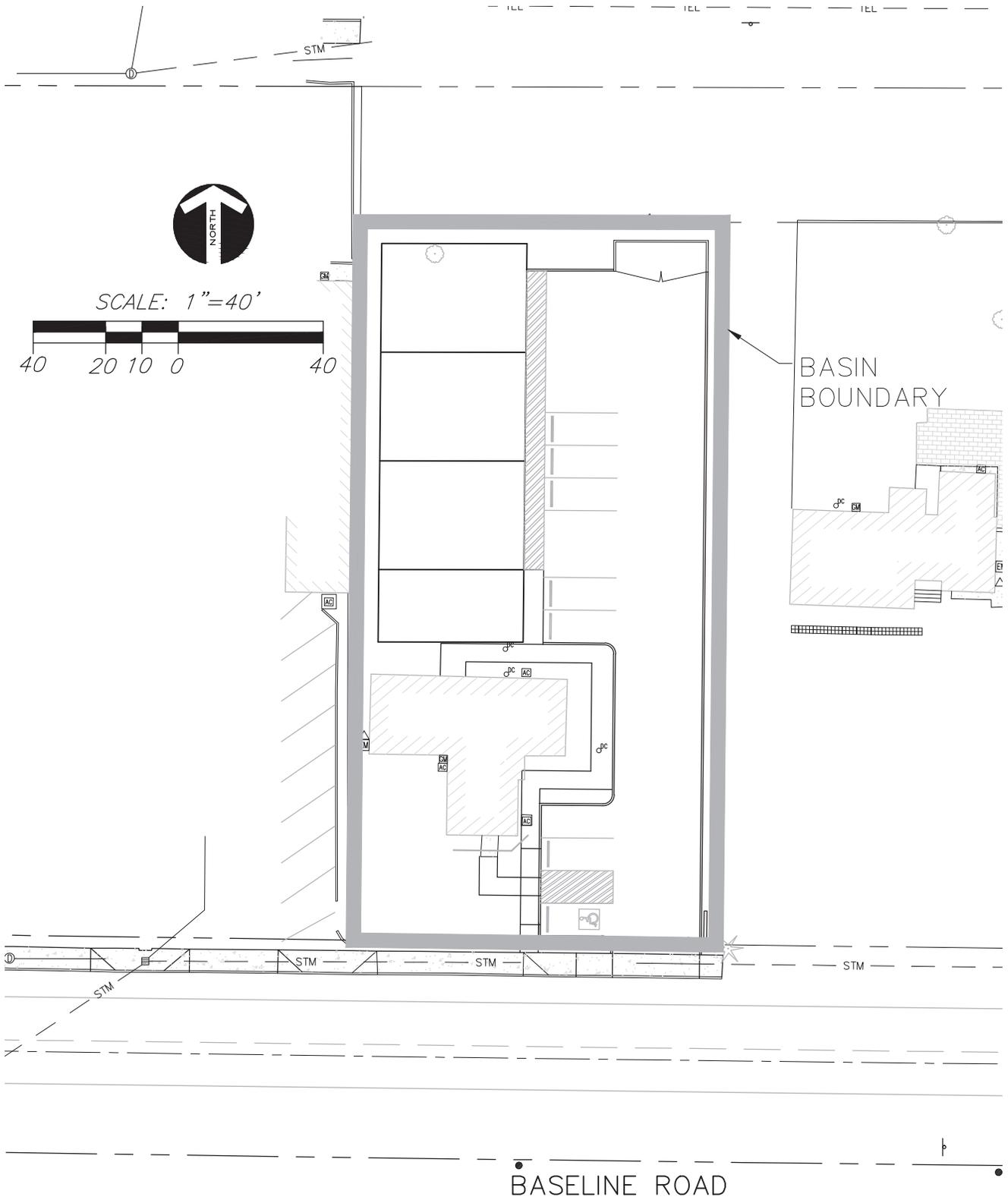


FIGURE 3: POST-DEVELOPMENT BASIN

SCALE: 1" = 40'

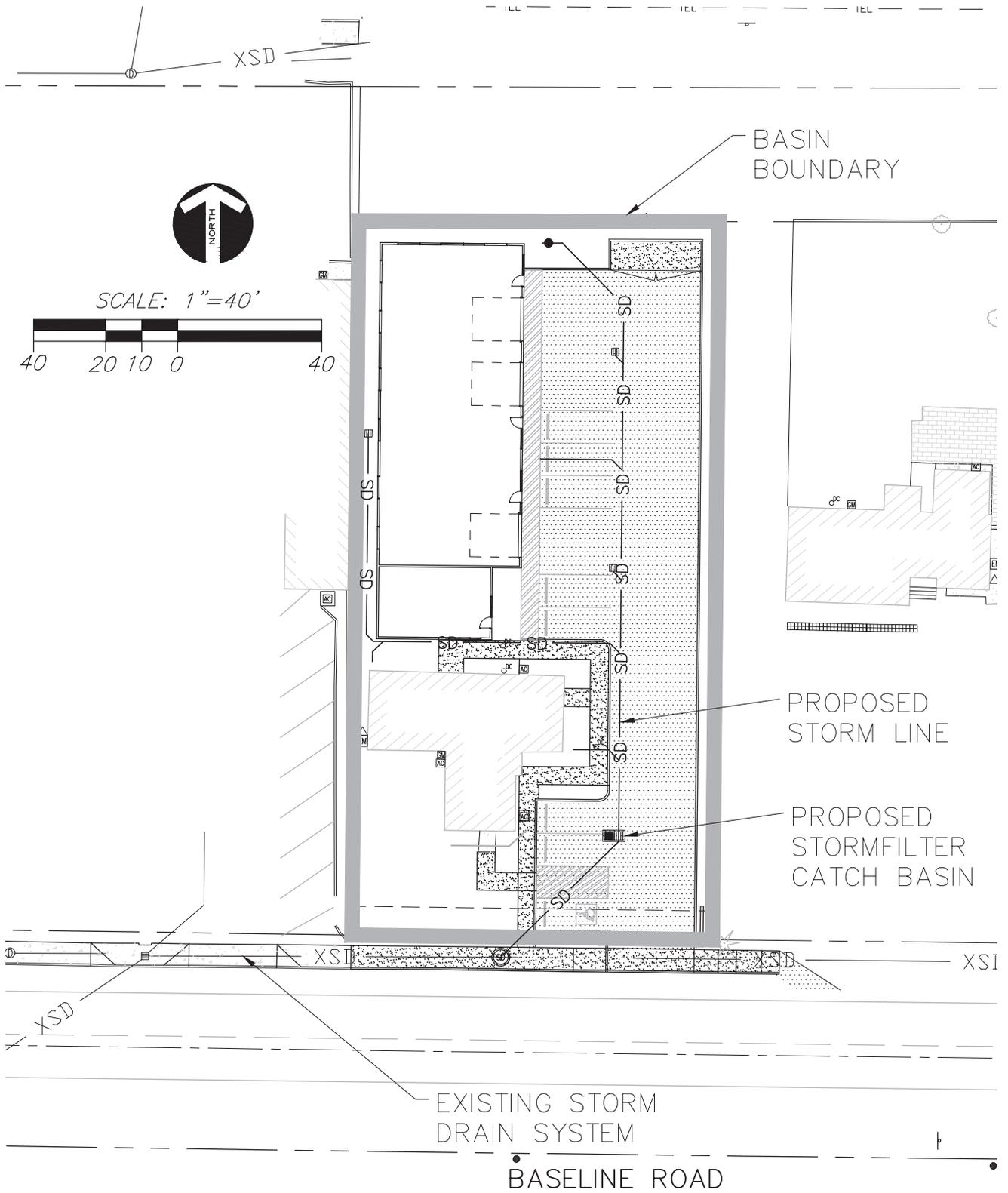


FIGURE 3: POST-DEVELOPMENT BASIN

SCALE: 1" = 40'

APPENDIX “A”

CALCULATIONS

BASIN SUMMARY

Project: KBV001
Hybrid Heating and Cooling

	<u>BASIN</u>
<u>PRE DEVELOPMENT AREA:</u>	A
PERVIOUS AREA (sf):	9,017
IMPERVIOUS AREA (sf):	10,868
EXISTING PARKING, & SIDEWALK AREAS (sf)	8,093
EXISTING ROOF AREA (sf)	2,775
TOTAL AREA (sf):	19,885

	<u>BASIN</u>
<u>POST DEVELOPMENT AREA:</u>	B
PERVIOUS AREA (sf):	4,243
IMPERVIOUS AREA (sf):	15,642
PROPOSED ROOF AREA (sf)	4,400
EXISTING ROOF AREA (sf)	2,152
EXISTING WALKWAY (sf)	969
PROPOSED PARKING LOT (sf)	8,121
TOTAL AREA (sf):	19,885

ADDITION OR MODIFICATION IMPERVIOUS AREA (sf) = 4,774

WATER QUALITY FLOW CALCULATION

Project No.: KVV001

SUMMARY:

Q (cfs) =	0.03 CWS WQ flow rate
V(cf)=	469 WQ Volume
A (sf) =	15,642 Impervious area only

where:

WQ Volume = 0.36 (in) x Area (sf) / [12 (in/ft)]

CWS WQ flow rate = WQ Volume (cf) / [14,400 sec]

or

CWS WQ flow rate = [0.36 (in) x Area (sf) / [12 (in/ft) (4hr) (60min/hr) (60sec/min)]]

WQ STORMFILTER CATCHBASIN SIZING:

$$WQ (Q) = 0.03 \text{ cfs}$$

$$\text{Number of Cartridges (N)} = 0.60$$

Where $N = Q \text{ (cfs)} \times 449 \text{ gpm/cfs} \times 22.5 \text{ gpm/cart}$

One cartridge can treat up to 22.5 gpm for 3.05' hydraulic drop

Use a 1-cartridge stormfilter structure per manufacture.



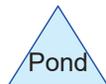
PROPOSED PROJECT
POST - BASIN B



Downstream Basin C



PRE-DELOPMENT
BASIN A



KAV001-MODEL

Type IA 24-hr 25-yr Rainfall=3.90"

Prepared by {enter your company name here}

Printed 12/6/2021

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Page 2

Summary for Subcatchment 9006S: PROPOSED PROJECT POST - BASIN B

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.40 cfs @ 7.87 hrs, Volume= 0.127 af, Depth> 3.33"

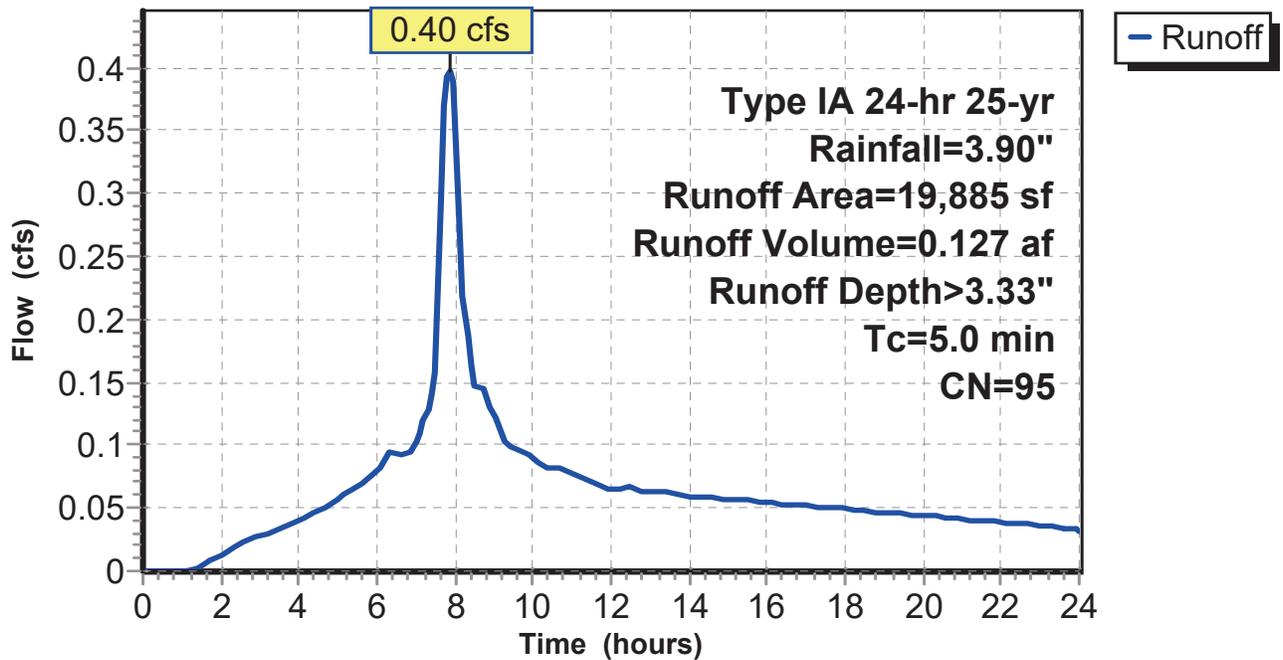
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.10 hrs
Type IA 24-hr 25-yr Rainfall=3.90"

Area (sf)	CN	Description
4,243	86	<50% Grass cover, Poor, HSG C
* 4,400	98	Proposed Roof Area
* 2,152	98	Existing Roof Area
* 969	98	Proposed Sidewalk Area
* 8,121	98	Proposed Parking Lot
19,885	95	Weighted Average
4,243		Pervious Area
15,642		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 9006S: PROPOSED PROJECT POST - BASIN B

Hydrograph



Summary for Subcatchment 9007S: PRE-DELOPMENT BASIN A

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.30 cfs @ 7.91 hrs, Volume= 0.097 af, Depth> 2.54"

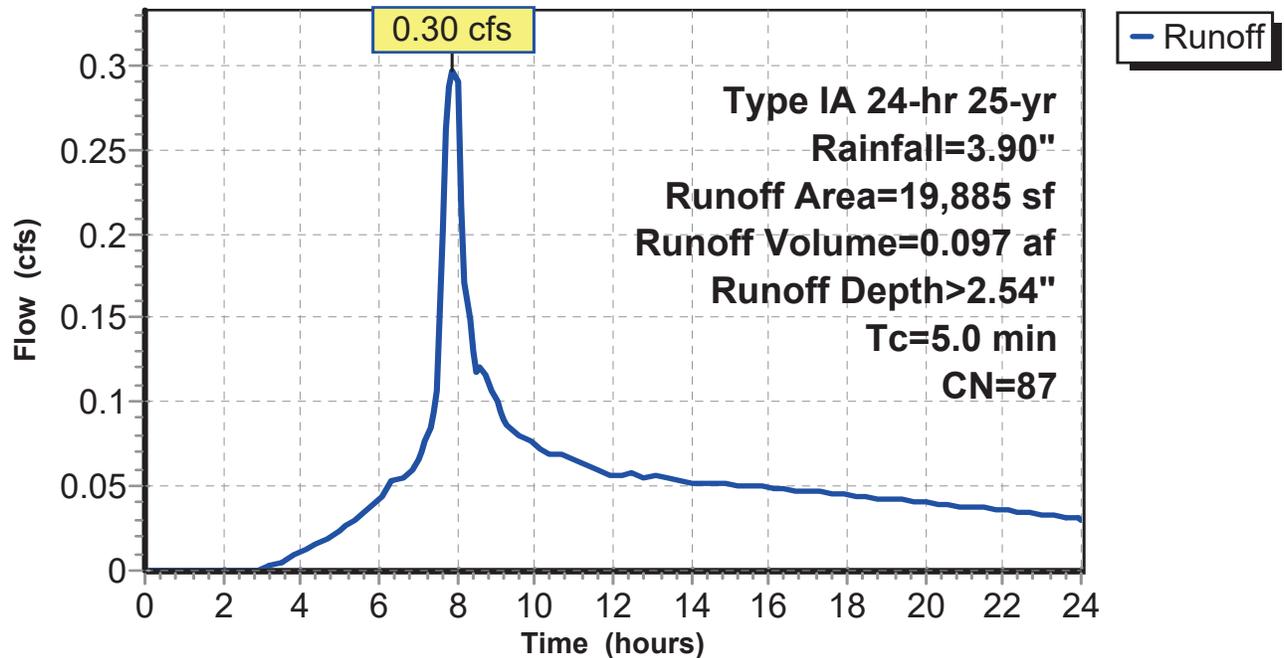
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.10 hrs
Type IA 24-hr 25-yr Rainfall=3.90"

Area (sf)	CN	Description
9,017	74	>75% Grass cover, Good, HSG C
* 8,093	98	Existing Parking Lot and Sidewalk Areas
* 2,775	98	Existing Roof Area
19,885	87	Weighted Average
9,017		Pervious Area
10,868		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 9007S: PRE-DELOPMENT BASIN A

Hydrograph



KAV001-MODEL

Type IA 24-hr 25-yr Rainfall=3.90"

Prepared by {enter your company name here}

Printed 12/6/2021

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Page 4

Summary for Subcatchment 9008S: Downstream Basin C

Runoff = 35.89 cfs @ 8.21 hrs, Volume= 13.156 af, Depth> 3.20"

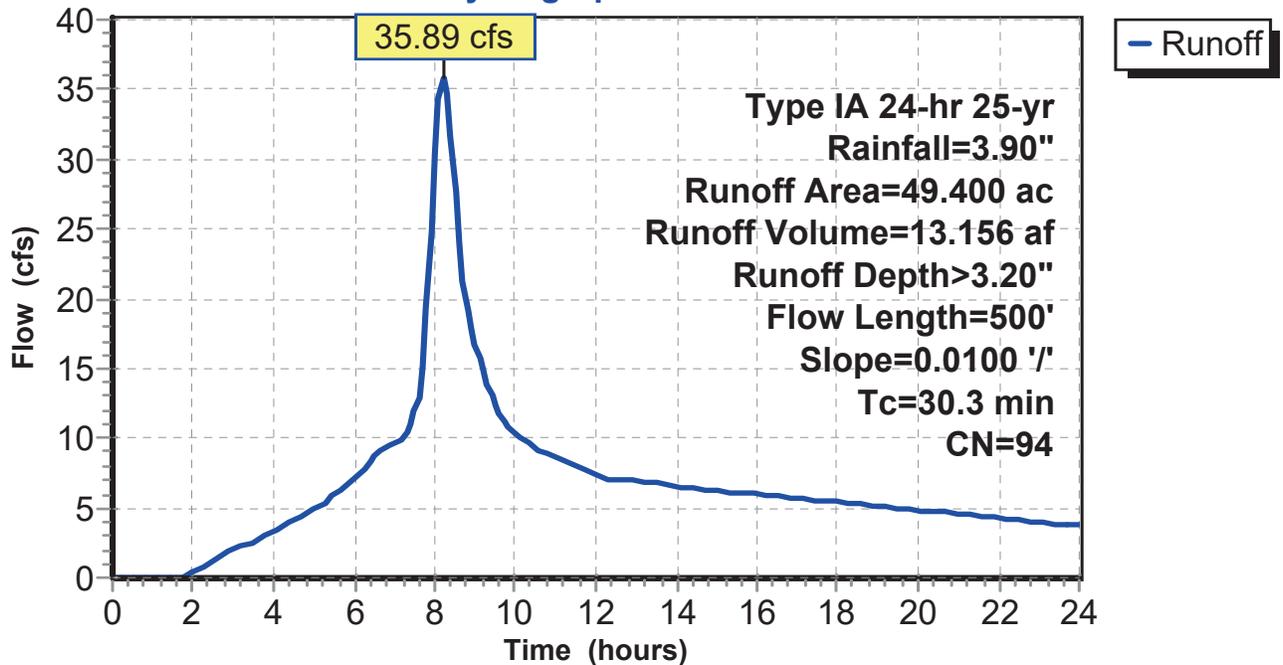
Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.10 hrs
Type IA 24-hr 25-yr Rainfall=3.90"

Area (ac)	CN	Description
14.800	86	<50% Grass cover, Poor, HSG C
34.600	98	Paved parking & roofs
49.400	94	Weighted Average
14.800		Pervious Area
34.600		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.2	300	0.0100	0.18		Sheet Flow, Grass: Short n= 0.150 P2= 3.90"
2.1	200	0.0100	1.61		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
30.3	500	Total			

Subcatchment 9008S: Downstream Basin C

Hydrograph



APPENDIX “B”
SOIL INFORMATION

Washington County, Oregon (OR067)			
Washington County, Oregon (OR067)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
45A	Woodburn silt loam, 0 to 3 percent slopes	0.6	100.0%
Totals for Area of Interest		0.6	100.0%



Tables — Hydrologic Soil Group — Summary By Map Unit

Summary by Map Unit — Washington County, Oregon (OR067)				
Summary by Map Unit — Washington County, Oregon (OR067)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
45A	Woodburn silt loam, 0 to 3 percent slopes	C	0.6	100.0%
Totals for Area of Interest			0.6	100.0%

Description — Hydrologic Soil Group

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

SENSITIVE AREA PRE-SCREENING SITE ASSESSMENT

Clean Water Services File Number 22-000232

1. Jurisdiction: Cornelius

2. Property Information (example: 1S234AB01400)
 Tax lot ID(s): _____
1N333CC02900

OR Site Address: 230 Baseline Road
 City, State, Zip: Cornelius, OR, 97113
 Nearest cross street: NW 4th Ave

3. Owner Information
 Name: Hybrid Heating
 Company: _____
 Address: 230 W Baseline St
 City, State, Zip: Cornelius, OR, 97113
 Phone/fax: _____
 Email: _____

4. Development Activity (check **all** that apply)
 Addition to single family residence (rooms, deck, garage)
 Lot line adjustment Minor land partition
 Residential condominium Commercial condominium
 Residential subdivision Commercial subdivision
 Single lot commercial Multi lot commercial
 Other Addition to existing commercial use

4. Applicant Information
 Name: Greta Holmstrom
 Company: Ardor Consulting, LLC
 Address: 3296 NE 13th Place
 City, State, Zip: Hillsboro, OR, 97124
 Phone/fax: 360-721-5745
 Email: gholmstrom@yahoo.com

6. Will the project involve any off-site work? Yes No Unknown
 Location and description of off-site work: _____

7. Additional comments or information that may be needed to understand your project: _____

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/type name Greta Holmstrom Print/type title _____
 Signature ONLINE SUBMITTAL Date 1/7/2022

FOR DISTRICT USE ONLY

Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.

Based on review of the submitted materials and best available information sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, State and federal law.

Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, state and federal law.

THIS SERVICE PROVIDER LETTER IS NOT VALID UNLESS _____ CWS APPROVED SITE PLAN(S) ARE ATTACHED.

The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). **NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.**

Reviewed by Stacy Benjamin Date 1/26/2022

Once complete, email to: SPLReview@cleanwaterservices.org • Fax: (503) 681-4439
 OR mail to: SPL Review, Clean Water Services, 2550 SW Hillsboro Highway, Hillsboro, Oregon 97123

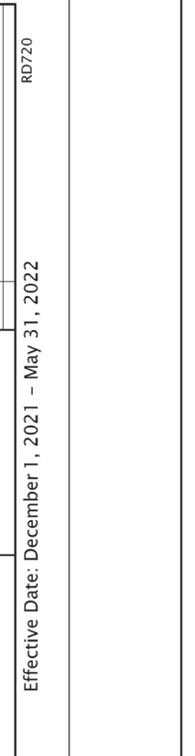
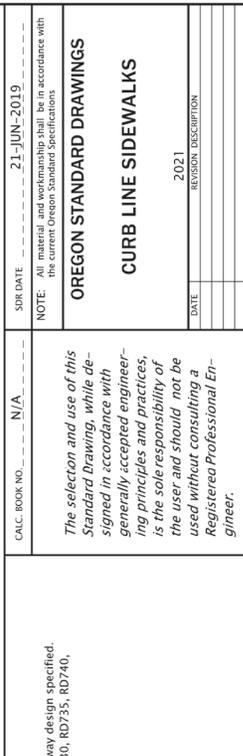
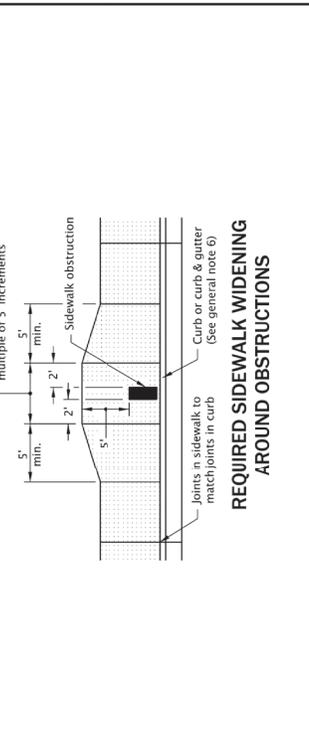
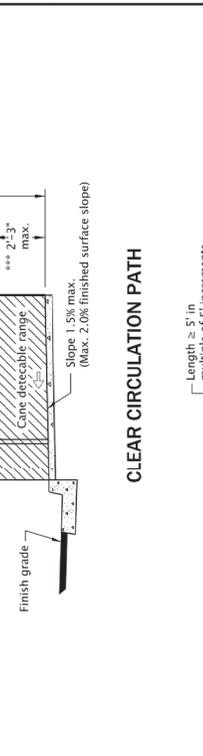
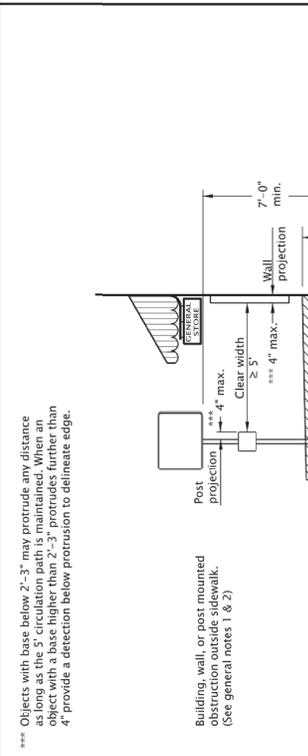


PRELIMINARY
NOT FOR CONSTRUCTION
 MATTHEW J. VOTH
 CIVIL ENGINEERING, P.C.
 5280 NW 164th Ave.
 PORTLAND, OR 97229
 TEL: 971-255-4656
 mv@vthoc.com

CITY OF CORNELIUS, OREGON
Hybrid Heating
 ROADWAY DETAILS

REV.	DATE	BY

DRAWN BY: TDM
 DESIGN BY: TDM
 CHECKED BY: TDM
 SCALE: AS SHOWN
 JOB NO: KW0001
C7.1



7. Sidewalk details are based on applicable ODOT standards.
 8. Fully lowered sidewalk shown; see project plans for the driveway design specified. For driveway details not shown, see Std. Dwg. RD725, RD730, RD735, RD740, RD745 & RD750.
 9. See project plans for details not shown.

LEGEND
 Sidewalk pay limit.
 Driveway pay limit, varies by option. (See general note 8).
 Cross slope 1.5% max. (Max. 2.0% finished surface slope) (Normal sidewalk cross slope)

GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:
 1. Include additional paved or unpaved 2' shy distance to vertical faces higher than 5' such as retaining walls, sound walls, fences and buildings.
 2. Curb type and sidewalk width as shown on plans or as directed.
 3. On sidewalks 8' and wider, provide a longitudinal joint at the midpoint.
 4. Place contraction joint over top of pipe. See Std. Dwg. RD700 for weep hole details.
 5. Provide expansion joints around poles, posts, boxes, at ends of each driveway, and other fixtures which protrude through or against the structures.
 6. For sidewalk, monolithic curb & sidewalk, const. expansion joints at 45' maximum spacing. See Std. Dwg. RD722 for expansion joints details.
 7. Const. contraction joints at 15' maximum spacing, and at ends of each curb ramp. See Std. Dwg. RD722 for contraction joints details.
 8. For curb details, see Std. Dwg. RD700 & RD701.
 ODOT standard E=7'.

SDR DATE: 21-JUN-2019
 NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications
OREGON STANDARD DRAWINGS
CURB LINE SIDEWALKS
 DATE: 2021
 REVISION DESCRIPTION:

C.A.L.C. BOOK NO.: N/A
 Effective Date: December 1, 2021 - May 31, 2022
 RD720

HYBRID HEATING & AIR CONDITIONING WAREHOUSE/OFFICE BUILDING

HYBRID HEATING & AIR
 CONDITIONING
 230 W BASELINE ST., CORNELIUS, OR
 97113

PROJECT NAME & ADDRESS:
**WAREHOUSE/OFFICE
 BUILDING**

HYBRID HEATING & AIR
 CONDITIONING
 230 W BASELINE ST., CORNELIUS, OR
 97113

REVISIONS:
 No. Date Description

PROJECT NUMBER: 211208
 DATE: 2022.03.16
DEVELOPMENT REVIEW
 SHEET TITLE: DR DRAWINGS
 SHEET NUMBER: **A01**

ARCHITECT: P.C.
 2021, KERRY W. VANDERZANDEN
**KERRY W. VANDERZANDEN
 ARCHITECT, P.C.**
 1381 NW MAIN STREET
 BURNS, OREGON 97106
 (503) 324-0533 / (503) 324-0883 FAX

PREPARED FOR:
**HYBRID HEATING & AIR
 CONDITIONING
 230 W BASELINE ST., CORNELIUS, OR
 97113**

0" = 3"
 (1" = 3' inches at full scale
 (1" = 12' inches at 1/4" scale))

REVISIONS:
 No. Date Description

PROJECT NUMBER: 211208
 DATE: 2022.03.16
DEVELOPMENT REVIEW
 SHEET TITLE: DR DRAWINGS
 SHEET NUMBER: **A01**

ARCHITECT: P.C.
 2021, KERRY W. VANDERZANDEN
**KERRY W. VANDERZANDEN
 ARCHITECT, P.C.**
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REVISIONS:
 No. Date Description

PROJECT NUMBER: 211208
 DATE: 2022.03.16
DEVELOPMENT REVIEW
 SHEET TITLE: DR DRAWINGS
 SHEET NUMBER: **A01**

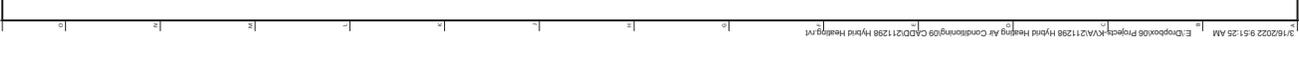
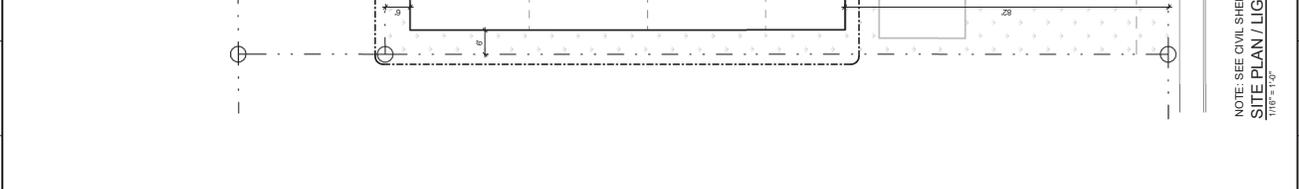
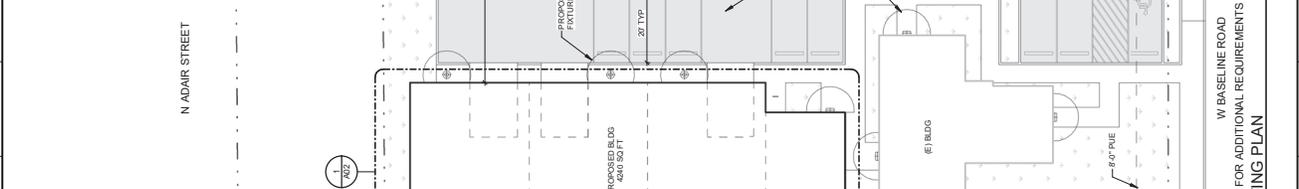
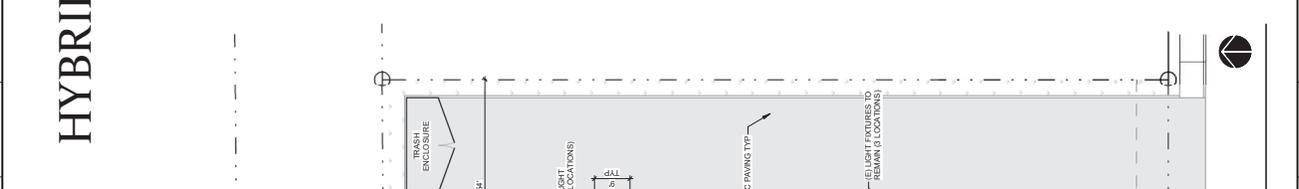
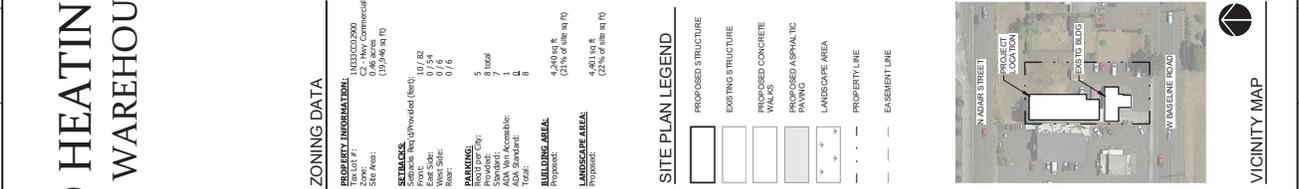
ARCHITECT: P.C.
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PREPARED FOR:
**HYBRID HEATING & AIR
 CONDITIONING
 230 W BASELINE ST., CORNELIUS, OR
 97113**

KEY	COMMON NAME	SIZE	QUAN	COMMENTS
A	GROUND COVER - GRASS	1 GAL	52	WELL BRANCHED
B	IVYSHEN SEDE	2 1/2" CAL	3	WELL BRANCHED
C	WINDSIEZE KOVA	2 1/2" CAL	3	WELL BRANCHED
D	WINDSIEZE KOVA	2 1/2" CAL	3	WELL BRANCHED
E	WINDSIEZE KOVA	2 1/2" CAL	3	WELL BRANCHED
F	WINDSIEZE KOVA	2 1/2" CAL	3	WELL BRANCHED
G	WINDSIEZE KOVA	2 1/2" CAL	3	WELL BRANCHED

LANDSCAPING NOTES

- SEE CIVIL DRAWINGS FOR ADOT BECS
- ALL LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE TO LOCAL CITY AND STATE CODES.
- IRIGATION SHALL BE INSTALLED WITH A MAIN LINE UNDER THE BUILDING AND BRANCHES TO EACH PLANTING AREA.
- SEE ENGINEERING DRAWINGS FOR EROSION CONTROL FENCING
- NOTE EXISTING TREES TO REMAIN - PROTECT WITH ORANGE CONSTRUCTION TAPE. TREE STORAGE OR CONSTRUCTION SHALL BE INSTALLED TO PROTECT EXISTING TREES. THE LANDSCAPE CONTRACTOR IS TO THOROUGHLY INSPECT THE SITE IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NOTED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NOTED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NOTED IMMEDIATELY.
- TOPSOIL, LANDSCAPE CONTRACTOR IS TO USE EXISTING STOCKPILED TOPSOIL FOR ALL LANDSCAPE BEDS AND LAWN FREE. TOPSOIL SHALL BE OVER ROCK-FREE SUBGRADE. TOPSOIL APPROVED EQUAL TO TOPSOIL FILL IN ALL PLANT BEDS.
- LANDSCAPE CONTRACTOR TO PROVIDE MULCH FOR ALL SHRUB BEDS. KEEP BARK CLEAR OF SHRUBS STEM BASE.
- TREES, PAT BARK MULCH IN TREE CUTOUTS. PLANTING OF ALL PLANTING HOLES WITH "GARDEN CARE COMPOST" OR APPROVED FOLIAR NUTRIENT. BEFORE BACKFILLING.
- CONTRACTOR TO EVALUATE THEIR OWN TIME OFS. IF THERE IS SHOWN ON THE PLAN USE THE LARGER OF THE TWO AMOUNTS. CONTRACTOR IS RESPONSIBLE FOR ALL TOLERANCES.



LANDSCAPE PLAN
 1/8" = 1'-0"

LANDSCAPE PLAN
 1/8" = 1'-0"

PLANTING DETAIL SHRUB

PLANTING DETAIL TREE

VICINITY MAP

NOTE: SEE CIVIL SHEETS FOR ADDITIONAL REQUIREMENTS
SITE PLAN / LIGHTING PLAN
 1/8" = 1'-0"



Oregon

Kate Brown, Governor

Department of Transportation

Region 1 Headquarters
123 NW Flanders Street
Portland, Oregon 97209
(503) 731.8200
FAX (503) 731.8259

June 16th, 2021

ODOT #12172

ODOT Response

Project Name: Hybrid Heating Remodel & Addition	Applicant: Kevin Kuntz
Jurisdiction: City of Cornelius	State Highway: OR 8
Site Address: 230 Baseline Street, Cornelius, OR	Legal Description: 01N 03W 33CC Tax Lot(s): 02900

The site of this proposed land use action is adjacent to Baseline St (OR 8). ODOT has permitting authority for this facility and an interest in ensuring that this proposed land use is compatible with its safe and efficient operation. **Please direct the applicant to the District Contact indicated below to determine permit requirements and obtain application information.**

COMMENTS/FINDINGS

ODOT has review the pre-application materials for remodeling the existing office space and adding storage to the back of the property located at 230 Baseline St. The site plan shows the access to the highway being relocated to the eastern property line adjacent to TL 2800 and new sidewalks along the highway frontate. The new access location will require the applicant to obtain a State Highway Approach Road Permit from ODOT. ODOT's standard access width is 24ft which is consistent with what is shown on the site plan. The site plan also notes that it will be 35ft in the future which is wider than the ODOT standard. The actual width of the driveway will be determined based on turning templates of the vehicles using the access. Additionally, to avoid conflicts at the access with onsite parking ODOT typically requests no parking within 25ft from the property line.

The site plan also shows two future buildings on the property to the east. Although this property is not specifically included as part of the pre application, the new highway access location at the property line would serve both properties in the future if cross over access easements are established between the two tax lots. Shared access will improve highway safety by reducing potential conflicts between vehicles and between vehicles and pedestrians and bicyclists at closely spaced driveways and will implement ODOT Access Management Program goals. The site plan for any future development of TL 2800 the traffic circulation should be designed with utilizing the shared access.

All alterations within the State highway right of way are subject to the ODOT Highway Design Manual (HDM) standards. Alterations along the State highway but outside of ODOT right-of-way may also be subject to ODOT review pending its potential impact to safe operation of the highway. If proposed alterations deviate from ODOT standards a Design Exception Request must be prepared by a licensed engineer for review by ODOT Technical Services. Preparation of a Design Exception request does not guarantee its ultimate approval. Until more detailed plans have been reviewed, ODOT cannot make a determination whether design elements will require a Design Exception.

Note: Design Exception Requests may take up to 3 months to process.

All ODOT permits and approvals must reach 100% plans before the District Contact will sign-off on a local jurisdiction building permit, or other necessary requirement prior to construction.

ODOT RECOMMENDED LOCAL CONDITIONS OF APPROVAL

Frontage Improvements and Right of Way

- Curb and sidewalk shall be constructed as necessary to be consistent with local, ODOT and ADA standards

Access to the State Highway

- A State Highway Approach Road Permit from ODOT for access to the state highway for the proposed use is required. Truck turning templates shall be provided as needed to ensure vehicles can enter and exit the approach safely. Site access to the state highway is regulated by OAR 734.51. For application information go to <http://www.oregon.gov/ODOT/HWY/ACCESSMGT/Pages/Application-Forms.aspx>.

Note: It may take **2 to 3 months** to process a State Highway Approach Road Permit.

- The applicant shall record cross-over access easements to the adjacent property to the east with state highway frontage with the County Assessor to facilitate future shared access. Shared access will improve highway safety by reducing potential conflicts between vehicles and between vehicles and pedestrians and bicyclists at closely spaced driveways and will implement ODOT Access Management Program goals.

Permits and Agreements to Work in State Right of Way

- An ODOT Miscellaneous Permit must be obtained for all work in the highway right of way.

Please send a copy of the Land Use Notice including conditions of approval to:

ODOT Region 1 Planning
Development Review
123 NW Flanders St
Portland, OR 97209

ODOT_R1_DevRev@odot.state.or.us

Development Review Planner: Marah Danielson	503.731.8258, marah.b.danielson@odot.state.or.us
District Contact: District 2B	D2bup@odot.state.or.us

Exhibit “B”

Memo

Subject: Engineering Comments for Hybrid HVAC Land Use Application (DR 17-22)

Date: May 12, 2022

By: Terry, Keyes, P.E., City Engineer

These comments are based on existing conditions on the site and the preliminary plans provided for the land use application.

General

The site consists of an approximately 0.46-acre parcel at 230 Baseline. The parcel has no frontage on Adair St.

Baseline has a 60-foot right-of-way (ROW) in this area and the frontage is improved with curb and sidewalk. Streetlights mounted on power poles exist on the south side of Baseline.

Streets

Driveway

The applicant proposes moving the driveway access from the west to the east sides of the Baseline frontage. This location is acceptable to the City. However, relocation of the driveway requires ODOT approval since Baseline is an ODOT street. Therefore, **the applicant must secure the necessary permits and approval from ODOT prior to relocation of the driveway.**

The new driveway drop shall meet the Cornelius Standard Detail S-21 which is included in the Preliminary Engineering Plans. Also, the plans show the sidewalk along Baseline reconstructed as a 6-foot concrete sidewalk which is appropriate.

Overhead Utility Lines

The City Code requires overhead utility lines to be placed underground along a street frontage in connection with projects like this one. The overhead utilities appear to be telecommunication facilities, not PGE lines. **The overhead lines shall be placed underground along the Baseline frontage. Also, an 8-foot wide Public Utility Easement (PUE) shall be dedicated outside the ROW.** The preliminary engineering plans appear to indicate that the overhead lines will be placed underground in conduit.

A new pole can be located at the SE corner of the property and the overhead lines can be placed underground between this new pole and the existing pole at the SW corner of the property. If the applicant plans in the future to develop the parcel to the east, then the most efficient approach to undergrounding is to simply run conduit between the existing poles at the SW corner of the Hybrid site and the SE corner of the adjacent parcel to the east.

Street Trees

Three street trees shall be planted along the Baseline frontage in accordance with the Cornelius Public Works Standards. The three trees shall all be different to maintain planting diversity. The trees shall be selected from the appropriate City of Portland Street Tree List.

The preliminary engineering plans (Sheet C2.0) show these street trees, however, the landscaping plan does not show the required street trees.

Traffic Impact Study

Due to the low traffic volumes generated by this use, no traffic study is required for this project.

Water

The property is now served by a 4" public water main in Baseline. This main was upgraded as part of the Carl's Jr. development to the west. The upgrade will bring a new 8" main to the fire hydrant located 125-feet west of the SW corner of the site. Eventually, this new 8" main will be extended along the frontage to 4th Avenue.

Because the current water main is substandard and located under the sidewalk and driveway which are being replaced, the applicant shall replace the existing 4-inch main with a new 8-inch C900 water main along the frontage.

Sanitary Sewer

An existing public sanitary sewer in Baseline serves the site. No public improvements are required.

Stormwater

Conveyance

The applicant proposes to place a flat top manhole over the existing storm drain under the sidewalk along the frontage and then run a storm lateral into the site. This is acceptable to the City, however, the other utilities in this area may prevent installation of a flattop manhole. The applicant might entertain using a Type II Area Drain (CWS Detail 380) rather than a flattop manhole. Type II Area Drains are acceptable to the City in this situation and they allow easy City maintenance of the system.

No downstream capacity analysis is required; however, the applicant's engineer performed a downstream analysis and found no capacity constraints in the system from the additional drainage produced by this site.

Treatment

The applicant proposes to treat site runoff with a one-cartridge Stormfilter catch basin. This approach is acceptable to the City and Clean Water Services (CWS).

Hydromodification, i.e., Detention

The applicant proposes to meet the requirement for hydromodification detention by paying a fee-in-lieu of \$1 for every 1 sq.ft. of new impervious surface. This is acceptable to the City and allowed by CWS rules.

LIDA (Low Impact Development Approaches)

Because the applicant is paying a fee-in-lieu of detention, LIDA is not required for the project.

Erosion Control

Erosion control plans are required for these improvements and are included in the preliminary engineering plans.

Service Provider Letter (SPL)

Development sites like this are required to determine if wetland or vegetated corridors exist on or adjacent to the site. The determination is issued in the form of a *Service Provider Letter*. The project acquired the required SPL from CWS on 1-26-22.

ODOT Permits

As noted above, the applicant is proposing to move the access point for the site to the east. Also, work is proposed to occur in the ODOT right-of-way (utilities, sidewalk, irrigation, street trees, etc.). **This work all requires ODOT approval and permits. The City will not approve the plans until ODOT approval is granted.**

Exhibit “C”

AFFIDAVIT OF MAILING

State of Oregon)
) ss
County of Washington)

I, LINDA W. CARTER, being first duly sworn, depose and say:

That I served upon the following named persons a NOTICE OF PUBLIC HEARING
Copy of which is marked Exhibit A, attached hereto and by this reference incorporated herein,
by mailing to them a true and correct copy thereof on the 28th day of APRIL, 2022
I further certify that said copies were then placed in a sealed envelope addressed as follows:

See Exhibit B attached hereto and by the reference incorporated herein,

Said envelope(s) were then placed in the United States Post Office at Cornelius, Oregon, with
postage thereon fully prepaid.

Signed: Linda W. Carter

Cornelius

Oregon's Family Town

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City of Cornelius Planning Commission on Tuesday, **May 24, 2022 at 7:00 pm.** You may participate in the meeting in person at the Cornelius City Council Chambers at 1355 N Barlow Street, online via the Zoom meeting platform at <https://us02web.zoom.us/j/88657023542>, or by phone by calling 1- (253) 215-8782 and using Meeting ID: 886 5702 3542, to consider the following:

Request: A Type III Site Design Review (**DR-17-22**) application to redevelop a commercially zoned property by building a new storage building for Hybrid Heating and Air Conditioning. The development will include a modification of an existing building to office space, adding a new indoor storage facility, a new parking and loading area, vehicular and pedestrian circulation, landscaping, and a water quality facility.

<u>Applicant</u>	Greta Holmstrom Ardor Consulting 3296 NW 13 th Place Hillsboro, OR 97124	<u>Property Owner</u>	Kuntz Enterprises, LLC. PO Box 329 Cornelius, OR 97113
-------------------------	----------------------------------------------------------------------------------------------	------------------------------	--------------------------------------------------------------

Site: 230 Baseline Street
Map: Township 1 South, Range 3 West, Map 33 CC, Tax Lot #02900.
Zone: Highway Commercial, C-2

Applicable Criteria: CMC Title 18 Zoning: Chapter 18.45 Highway Commercial (C-2), Chapter 18.100 Site Design Review, Chapter 18.143 Transportation Facilities, Chapter 18.145 Off-Street Parking and Loading, Chapter 18.150 Special Use Regulations, and Chapter 18.155 Solar Access for New Development.

At the time and place listed above, all persons will be given a reasonable opportunity to testify either for or against the proposal. Testimony may be either in oral or written form and must be relevant to the applicable criteria, cited above, upon which the proposal will be evaluated. At the public hearing, the Planning Commission Chair will open the public hearing, a staff report will be presented, the applicant will be given the opportunity to make a presentation, interested persons will be called on to speak for or against the proposal, Commissioners will ask questions, the applicant will be given the opportunity to rebut testimony, staff will be given the opportunity to provide closing remarks and the public hearing will be closed. At this point, all testimony is complete and the planning commission will deliberate on the facts and findings in the staff report and testimony.

In order for an issue to be considered for appeal, it must be raised before the close of the record of the public hearing. Such issues must be raised with sufficient specificity so as to afford the hearing body and the parties an adequate opportunity to respond to each issue. If no continuance is granted at the hearing, any participant in the hearing may request the record remain open for at least seven days after the hearing.

A TIBIX3

A copy of the application, all documents and evidence relied upon by staff and applicable criteria are available for review at the Community Development Department, 1300 S. Kodiak Circle. Copies may also be purchased at a reasonable cost of 25 cents per page.

If you have questions regarding the application or would like to submit written comments you may contact Tim Franz, Senior Planner, at (503) 357-3011, or tim.franz@comeliusor.gov.

EXHIBIT B

AJS ENTERPRISES LLC	17104 SW GREEN HERON DR	SHERWOOD	OR	97140
F DAVIS PROPERTIES LLC	6950 NW KANSAS CITY RD	FOREST GROVE	OR	97116
HBH EQUITY LLC	5420 NW SEWELL RD	HILLSBORO	OR	97124
KB LAND DEVELOPMENT CO LLC	875 COUNTRY CLUB DR	EUGENE	OR	97401
KUNTZ ENTERPRISES LLC	PO BOX 329	CORNELIUS	OR	97113
RUSSELL RESOURCES LLC	PO BOX 367	CORNELIUS	OR	97113
SHIPMAN LIVING TRUST	PO BOX 1588	ROCKAWAY BEACH	OR	97136
TILDEN, RICHARD H REVOCABLE TRUST	TILDEN, ANN SNYDER REVOCABLE TRUST	PORTLAND	OR	97298
WAL-MART STORES INC	PO BOX 8042	BENTONVILLE	AR	72712

Office_Address_List

	A	B	C	D	E	F	G
	Company Name	Department	Name	Address Line 1	City	State	ZIP Code
1							
2	City of Cornelius			1355 N Barlow St	Cornelius	OR	97113
3	City of Forest Grove		Attn: James Reitz	PO Box 326	Forest Grove	OR	97116
4	City of Hillsboro			123 W Main Street	Hillsboro	OR	97123
5	Clean Water Services	Development Services Department	Attn: Jackie Humphreys	2550 SW Hillsboro Hwy.	Hillsboro	OR	97124
6	Comcast Cable Communications			14200 SW Brigadon Court	Beaverton	OR	97005
7	Cornelius Rural Fire Protection Dist.			1355 N Barlow St	Cornelius	OR	97113
8	CPO 12C		c/o Joseph Auth	325 NW 334th Ave.	Hillsboro	OR	97124
9	CPO Coordinators	Oregon State Univ. Extension	Carol Renaud	245 N First Ave, MS20	Hillsboro	OR	97124
10	Department of Economic Development			775 Summer St, NE	Salem	OR	97301
11	Department of Energy			550 Capitol St, NE Fl. 1	Salem	OR	97301
12	DEQ			700 NE Multnomah St Ste. 600	Portland	OR	97232
13	Dept of Land Conservation and Development		Attn: Anne Debbaut	635 Capitol Street NE, Suite 150	Salem	OR	97301
14	Dept of Land Use & Transportation	County Surveyors Office	Attn: Scott Young	155 N 1st Ave. Ste #350-15	Hillsboro	OR	97124
15	District 18 Watermaster			1400 SW Walnut St. #240, MS 49	Hillsboro	OR	97124
16	Evergreen Disposal & Recycling			PO Box 5069	Aloha	OR	97006
17	Forest Grove School District			1728 Main St	Forest Grove	OR	97116
18	Hillsboro School District		Attn: Casey Waleitch	3083 NE 49th Place	Hillsboro	OR	97124
19	Home Builders Association		Attn: Justin Wood	15555 SW Bangy Road Suite 301	Lake Oswegc	OR	97035
20	METRO Parks			600 NE Grand Ave	Portland	OR	97232
21	Metro Regional Services	Compliance Coordinator		600 NE Grand Ave.	Portland	OR	97232
22	Metro Regional Services	Senior Transportation Planner	Attn: Caleb Winter	600 NE Grand Ave.	Portland	OR	97232
23	NW Natural Gas Company			250 SW Taylor St.	Portland	OR	97204
24	ODOT Rail Division			555 13th St, NE Suite 3	Salem	OR	97301
25	ODOT Region 1	Development Review Program		123 NW Flanders	Portland	OR	97209
26	Oregon State Dept of Fish & Wildlife			4034 Fairview Industrial Dr SE	Salem	OR	97302
27	Oregon State Division of State Lands			775 Summer Street NE	Salem	OR	97301
28	Port of Portland			P.O. Box 3529	Portland	OR	97208
29	Portland & Western Railroad, Inc.			3220 State St Ste 200	Salem	OR	97301
30	Portland General Electric			121 SW Salmon St	Portland	OR	97204
31	Tri-Met			4012 SE 17th Ave	Portland	OR	97202
32	Tualatin Soil and Water Conservation District			7175 NE Evergreen Pkwy, #400	Hillsboro	OR	97124
33	Tualatin Valley Irrigation Dist			2330 Elm St	Forest Grove	OR	97116
34	US Army Corps of Engineers			P.O. Box 2946	Portland	OR	97208
35	USPS		Attn: Post Master	1330 SW Walnut Street	Hillsboro	OR	97123
36	Washington County Assessment and Taxation Dept			155 N 1st Ave	Hillsboro	OR	97124
37	Washington County Enhanced Sheriffs Patrol Dist.			215 SW Adams Ave., MS-32	Hillsboro	OR	97123
38	Washington County Health & Human Services			155 N 1st Ave. Ste. 170 MS-23	Hillsboro	OR	97124
39	Washington County Housing Authority			111 NE Lincoln Street Suite 200-L	Hillsboro	OR	97124
40	Washington County Land Use & Transportation	Planning Division	Attn: Paul Schaeffer, Senior Planner	155 N 1st Ave. Ste#350 MS 14	Hillsboro	OR	97124
41	Washington County Land Use & Transportation	Planning & Development Services	Attn: Principal Planner	155 N 1st Ave. Ste. 350, MS 14	Hillsboro	OR	97124
42	WCCCA 9-1-1	Data Services	Attn: Ian Crawford	17911 NW Evergreen Pl	Beaverton	OR	97006